

**STAFF REPORT  
HISTORIC AND CULTURAL LANDMARKS COMMISSION  
CITY OF FORT WORTH, TEXAS**

**DATES:** October 10, 2016

**COUNCIL DISTRICT:** 2

**GENERAL INFORMATION**

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<b>REQUEST</b>	Certificate of Appropriateness
<b>APPLICANT/AGENT</b>	Murrin Bros 1885 Ltd.
<b>LOCATION</b>	2408 N. Main Street
<b>ZONING/ USE (S)</b>	PD 1017/HSE
<b>NEIGHBORHOOD ASSOCIATION</b>	Stockyards

**ANALYSIS OF PROPOSED WORK**

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**CERTIFICATE OF APPROPRIATENESS**

The applicant requests a Certificate of Appropriateness to rehabilitate the building construct a new roof, and construct a glazed enclosure for the east façade.

**BACKGROUND**

The Masonic Lodge and Stage Coach (1910) underwent exterior alterations to the west (front) faced in 1927. The building has experienced extensive deterioration and damage including the loss of its roof and second floor. In 2014, the structure's east wall failed during a wind storm.

In January 2016, the owner applied for designation and the property was subsequently designated by City Council as Highly Significant and Endangered (HSE) in April 2016. The subject property is located within the locally-designated Fort Worth Stockyards Historic and Cultural Landmark District (HC) and within the Historic Stockyards National Register District. The *Secretary of the Interior's Standards for the Treatment of Historic Properties* are to be used when evaluating any proposed change to the property. It is considered that while there are aspects of preservation and restoration within the proposed scope of work, the predominant treatment is *rehabilitation*.

**APPLICABLE DESIGN STANDARDS**

**The Secretary of the Interior's Standards for Rehabilitation & Guidelines for Rehabilitating Historic Buildings**

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

#### **Building Exterior - Masonry (Recommended)**

*Repairing masonry features by patching, piecing-in, or consolidating the masonry using recognized preservation methods. Repair may also include the limited replacement in kind—or with compatible substitute material—of those extensively deteriorated or missing parts of masonry features when there are surviving prototypes such as terra-cotta brackets or stone balusters.*

*Replacing in kind an entire masonry feature that is too deteriorated to repair—if the overall form and detailing are still evident—using the physical evidence as a model to reproduce the feature. Examples can include large sections of a wall, a cornice, balustrade, column, or stairway. If using the same kind of material is not technically or economically feasible, then a compatible substitute material may be considered.*

#### **Building Exterior – Windows and Storefronts (Recommended)**

*Evaluating the overall condition of materials to determine whether more than protection and maintenance are required, i.e. if repairs to windows/storefronts and window features will be required.*

*Repairing storefronts and window frames and sash by patching, splicing, consolidating or otherwise reinforcing. Such repair may also include replacement in kind—or with compatible substitute material—of those parts that are either extensively deteriorated or are missing when there are surviving prototypes such as architraves, hoodmolds, sash, sills, and interior or exterior shutters and blinds.*

*Replacing in kind an entire window or storefront that is too deteriorated to repair using the same sash and pane configuration and other design details. If using the same kind of material is not technically or economically feasible when replacing windows or storefronts deteriorated beyond repair, then a compatible substitute material may be considered.*

**FINDINGS / RECOMMENDATIONS**

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The proposed structural and foundation repairs will serve to stabilize the existing structure, which is a key and necessary intervention for any future reuse of the building. *Identifying, retaining, and preserving* structural systems that are important in defining the overall historic character of the building, is consistent with the *Secretary of the Interior's Standards for Rehabilitation* in relation to structural systems.

The proposed retention and rehabilitation of repairable windows will include stabilization and repair and where necessary, selective replacement in-kind. The proposed work is therefore consistent with the *Secretary of the Interior's Standards for Rehabilitation* in relation to windows.

In locations where the original window and door openings have been bricked in, it is proposed that the openings will be reinstated and windows that are sympathetic in their general appearance to the style of the period of the building will be installed. Since these windows are completely missing, replacement windows may be a new design that is compatible with the window openings and the historic character of the building. The proposed work is therefore consistent with the *Secretary of the Interior's Standards for Rehabilitation* in relation to the *Design for the Replacement of Missing Historic Features - Windows*.

The proposed N. Main Street façade intervention involves the restoration of original openings and the rehabilitation of storefronts and the main entrance door. The proposed work is considered to be consistent with the *Secretary of the Interior's Standards for Restoration* in relation to window openings and with the *Secretary of the Interior's Standards for Rehabilitation* in relation to Storefronts and Entrances, and is an important undertaking that will contribute to strengthening the historic character and significance of N. Main Street.

The proposed new structure and enclosure for the building's east façade includes the construction of a roof over the remaining structure while leaving as much of the historic fabric in place as possible. The proposed east elevation uses large amount of glazing and simple steel structural elements including exterior decks that open up to Marine Creek and Saunders Park. This is an important and beneficial aspect to the development - capitalizing on its strategic relationship to Marine Creek may achieve wider district objectives such as the revitalization of the underutilized Saunders Park.

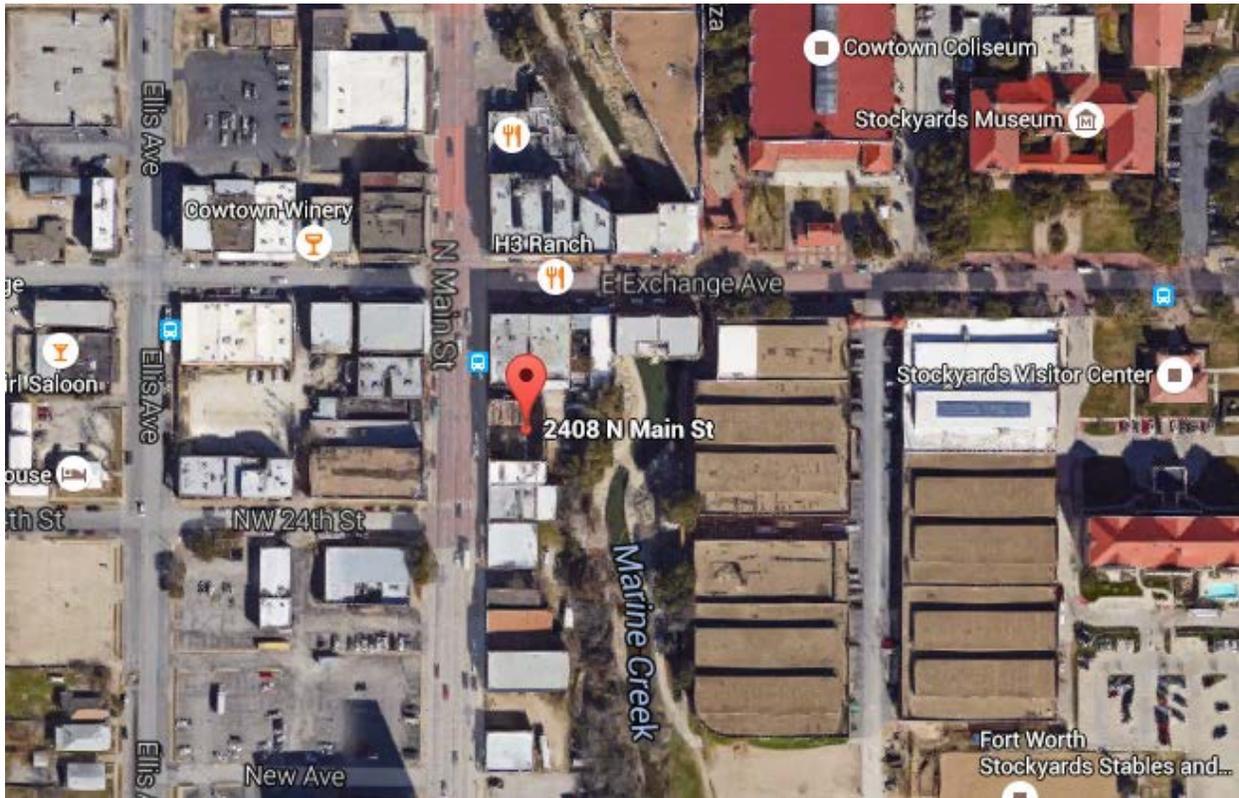
This work involves replacing an entire masonry wall that was substantially destroyed by a wind storm, using a different design approach and materials. In relation to the proposed approach, we might revisit Standard 9 above. Since the proposed glazed wall consists of related new construction that does not destroy remaining historic materials that characterizes the Masonic Lodge and Stage Coach; the proposed work is differentiated from the old; and the proposed work is compatible with the massing, size and scale of the historic building, the proposed glazed wall and associated new work can be said to be consistent with *Secretary of the Interior's Standards for Rehabilitation* in relation to related new construction.

**Staff therefore recommends the following motion:**

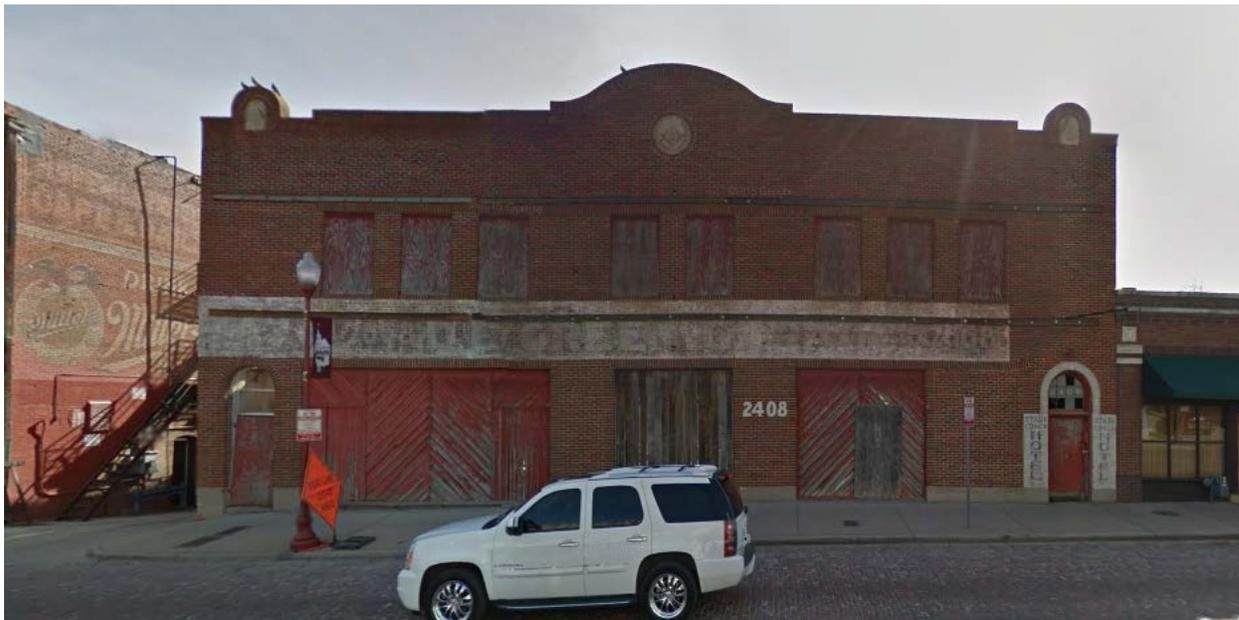
**That the Application for a Certificate of Appropriateness to undertake structural and foundation repair, rehabilitation of existing windows, reinstatement of original openings, construction of a new roof and enclosure for the building's east façade be approved subject to the following conditions:**

1. That condition assessments for historic fabric proposed to be replaced be provided;
2. That a materials and methods specification for the repair of historic masonry be provided; and
3. That a Temporary Protection Plan, which identifies potential risks and mitigation measures to be undertaken for the remaining historic walls be provided.

SUPPLEMENTAL MATERIAL



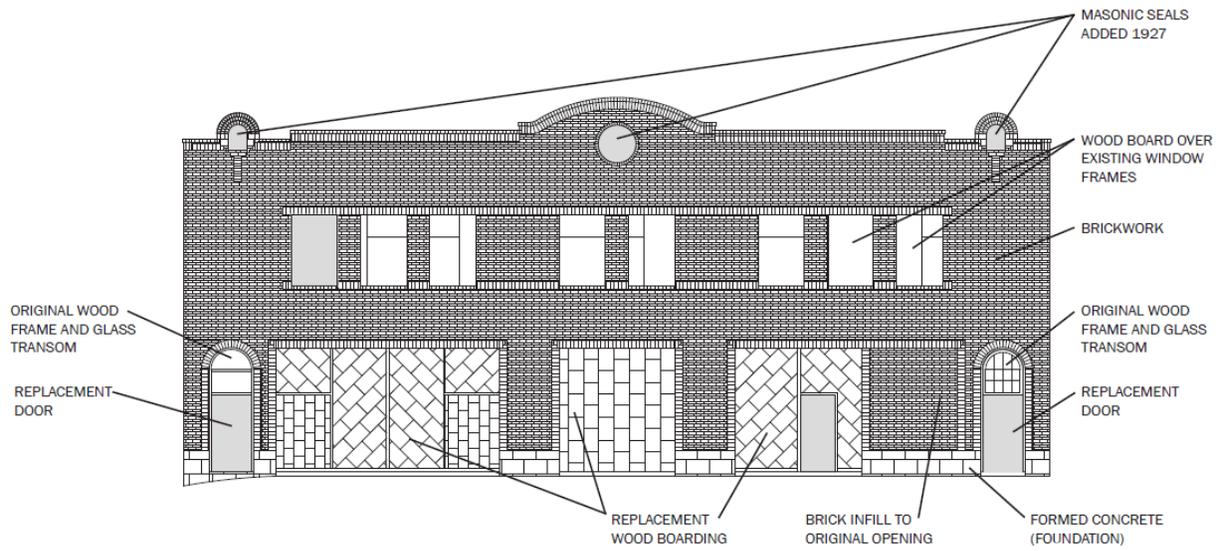
Aerial View



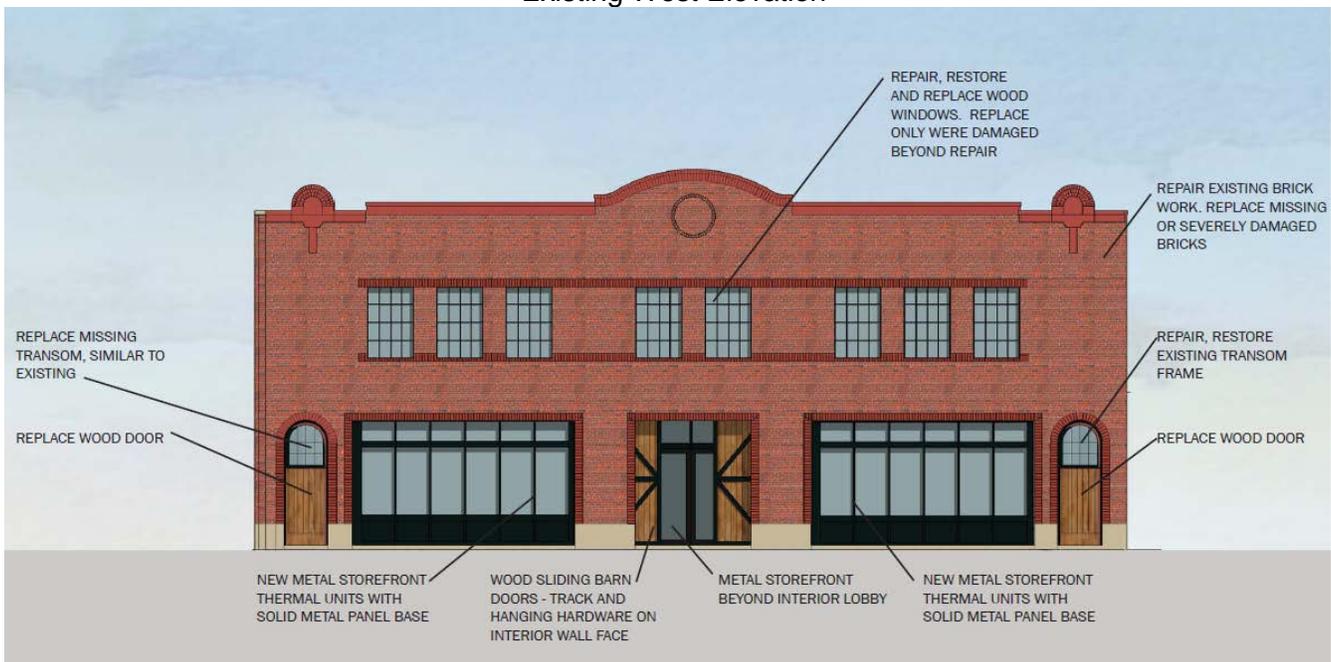
Existing West (Front) Elevation



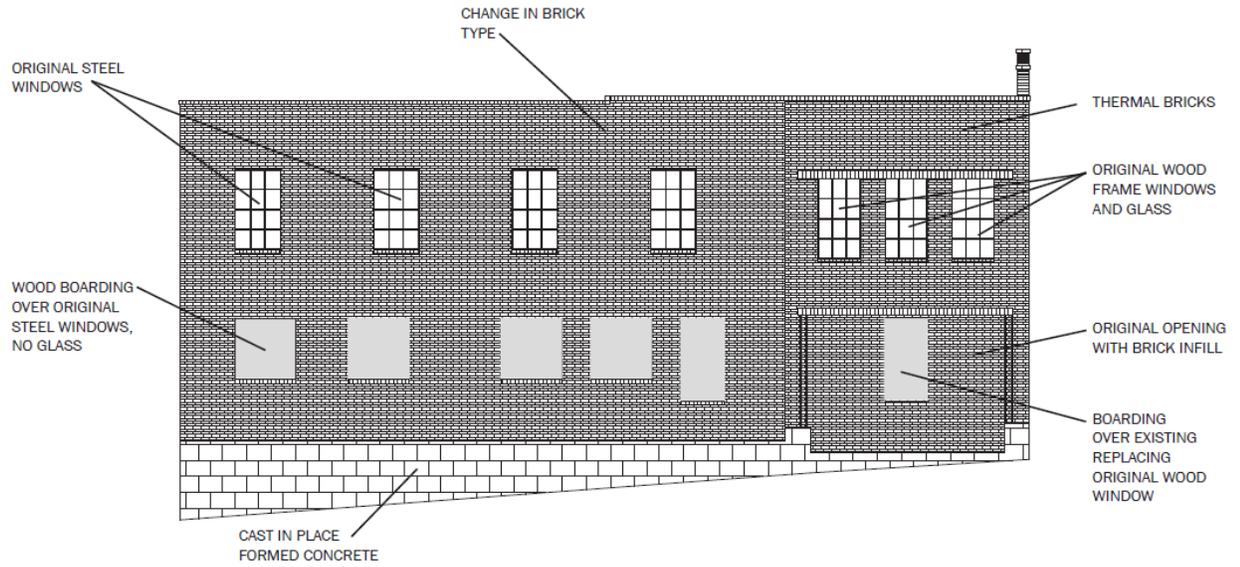
Aerial View showing loss of east elevation and second floor – after wind storm in 2014



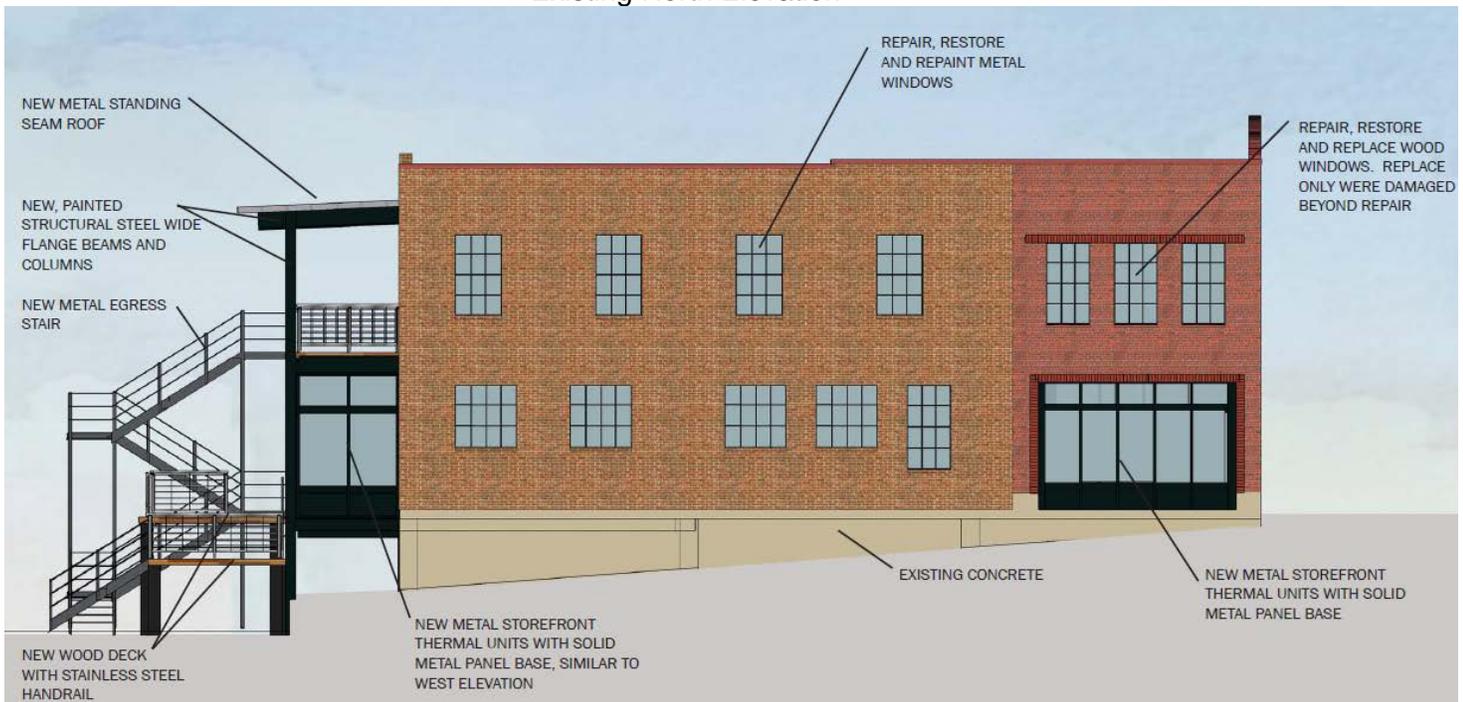
Existing West Elevation



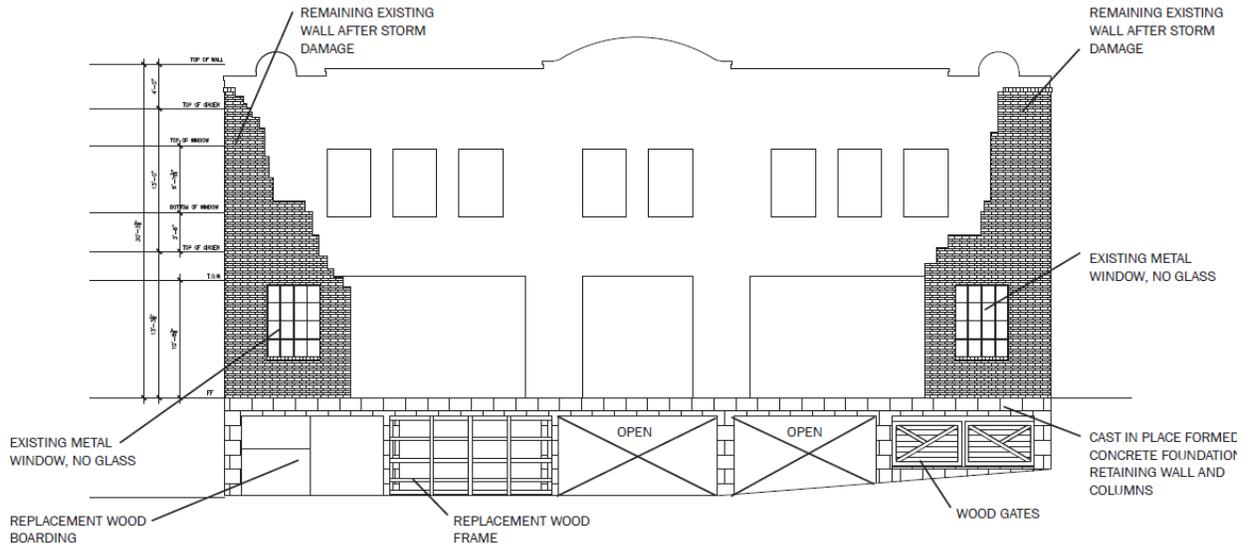
Proposed West Elevation



Existing North Elevation



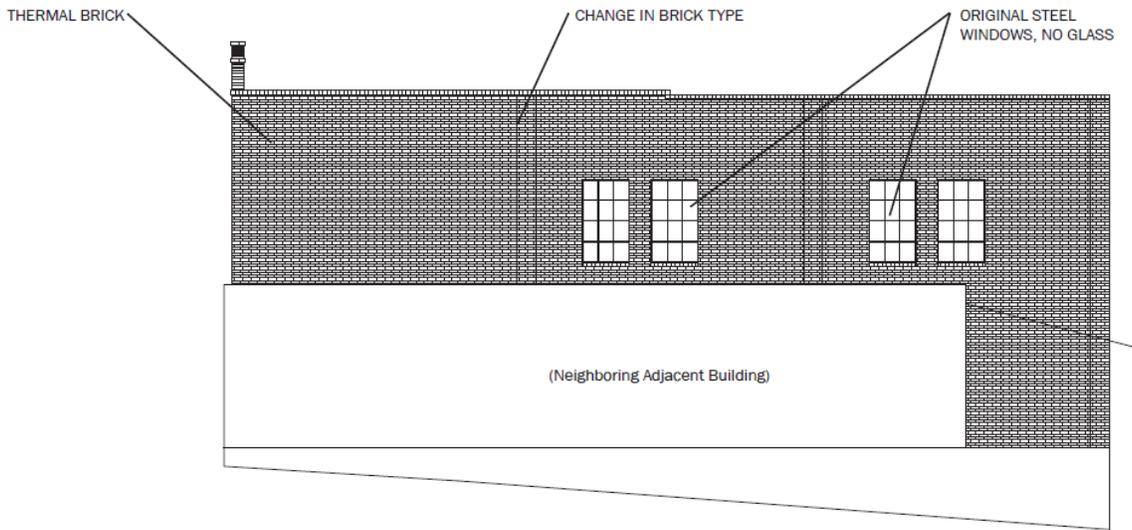
Proposed North Elevation



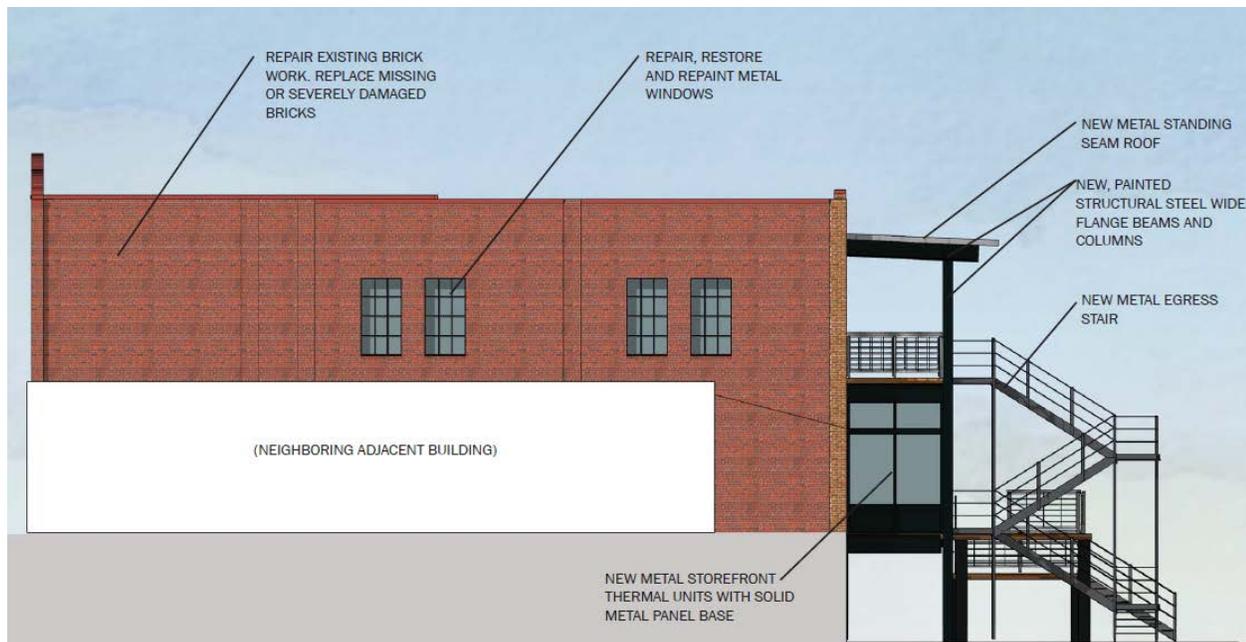
Existing East Elevation



Proposed East Elevation



Existing South Elevation



Proposed South Elevation



Rendering of proposed works looking westward showing the relationship between the new works and the remains of the east wall

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**GENERAL INFORMATION**

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<b>REQUEST</b>	Certificate of Appropriateness
<b>APPLICANT/AGENT</b>	Fort Worth Heritage Development LLC
<b>LOCATION</b>	122 E Exchange Avenue
<b>ZONING/ USE (S)</b>	PD 1017/HC
<b>NEIGHBORHOOD ASSOCIATION</b>	Stockyards

**ANALYSIS OF PROPOSED WORK**

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**CERTIFICATE OF APPROPRIATENESS**

Applicant requests a Certificate of Appropriateness for the construction of a structural frame and roof for Barn F including clerestory windows, the addition of one storefront opening on the North (Creek Alley) Elevation, and the removal of approximately 15 linear feet of the north masonry wall near Marine Creek.

**BACKGROUND**

Barn F of the Horse and Mule Barns is accessed from Mule Alley and is part of the West Barn immediately south and abutting Creek Alley. In October 2015, the HCLC approved a Certificate of Appropriateness, which included the removal of the non-original concrete block west wall and the creation of new openings into the north and south elevations of the East and West Barns.

The subject property is located within the locally-designated Fort Worth Stockyards Historic and Cultural Landmark District (HC) and within the Historic Stockyards National Register District. The *Secretary of the Interior's Standards for the Treatment of Historic Properties* are to be used when evaluating any proposed change to the property. Given the proposed scope of work, the predominant treatment is considered to be *rehabilitation*.

**APPLICABLE DESIGN STANDARDS****The Secretary of the Interior's Standards for Rehabilitation & Guidelines for Rehabilitating Historic Buildings**

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5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

**Building Exterior - Masonry (Recommended)**

*Repairing masonry features by patching, piecing-in, or consolidating the masonry using recognized preservation methods. Repair may also include the limited replacement in kind—or with compatible substitute material—of those extensively deteriorated or missing parts of masonry features when there are surviving prototypes such as terra-cotta brackets or stone balusters.*

*Replacing in kind an entire masonry feature that is too deteriorated to repair—if the overall form and detailing are still evident— using the physical evidence as a model to reproduce the feature. Examples can include large sections of a wall, a cornice, balustrade, column, or stairway. If using the same kind of material is not technically or economically feasible, then a compatible substitute material may be considered.*

**FINDINGS / RECOMMENDATIONS**

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The proposed new opening on the north elevation of Barn F is consistent with the recently-proposed character along Mule Alley. Care is however, warranted, in relation to the potential for adverse cumulative effects arising from the number and size of openings. A sound preservation principle that seeks to “do as much as necessary and as little as possible” is therefore relevant in this case. Cutting-in a new opening may be considered an irreversible intervention. The demonstrated need for such an intervention, given the extent of previously-approved similar interventions and the impact on the structural stability of the wall should be carefully substantiated.

The proposed structural frame and roof are essential to the maintenance of structural integrity and the addition of clerestory windows is consistent with the character of the place. The size, height, and location of the clerestory windows will minimize any visual effects when seen from Mule Alley/Marine Creek.

The proposed aluminum storefront is atypical in a building that is characterized by sparsely-located punched openings set into a masonry wall. That the proposed work is atypical does not inherently imply that it is inappropriate. Given the predominant character of the Horse and Mule Barns, the location of the proposed work serves as a form of mitigation for the contrast that it seeks to achieve.

The removal of approximately 15 feet of deteriorated masonry wall near Marine Creek is acknowledged as a necessary intervention, however, pulling-back the footprint (and as a result, the original form of Barn F) from the west-facing exterior wall contributes to the erosion of the plan form, which is characterized by a strong west edge to the West Barn. Alternatively considered, pulling back the rear wall affords a new opportunity that capitalizes on a strategic relationship to Marine Creek, which may achieve wider district objectives such as the revitalization of the underutilized Saunders Park, while retaining the overall character and appearance of the Horse and Mule Barns as experienced from Mule Alley.

This work involves replacing an entire non-historic masonry concrete-block wall with a glazed storefront. Design for the replacement of a non-historic wall may be an accurate restoration using historical, pictorial, and physical documentation; or the design for its replacement may be a new design that is compatible with the size, scale, material, and color of the historic building.

The proposed glazed replacement wall is compatible with the size and scale of the Horse and Mule Barns, however, the materials and color are intentionally different, with the aim of contrasting the new work from the historic. For this approach, we should revisit Standard 9 above. Since the proposed glazed wall consists of related new construction that does not destroy remaining historic materials that characterizes the Horse and Mule Barns; and the proposed work is differentiated from the old, and is compatible with the massing, size and scale of the historic building; the proposed glazed wall and associated new work is consistent with *Secretary of the Interior's Standards for Rehabilitation* in relation to new construction.

This is an important and strategically-located development that may serve to animate Mule Alley and enhance the pedestrian experience along Marine Creek through to N. Main Street. The potential beneficial effects are therefore much greater than just the rehabilitation of an individual structure, which is also important, but that it can serve to demonstrate the important relationship between the "bricks and mortar" of historic preservation and the revitalization of special places that ultimately has economic value.

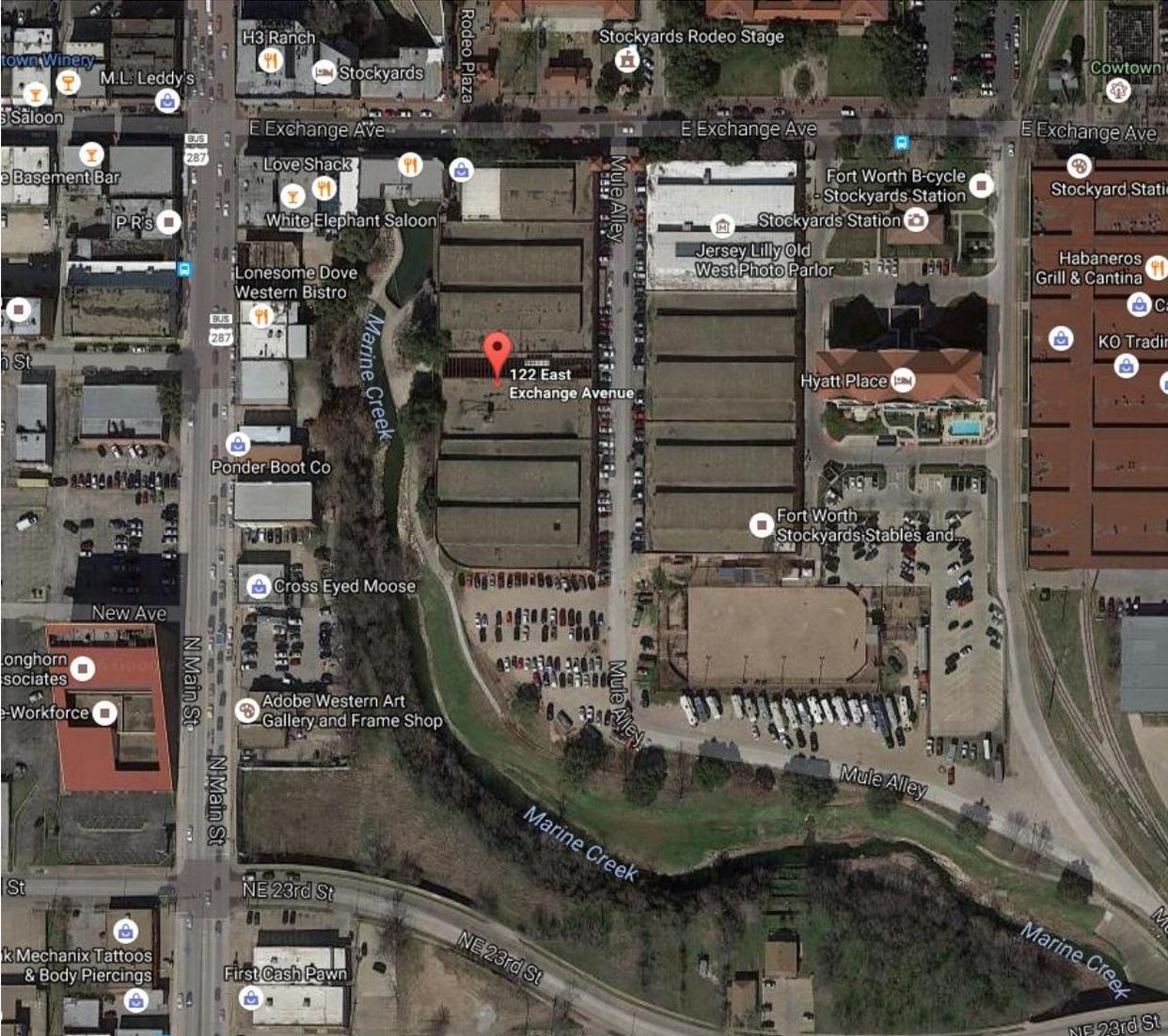
**Staff therefore recommends the following motion:**

**That the Application for a Certificate of Appropriateness to undertake the construction of a structural frame and roof for Barn F including clerestory windows, the addition of one storefront opening on the North (Creek Alley) Elevation, and the removal of approximately 15 linear feet of the north masonry wall near Marine Creek be approved subject to the following conditions:**

- 1. That condition assessments for historic fabric proposed to be replaced be provided;**
- 2. That a materials and methods specification for the repair of historic masonry be provided;**
- 3. That the applicant work with Staff to ensure that the final design includes substantive evidence of the original footprint and massing of Barn F after the removal of the concrete-block west wall;**

- 4. That the applicant consider the number of new openings being cut into the masonry walls based on substantiated need; and**
- 5. That a Temporary Protection Plan, which identifies potential risks and mitigation measures to be undertaken for the remaining historic walls be provided.**

SUPPLEMENTAL MATERIAL



Aerial View



North wall of Barn F (facing Creek Alley)



Area of deteriorated masonry, of which 15 feet is proposed to be removed



View of the west concrete-block wall of Barn F that faces Marine Creek



Interior of Barn F

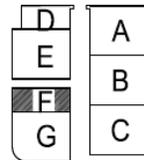
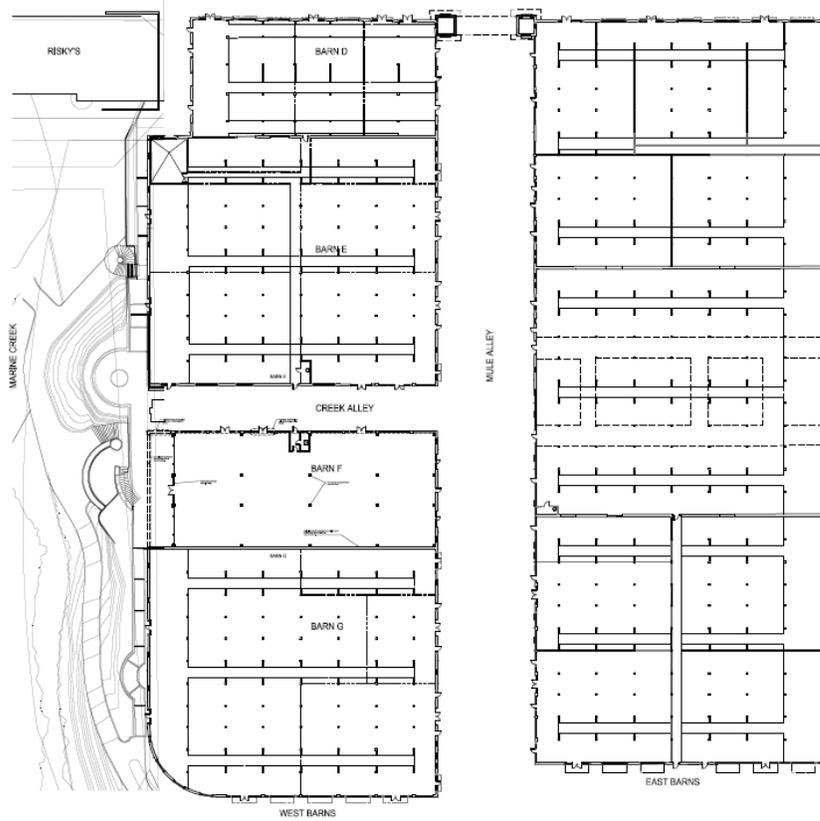


Corrugated metal is positioned at the end of Creek Alley – Barn F is located to the right



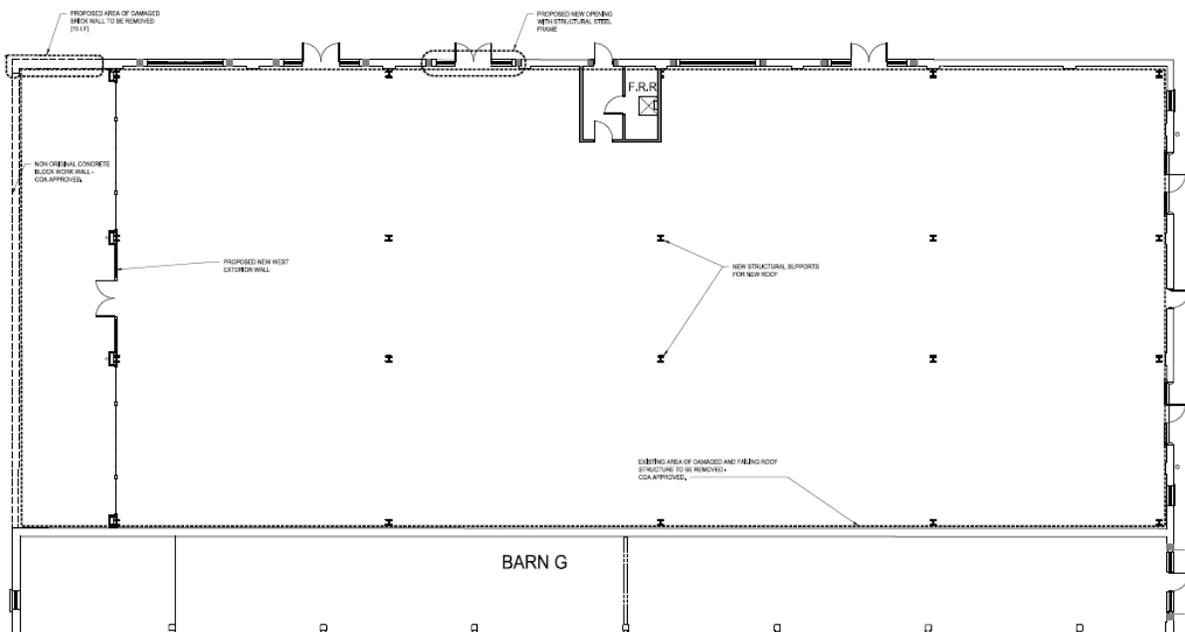
West Barn – showing a consistent wall facing Marine Creek

Proposed Work

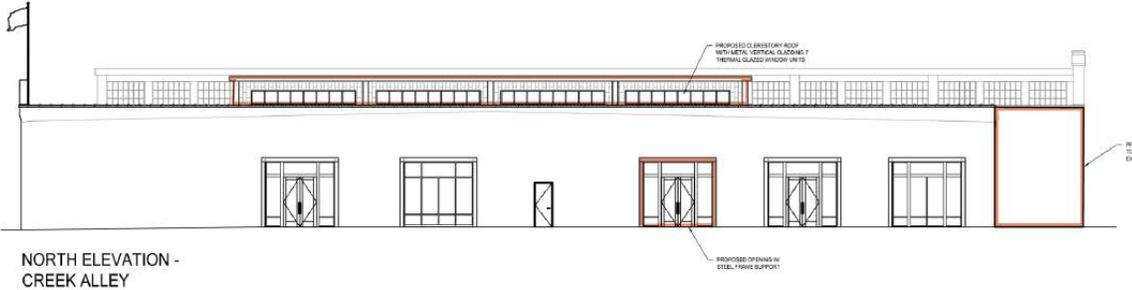
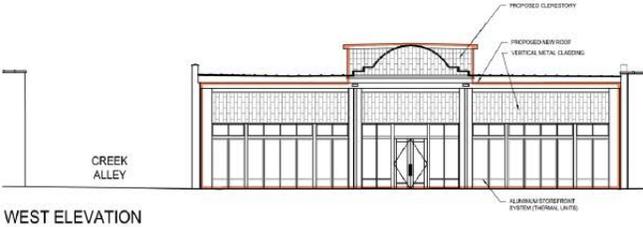
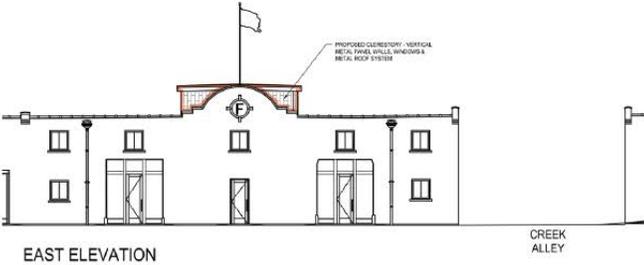


19 Sept 2016

Site Plan



Plan



D	A
E	B
F	C
G	

Elevations