



**ZONING COMMISSION  
AGENDA**

Wednesday, November 13, 2024  
Work Session 11:00 AM  
Public Hearing 1:00 PM

**Work Session**

In-Person:  
City Council Conference Room 2020  
200 Texas Street  
2<sup>nd</sup> Floor  
Fort Worth, Texas 76102

**Public Hearing**

In-Person:  
City Council Chamber  
200 Texas Street  
2<sup>nd</sup> Floor  
Fort Worth, Texas 76102

**Videoconference**

<https://fortworthtexas.webex.com/fortworthtexas/j.php?MTID=m994d44e71eb7ff7c9351946ffc33babd>

Meeting/ Access Code: 2566 077 8749

**Teleconference**

817-392-1111 or 469-210-7159  
Meeting/ Access Code: 2566 077 8749

**Viewing Only**

Television: Charter 190; One Source 7; Verizon 5; AT&T Uverse 99  
City of Fort Worth Website Homepage: Watch Live Online

**Staff Report Link**

[www.fortworthtexas.gov/files/assets/public/v/1/development-services/documents/zoning-cases/docket-agenda-minutes/11-13-24-docket.pdf](http://www.fortworthtexas.gov/files/assets/public/v/1/development-services/documents/zoning-cases/docket-agenda-minutes/11-13-24-docket.pdf)

**This meeting will be conducted by videoconference or telephone call in accordance with the Texas Open Meetings Act.**

**Members of the Zoning Commission may be participating remotely by Videoconference in accordance with the Texas Open Meetings Act. The location identified on this agenda is the location at which the presiding officer will be physically present and presiding over the meeting.**

**There are two ways that any member of the public may address the Zoning Commission regarding an item listed on the agenda.**

- 1. Virtual –By 5 pm prior to the day of the meeting, register at the following link:**

<https://fortworthtexas.webex.com/weblink/register/r3cd47a82d69608eb1dc77030bef1a23a>

2. **In Person –Prior to the start of the meeting, sign-up at the desk located at the entrance to the Council Chambers. Additionally, you may register to speak in person utilizing the link in the virtual instructions above. For questions or assistance with registration, please contact Laura Ruiz at [Laura.Ruiz@fortworthtexas.gov](mailto:Laura.Ruiz@fortworthtexas.gov) or 817-392-8047. Free parking vouchers are available for anyone attending the Zoning Commission meetings. Zoning staff will be available before and after the meeting to hand them out and will be located at the desk where the agendas and sign-up to speak forms are located. Parking is available at the Fort Worth Convention Center Garage located at 1200 Houston St., directly across the street from the Convention Center. The free parking voucher is only available for this parking garage. Upon entering the garage, attendees will need to pull a ticket from the dispenser in the entry lane and they will need to present this ticket in order to obtain a voucher to park without cost. The voucher will be good until 6:00 p.m.**

**Please note that the City of Fort Worth is using a third-party vendor to assist with City meetings. If there are service interruptions, including call-in number changes, we will provide alternative call-in numbers on our website whenever possible.**

**COMMISSION MEMBERS:**

|                               |       |                             |       |
|-------------------------------|-------|-----------------------------|-------|
| Rodney Mayo, CD 1             | _____ | Jeremy Raines, CD 7         | _____ |
| Vacant, CD 2                  | _____ | Tiesa Leggett, CD 8         | _____ |
| Beth Welch, CD 3              | _____ | Wes Hoblit, Vice Chair CD 9 | _____ |
| Matt McCoy, CD 4              | _____ | Jacob Wurman, CD 10         | _____ |
| Rafael McDonnell, Chair, CD 5 | _____ | Cathy Romero, CD 11         | _____ |
| Kelicia Stevenson, CD 6       | _____ |                             |       |

**I. WORK SESSION/Lunch 11:00 AM City Council Conference Room 2020**

- |  |             |
|--|-------------|
| <b>A. Elections</b>                                  | Chair/Staff |
| <b>B. Overview of Zoning Cases on Today’s Agenda</b> | Staff       |
| <b>C. Urban Forestry Update</b>                      | Staff       |

**II. PUBLIC HEARING 1:00 PM**

CASES HEARD AT TODAY’S PUBLIC HEARING ARE SCHEDULED TO BE HEARD AT THE CITY COUNCIL MEETING ON TUESDAY, DECEMBER 10, 2024, AT 6 P.M., UNLESS OTHERWISE NOTED.

**CALL TO ORDER**

- |  |              |
|--|--------------|
| <b>A. APPROVAL OF MEETING MINUTES of October 9, 2024</b> | <b>Chair</b> |
|--|--------------|

*\*\*\*See the “Staff Report” link on the first page for the cases below.\*\*\**

**B. CONTINUED CASES**

- |                     |                                  |             |
|---------------------|----------------------------------|-------------|
| <b>1. ZC-24-117</b> | <b>Case Manager: Lynn Jordan</b> | <b>CD 6</b> |
|---------------------|----------------------------------|-------------|

- |                     |   |
|---------------------|---|
| a. Site Location:   | 6077 McPherson Blvd                                       |
| b. Acreage:         | 1.05  |
| c. Applicant/Agent: | Brakes Plus / Mathias Haubert, Bohler Engineering TX, LLC |

d. Request: To: Add Conditional Use Permit "CUP" for auto repair in "E" Neighborhood Commercial, site plan required

**2. ZC-24-118 Case Manager: Lynn Jordan CD 6**

a. Site Location: McPherson Blvd and Vista Grande Blvd  
b. Acreage: 1.18  
c. Applicant/Agent: Mavis Tire Supply, LLC / Mathias Haubert, Bohler Engineering TX, LLC  
d. Request: To: Add Conditional Use Permit "CUP" for auto repair in "E" Neighborhood Commercial, site plan required

**3. ZC-24-121 Case Manager: Stephen Murray CD 5**

a. Site Location: 11468 Mosier Valley Road  
b. Acreage: 9.01  
c. Applicant/Agent: Trenton Robertson  
d. Request: From: "AG" Agriculture  
To: "PD/SU" Planned Development Specific Use for outdoor storage of materials and equipment without an associated structure, developed to "I" Light Industrial standards, site plan included

**C. NEW CASES**

**4. SP-24-013 Case Manager: Stephen Murray CD 11**

a. Site Location: 1401, 1701, & 2001 Oakhurst Scenic Drive  
b. Acreage: 12.46  
c. Applicant/Agent: Mercy Culture Church, Inc. / Joshua Barnes  
d. Request: To: Site Plan Amendment to add a building on property zoned "PD 586" PD/SU Planned Development/Specific Use for church related activities and signs that exceed maximum height allowed in the "CF" Community Facilities District

**5. ZC-23-202 Case Manager: Beth Knight CD 5**

a. Site Location: 900-1100 blocks S. Edgewood Terrace and 4627- 4811 (odds) E. Rosedale Street  
b. Acreage: 28.6  
c. Applicant/Agent: Hung Dao Vipassana B Center/ Westwood  
d. Request: From: "E" Neighborhood Commercial / "B" Two-Family  
To: "PD" Planned Development for certain "CF" Community Facilities uses as detailed in Exhibit A plus the following accessory uses to a place of worship: visitor lodging, event center, exhibit hall, vendor food court, and indoor storage; Specific development standards for height, parking, signs and urban forestry detailed in Exhibit A, site plan required



**12. ZC-24-133**

**Case Manager: Stephen Murray**

**CD 9**

- a. Site Location: 5225 Thelin Street
- b. Acreage: 18.9
- c. Applicant/Agent: Thelin Land Holdings LLC / Skye Thibodeaux
- d. Request: From: PD 204 "PD-SU" for recycling of roofing materials comprised of wood, composite asphalt, shingles, and commercial built-up roofing material including composting of organic materials (excluding malodorous material including manure) together with the wholesale and retail sales of recycled materials including including composting of organic materials, (excluding malodorous material including manure) together with the wholesale and retail sales of recycled materials including landscaping rock & wood derived products. Operation will comply with Texas Admin. Code Title 30, Part I, Chapter 332; composting as an operation that composts 'Source separated yard trimmings, clean wood material, vegetative material and paper" and is prohibited from accepting or recycling manure. Site Plan required  
 To: "PD/I" Planned Development for all uses in "I" Light Industrial plus machinery, heavy equipment, or truck sales, leasing and service; non-accessory outdoor sales and storage including yards, contractors, lumber or storage, storage yards building materials; truck transport storage; storage of materials and equipment without an associated structure; vehicle sales or rental and service, including automobiles, boats or trailers; excluding towing yard and truck stop with fuel and accessory structures; site plan waiver requested.

**13. ZC-24-134**

**Case Manager: Brett Mangum**

**(future) CD 6**

- a. Site Location: 6600 Oakmont Blvd
- b. Acreage: 101.743
- c. Applicant/Agent: Southwest Pasture LTD / Paxton Motherall / Bo Trainor, Westwood PS
- d. Request: From: Unzoned (AX-24-013)  
 To: "G" Intensive Commercial

To Be Heard by City Council January 14, 2025

**14. ZC-24-135**

**Case Manager: Sandy Michel**

**CD 10**

- a. Site Location: 1101 Highway 114
- b. Acreage: 2.49
- c. Applicant/Agent: Traditions Investors LLC / Ray Oujesky & Teddy Boschini with Kelly Hart & Hallman LLP
- d. Request: From: "A-5" One-Family  
 To: "PD/D" Planned Development for all uses in "D" High Density Multifamily for detached multifamily with development standards for reduced front yard setback, reduction in open space, fencing located between buildings



To: "B/HC" Two Family Residential/Historic and Cultural Overlay

19. ZC-24-149

Case Manager: Stephen Murray

CD All

- a. Text Amendment Game Room Ordinance
- b. Applicant/Agent: City of Fort Worth
- c. Request: To: An ordinance amending the Zoning Ordinance of the City of Fort Worth, being Ordinance No. 21653 as amended, codified as Appendix "A" of the Code of the City of Fort Worth, by amending Chapter 4 "District Regulations" to amend Article 3 "Planned Development ("PD") District" to repeal game room development standards in Section 4.305.c and reserve subsection; to amend section 4.803 "Nonresidential District Use Table" to amend game rooms to revise districts where use is not permitted and revise reference to supplemental use standard; to amend Section 4.1203, "Form Based Districts Use Table" to add "Game room" to the use table add where use is not allowed and add reference to supplemental use standard; to amend Chapter 9, "Definitions", Section 9.101, "Defined Terms" to remove the definitions of "amusement redemption machine," "gambling device" and "game room"

**D. ADJOURNMENT:** \_\_\_\_\_

**ASSISTANCE AT THE PUBLIC MEETINGS:**

This meeting site is wheelchair accessible. Persons with disabilities who plan to attend this meeting and who may need accommodations, auxiliary aids, or services such as interpreters, readers, or large print are requested to contact the City's ADA Coordinator at (817) 392-8552 or e-mail [ADA@FortWorthTexas.gov](mailto:ADA@FortWorthTexas.gov) at least 48 hours prior to the meeting so that appropriate arrangements can be made. If the City does not receive notification at least 48 hours prior to the meeting, the City will make a reasonable attempt to provide the necessary accommodations.

**ASISTENCIA A REUNIONES PUBLICAS:**

Este sitio de reunión es accesible con silla de ruedas. Se solicita a las personas con discapacidades que planean asistir a esta reunión y que necesitan acomodaciones, ayudas auxiliares o servicios tales como intérpretes, lectores o impresiones con letra grande, que se comuniquen con el Coordinador de la Asociación Americana de Discapacitados (ADA) de la Ciudad llamando al teléfono (817) 392-8552 o por correo electrónico a [ADA@FortWorthTexas.gov](mailto:ADA@FortWorthTexas.gov) por lo menos 48 horas antes de la reunión, de modo que puedan hacerse los arreglos adecuados. Si la Municipalidad no recibe una notificación por lo menos 48 horas antes de la reunión, ésta hará un intento razonable para proporcionar las acomodaciones necesarias.

**Executive Session.**

A closed executive session may be held with respect to any posted agenda item to enable the Commission to receive advice from legal counsel, pursuant to Texas Government Code, Section 551.071.



# Zoning Staff Report

**Date:** November 13, 2024

**Case Number:** ZC-24-117

**Council District:** 6

## Conditional Use Permit

**Case Manager:** Lynn Jordan

**Owner / Applicant:** McPherson Holdings LLC / Brakes Plus / Mathias Haubert, Bohler Eng., TX, LLC

**Site Location:** Southeast corner of McPherson Blvd and Vista Grande

**Acreage:** 1.047 acres

### Request

**Proposed Use:** Auto Repair

**Request:** To: Add Conditional Use Permit (CUP) to allow an auto repair facility in “E” Neighborhood Commercial; site plan included

### Recommendation

**Land Use Compatibility:** Requested change **is not compatible**

**Comprehensive Plan Map Consistency:** Requested change **is not consistent**

**Comprehensive Plan Consistency:** Requested change **is not consistent**

**Staff Recommendation:** **Denial**

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1. [Project Description and Background](#)
2. [Surrounding Zoning and Land Uses](#)
3. [Recent Zoning History](#)
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5. [Development Impact Analysis](#)
  - a. [Land Use Compatibility](#)
  - b. [Comprehensive Plan Consistency](#)
  - c. [Site Plan Comments](#)
6. Zoning Map with 300 ft. Notification Area
7. Site Plan
8. Area Map
9. Future Land Use Map
10. Aerial Photograph



## Project Description and Background

The zoning case was continued from last month's meeting to allow more time for the applicant to work with the neighborhood. At the time of this report the applicant had met with the neighborhood and incorporated some of the suggestions from that meeting into the site plan.

The proposed site is an undeveloped area located about 770 feet west of Chisholm Trail and McPherson Boulevard. The applicant seeks a Conditional Use Permit to construct a minor auto repair facility. Automotive repairs are allowed in general commercial and industrial districts by right.

Conditional uses, such as the proposed auto repair facility, are generally compatible with the permitted land uses in a given zoning district. However, they undergo a rigorous individual review process examining their proposed location, design, and configuration. This process ensures that the use is appropriate for a particular location and considers the community's concerns.

While auto repair is not permitted in the "E" zoning district, allowing one by CUP with a site plan may help mitigate any neighborhood concerns and give options for the CUP to be revoked in case of code violation convictions. The proposed auto repair is located in a vacant lot, with proposed general commercial structures located across McPherson to the north and a new multifamily structure being built to the south.

Through Ordinance 23609 effective March 29, 2019, the Conditional Use Permit allows for an unlimited time period for the operation of a use unless otherwise approved by the City Council. If a time limit is established for a Conditional Use Permit, the renewal of the CUP shall be considered through the public hearing process and approved by the City Council. A CUP shall expire if no permitting action is taken within six months of approval or cease of the use for six months. A CUP may be revoked through the public hearing process if necessary after convictions of one or more code violations.

Per Section 4.407 (a), the following general rules apply to all conditional uses:

- a) Conditional use permits in residential districts shall be limited to those uses designated "CUP" in the Residential District Use Table in Chapter 4, Article 6, Section 4.603.
- b) Approval of a conditional use permit shall authorize only the particular use or category of related uses for which the conditional use permit is issued.
- c) A conditional use shall not be enlarged, extended or otherwise modified unless approved by the City Council or approved administratively as applicable.
- d) The use of property for the purposes described in a conditional use permit shall not commence until a certificate of occupancy has been issued. A certificate of occupancy shall not be issued until all or approvals which may be required by the Codes and Ordinances of the City, including, but not limited to, a Building Permit, a Certificate of Occupancy and subdivision approval have been satisfied.

Section (d) provides the following Conditional Use Permit factors in consideration of appropriateness of a request:

- a) The proposed use is consistent with the Comprehensive Plan;
- b) The proposed use is compatible with the existing and adjacent uses.
- c) The proposed use meets all supplemental use standards specifically applicable to the use as set forth in Chapter 5;
- d) The proposed use is compatible with and preserves the character and integrity of adjacent development and neighborhoods;
- e) The proposed use is not materially detrimental to the public health, safety, and welfare, or results in material damage or prejudice to other property in the vicinity.

Site Photos



## Surrounding Zoning and Land Uses

|       |   |
|-------|---|
| North | “G” Intensive Commercial / Vacant Land              |
| East  | “E” Neighborhood Commercial/ Vacant Land            |
| South | “C” Medium Density Multifamily / under construction |
| West  | “E” Neighborhood Commercial / Vacant land           |

## Recent Zoning History

- ZC-13-041 From “C” Medium Density Multifamily and “E” Neighborhood Commercial To “G” Intensive Commercial; Amended to “E” Neighborhood Commercial 4/2013 by City Council; subject area
- ZC-21-013 From “C” Medium Density Multifamily To “PD-D” Planned Development for “D” High Density Multifamily plus detached multifamily with development standards approved by City Council 7/2021, subject area to the south and west

## Public Notification

300-foot Legal Notifications were mailed on Sept 27, 2024.  
The following organizations were notified: (emailed)  
Sept 27, 2024

| Organizations Notified  |   |
|-------------------------|---|
| Llano Springs HOA       | Chisholm Trail Ranch Residential Community HOA* |
| Panther Heights NA      | District 6 Alliance                             |
| Streams And Valleys Inc | Trinity Habitat for Humanity                    |
| Crowley ISD             |   |

\* Located in this registered Neighborhood Association

## Development Impact Analysis

### Land Use Compatibility

The applicant is requesting to modify the current zoning designation of the property from "E" Neighborhood Commercial to add a Conditional Use Permit (CUP) overlay for an auto repair facility. The CUP requirement allows revocation as an option for code violations. The property is located in an area predominantly surrounded by commercial zoning yet undeveloped, and the nearest single-family subdivision is more than 1600' away; the preliminary plat shows that the auto repair facility area is directly adjacent to multifamily development zoned “C” Medium Density Multifamily.

The proposed land use is not appropriate for a neighborhood commercial use; auto repair is permitted by right in “FR” or higher zoning district, the proposed zoning change is not appropriate, nor **compatible** with the surrounding land uses on the southside of McPherson Boulevard.

## Comprehensive Plan Consistency – Far Southwest Sector

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The Comprehensive Plan describes where general land use categories would be appropriate. However, it does not typically specify individual land uses. The CUP process allows the city to consider the appropriateness of an individual use in certain location. The adopted Comprehensive Plan currently designates the subject property as “Neighborhood Commercial” on the Future Land Use Map. The proposed operation is not consistent with this classification.

The proposed zoning is not consistent with the land use designations for this area and with the following policies of the Comprehensive Plan:

- Separate incompatible land uses with buffers or transitional uses. Some land uses have attributes such as height, proportion, scale, operational characteristics, traffic generated, or appearance that may not be compatible with the attributes of other uses.

Based on the lack of conformance with the future land use map and with the policies stated above, the proposed zoning is **not consistent** with the Comprehensive Plan.

## Site Plan Comments

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### **Zoning and Land Use**

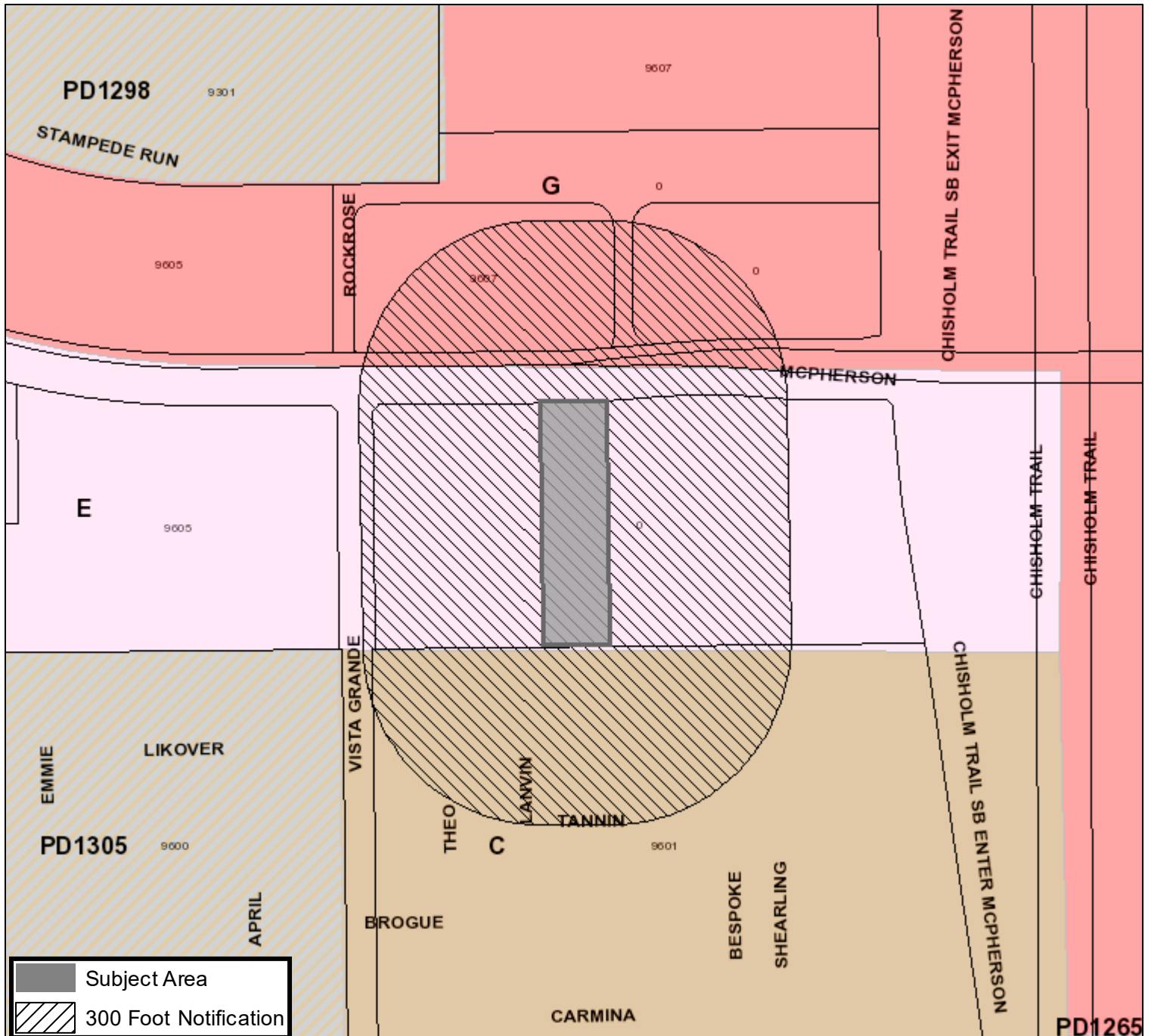
The submitted site plan is in general compliance with Zoning Ordinance regulations.

1. Indicate on the site plan the number of bay doors proposed.
2. Provide the zoning case number to ZC-24-117.
3. All repairs must be conducted within an enclosed building.
4. Include the parking count calculation in the Site Data table.
5. Ensure the proposed access easement lines up with the location of the preliminary plat

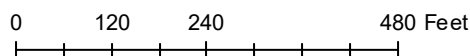


# Area Zoning Map

Applicant: McPherson Holdings LLC  
 Address: SEC of McPherson Boulevard & Vista Grande Boulevard  
 Zoning From: E  
 Zoning To: Add CUP for auto repairs  
 Acres: 1.04363711  
 Mapsco: Text  
 Sector/District: Far\_Southwest  
 Commission Date: 10/8/2024  
 Contact: 817-392-7869

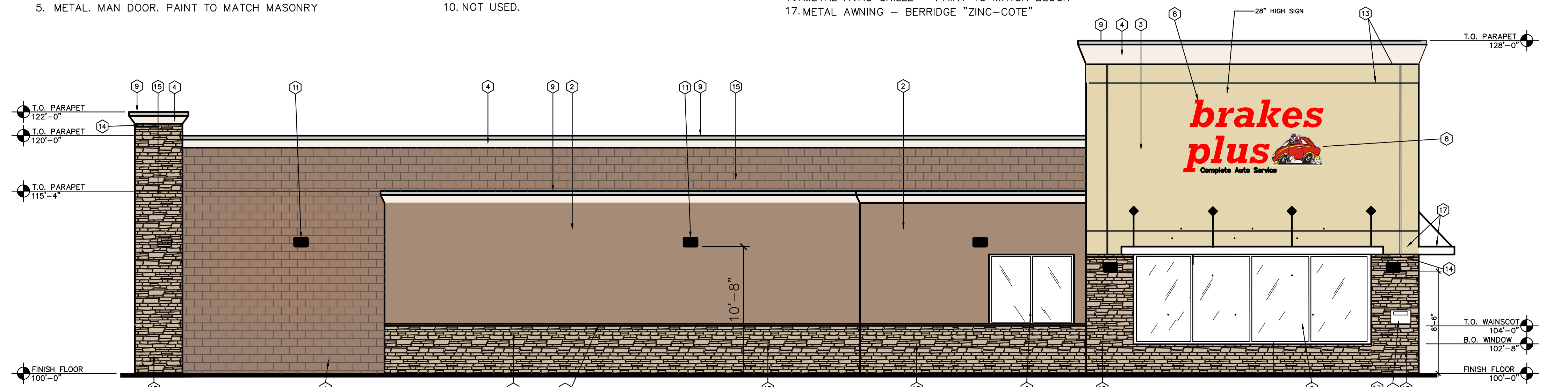


|  |                       |
|--|-----------------------|
|  | Subject Area          |
|  | 300 Foot Notification |

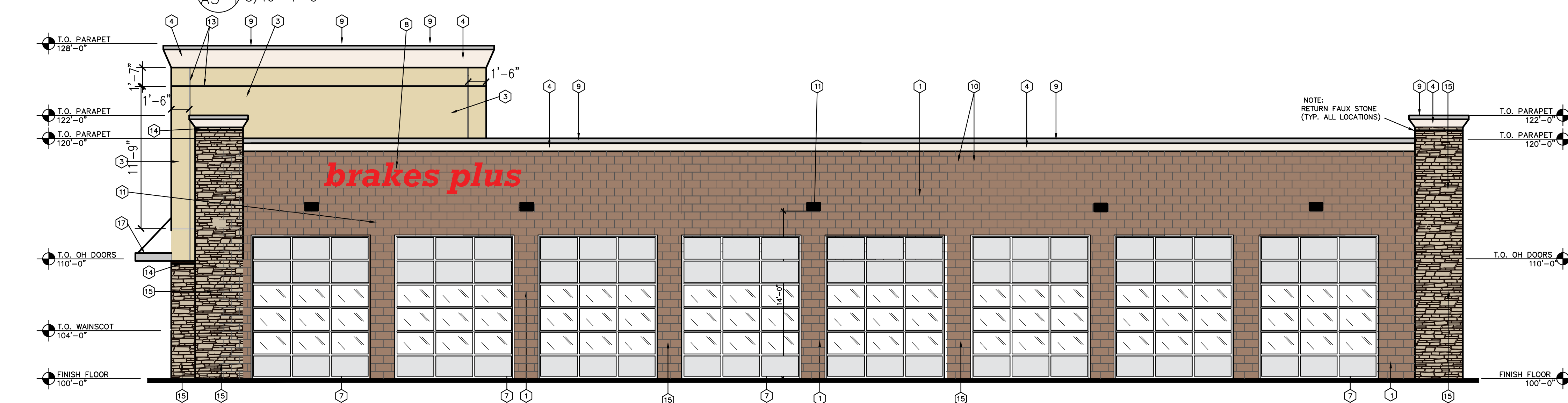


**KEYNOTES**

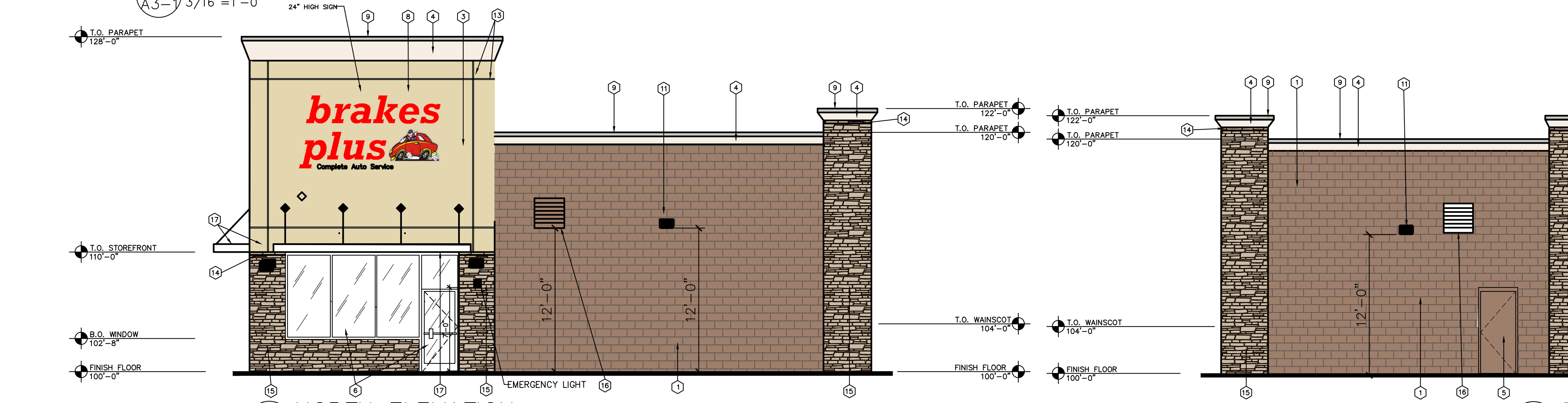
1. SMOOTH FACE CONCRETE BLOCK BY BEST BLOCK COLOR: MEDIUM BROWN
2. EIFS - INTEGRAL COLOR TO MATCH SHERWIN WILLIAMS #2835 CRAFTSMAN BROWN
3. EIFS - INTEGRAL COLOR TO MATCH SHERWIN WILLIAMS #2834 BIRDSEYE MAPLE
4. EIFS - INTEGRAL COLOR TO MATCH SHERWIN WILLIAMS #6105 DIVINE WHITE
5. METAL. MAN DOOR. PAINT TO MATCH MASONRY
6. ALUMINUM/GLASS STOREFRONT CLEAR ANODIZED ALUMINUM
7. ALUMINUM SECTIONAL OVERHEAD DOORS CLEAR ANODIZED ALUMINUM
8. ILLUMINATED SIGNAGE (UNDER SEPARATE PERMIT)
9. PRE-FINISHED METAL CAP FLASHING PREFINISHED TO MATCH FINISH ANODIZED STOREFRONT FRAMING
10. NOT USED.
11. DECORATIVE LIGHT FIXTURE.
12. KEY DROP BOX
13. 1 1/2" X 3/4" REVEAL
14. WATER SILL - FAUX STONE - CULTURED STONE - WHITE OAK COUNTRY LEDGESTONE CV-20046
15. FAUX STONE - CULTURED STONE - WHITE OAK COUNTRY LEDGESTONE CV-20046
16. METAL HVAC GRILLE - PAINT TO MATCH BLOCK
17. METAL AWNING - BERRIDGE "ZINC-COTE"



**1 EAST ELEVATION**  
A3-1 3/16"=1'-0"



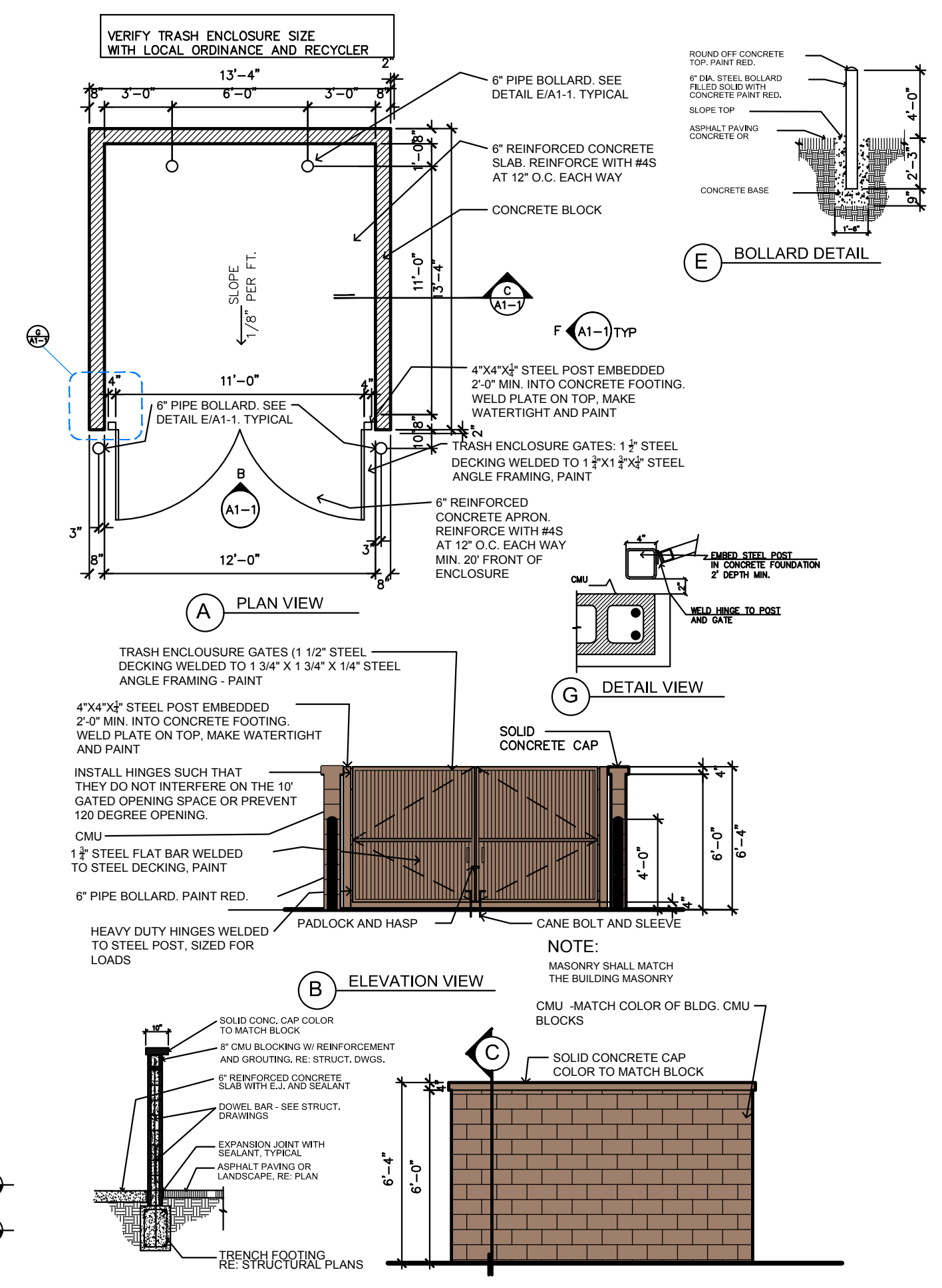
**2 WEST ELEVATION**  
A3-1 3/16"=1'-0"



**3 NORTH ELEVATION**  
A3-1 3/16"=1'-0"



**4 SOUTH ELEVATION**  
A3-1 3/16"=1'-0"



**(A) PLAN VIEW**

**(B) ELEVATION VIEW**

**(C) WALL DETAIL**


**(5) TRASH ENCLOSURE DETAIL**

**BRAKES PLUS**  
SWC OF MCPHERSON & CHISHOLM PARKWAY  
FORT WORTH, TEXAS

ARCHITECT OF RECORD

| REVISION | DATE | COMMENTS |
|----------|------|----------|
|          |      |          |
|          |      |          |
|          |      |          |
|          |      |          |

ARCDEV JOB # \_\_\_\_\_  
 CLIENT/JOB # \_\_\_\_\_  
 DRAWN BY: NLH  
 CHECKED BY: NLH  
 DATE OF ISSUE: 10.05.24

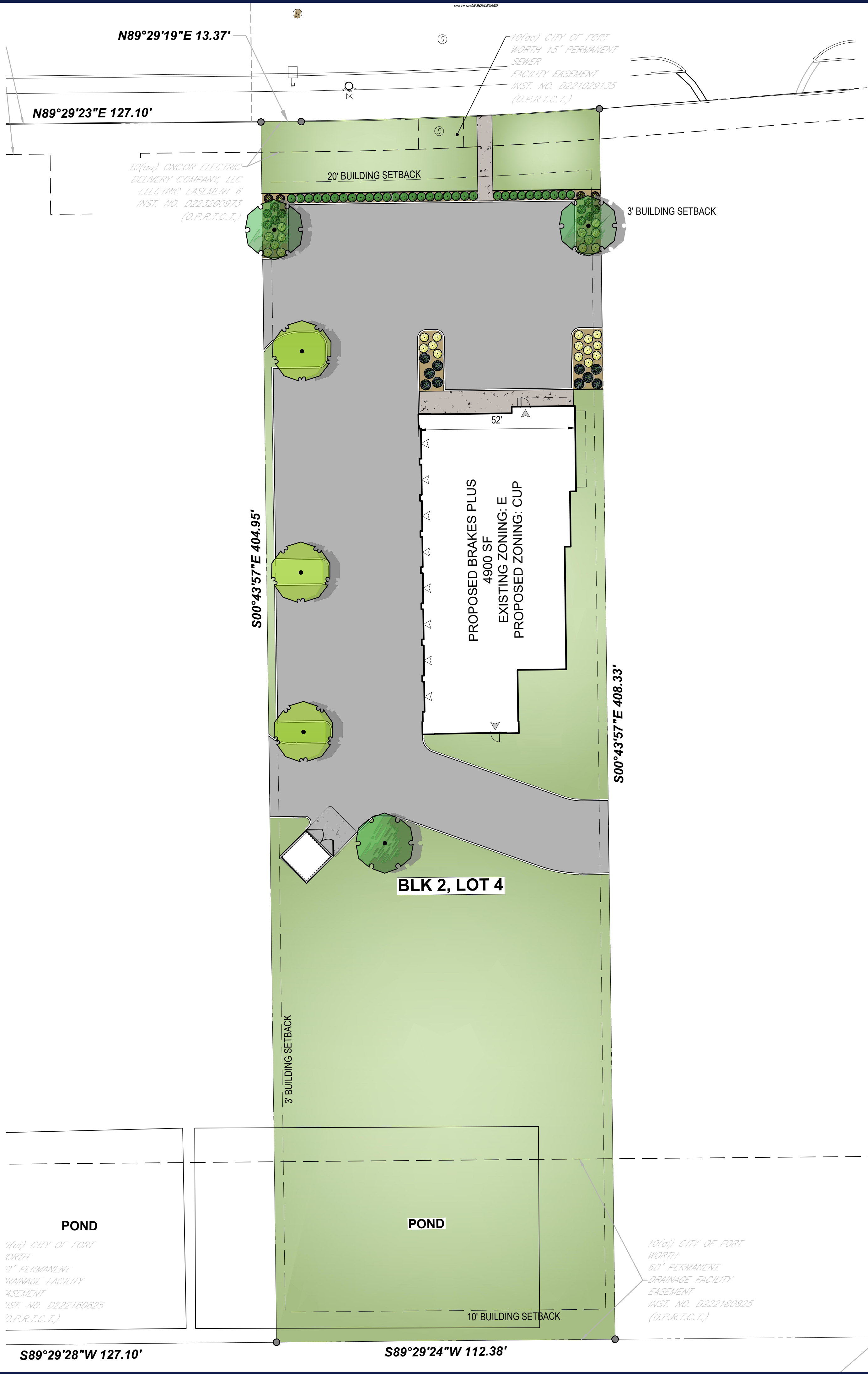


45 SPYGLASS DRIVE  
LITTLETON, CO 80123  
VOICE: 303.861-8923

A SHEET

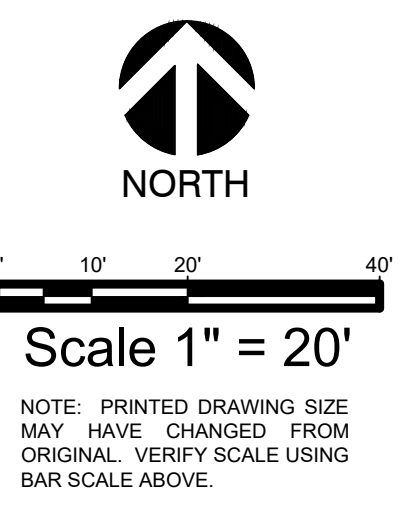
**1**

EXTERIOR ELEVATIONS



**PLANT SCHEDULE**

| PHOTO                     | SYMBOL | COMMON NAME       |
|---------------------------|--------|-------------------|
| <b>LARGE CANOPY TREES</b> |        |                   |
|                           |        | CEDAR ELM         |
|                           |        | HIGHRISE LIVE OAK |
| <b>SHRUBS</b>             |        |                   |
|                           |        | DWF. WAX MYRTLE   |
|                           |        | GOLD MOUND SPIREA |
|                           |        | ROSE CREEK ABELIA |
|                           |        | TEXAS SAGE        |
| <b>SOD/SEED</b>           |        |                   |
|                           |        | BERMUDA GRASS SOD |



**Urban Forestry Plan Checklist**

|  | Calculation      | Sq. Feet | Acres |
|--|------------------|----------|-------|
| <b>Net Urban Forestry Area (phase 1 and 2)</b>   |                  |          |       |
| A Gross area of property (or artificial lot)   | →                | 45,618   | 1.05  |
| B Regulated utility easements and other deductible areas   | →                | 7,859    | 0.18  |
| C Net Urban Forestry Area  | (A-B)            | 37,759   | 0.87  |
| <b>Required Tree Canopy Area (phase 2)</b>   |                  |          |       |
| D Minimum Canopy Coverage Requirement: Commercial/Institutional/Public Project (30%), Industrial (20%), Agricultural (25%), Residential (40%/ New Subdivision Option (25%), Multifamily (50% of open space requirement), Mixed Use Zoned site (5%) | (C x %)          | 11,328   | 0.26  |
| E Additional 5% if using preservation method B ("protected trees")   | (C x 0.05)       |          | 0.00  |
| F Total required canopy coverage for site  | (D+E+gg)         | 11,328   | 0.26  |
| <b>Preservation/Retention of Existing Canopy (phase 1 and 2)</b>   |                  |          |       |
| G Existing tree canopy area  | →                | 0        | 0.00  |
| H If seeking approval for phase 1 only, then preserve a minimum of 50% canopy and stop after completing line M.  | (G x .5)         |          | 0.00  |
| I Preservation requirement (25%)   | (G x .25)        | 0        | 0.00  |
| J Additional 5% if using preservation method B ("protected trees")   | (G x .05)        | 0        | 0.00  |
| K Additional preservation option for mitigation of significant tree removal (only if removing significant trees - see pg 3)  | (ff)             | 0        | 0.00  |
| L Total preservation requirement   | ((H or I)+J+K)   | 0        | 0.00  |
| M Area of existing canopy preserved  | →                | 0        | 0.00  |
| N Total preservation credit *(add line dd only if preserving all significant trees)  | (M + dd*)        | 0        | 0.00  |
| <b>New Tree Planting (phase 2)</b>   |                  |          |       |
| O Required new planting coverage   | (F - M - dd)     | 11,328   | 0.26  |
| P 6 large canopy trees @ 2000 sq ft per tree   | (Qty x 2000)     | 12,000   | 0.28  |
| Q medium canopy trees @ 700 sq ft per tree   | (Qty x 700)      | 0        | 0.00  |
| R small canopy trees @ 100 sq ft per tree  | (Qty x 100)      | 0        | 0.00  |
| S Total Planting   | (P+Q+R)          | 12,000   | 0.28  |
| <b>Parking Areas: 1 or 2 family residential are exempt (phase 2)</b>   |                  |          |       |
| T Area of parking  | →                | 4,509    | 0.10  |
| U Required canopy coverage of parking areas (40%)  | (T x .40)        | 1,804    | 0.04  |
| V Area of canopy coverage being provided for parking   | →                | 10,000   | 0.23  |
| W Excess/deficient parking canopy  | (V-U)            | 8,196    | 0.19  |
| <b>Fulfillment of Requirements (phase 2)</b>   |                  |          |       |
| X Total required canopy coverage for site  | (F)              | 11,328   | 0.26  |
| Y Provided canopy coverage   | (M+S+dd)         | 12,000   | 0.28  |
| Z Excess/deficient overall canopy  | (Y-X)            | 672      | 0.02  |
| <b>Significant Trees</b>   |                  |          |       |
| aa All Post Oaks/Blackjack Oaks ≥ 18" dbh (if east of I-35)  | →                | 0        |       |
| bb All other trees ≥ 27" dbh (regardless of species or location)   | →                | 0        |       |
| cc Total of significant trees to be preserved  | →                | 0        |       |
| dd Significant tree preservation credit  | (cc sqft x 0.5)  |          |       |
| ee Total of significant trees to be removed  | aa+bb-cc         | 0        |       |
| <b>Significant Tree - Removal Mitigation Options (Choose One):</b>   |                  |          |       |
| ff Preservation of existing canopy 1.5X the canopy of removed significant trees in excess of required canopy OR...   | (ee sqft x 1.5)  |          |       |
| gg Planting additional trees 5X the canopy of removed significant trees in excess of required canopy OR...   | (ee sqft x 5)    | 0        |       |
| Payment into tree fund for total dbh inches of significant trees removed @ \$200 per inch dbh OR...  | (ee dbh x \$200) |          |       |
| Urban Design Commission approved plan that mitigates the removal of the significant tree(s)  | \$ 6000          |          |       |

**REVISIONS**

| REV | DATE | COMMENT | DRAWN BY | CHECKED BY |
|-----|------|---------|----------|------------|
|     |      |         |          |            |

**NOT APPROVED FOR CONSTRUCTION**

|              |              |
|--------------|--------------|
| PROJECT No.: | TXA240075.00 |
| DRAWN BY:    | MNB          |
| CHECKED BY:  | MB / SS      |
| DATE:        | 10/22/2024   |
| CAD ID:      |              |

**CONSTRUCTION DOCUMENTS**

FOR

SITE ADDRESS:  
SOUTH WEST CORNER OF MCPHERSON BLVD & CHISHOLM TRAIL PKWY  
ALBIRADO, JUAN JOSE SURVEY  
ABSTRACT 4 TRACT 5A2A2  
8.297 ACRES  
TARRANT COUNTY  
FORT WORTH, TEXAS 76123

**BOHLER**

2600 NETWORK BLVD, SUITE 310  
FRISCO, TX 75034  
Phone: (469) 458-7300  
TX@BohlerEng.com  
TBPE No. 18065 | TBPLS No. 10194413

THIS DOCUMENT IS ISSUED FOR INTERIM REVIEW AND IS NOT TO BE USED FOR CONSTRUCTION, BIDDING, OR PERMITTING PURPOSES.

MARY N. BATES  
TEXAS L.A. #3613

ISSUED ON:  
OCTOBER 22, 2024

SHEET TITLE:  
**CONCEPTUAL LANDSCAPE PLANTING**

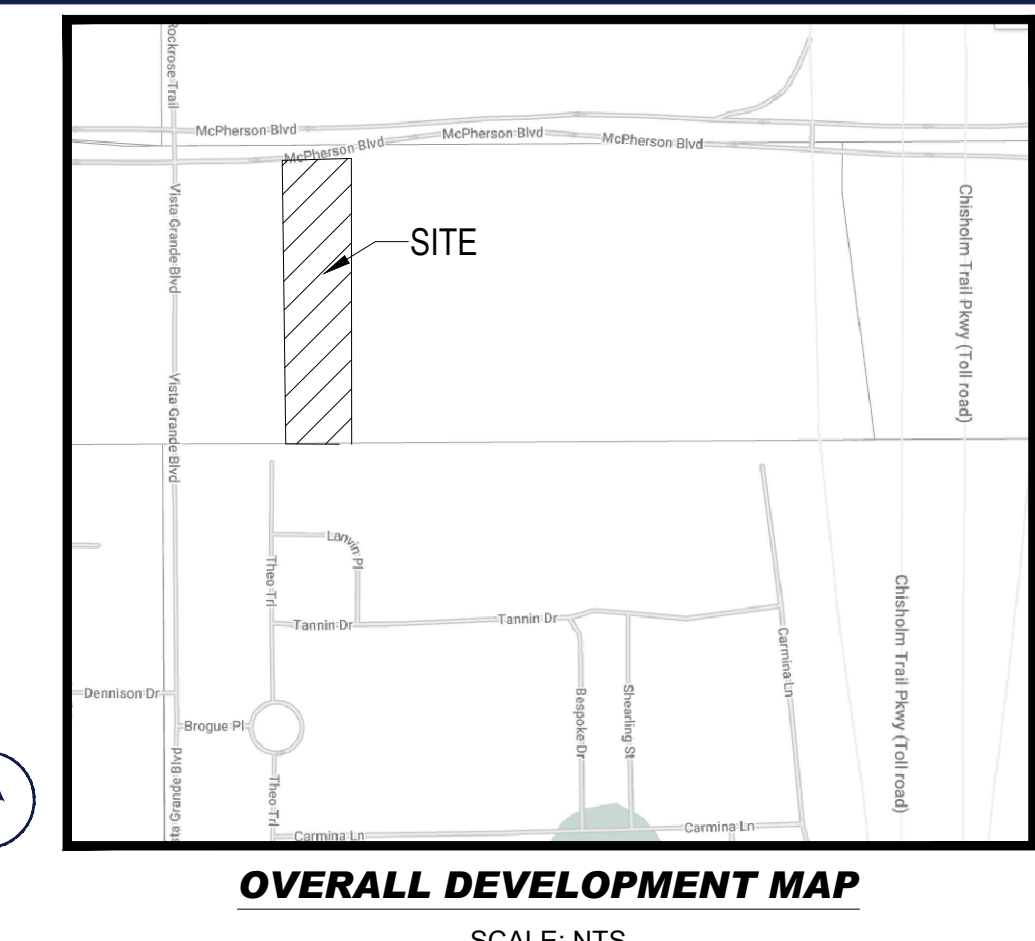
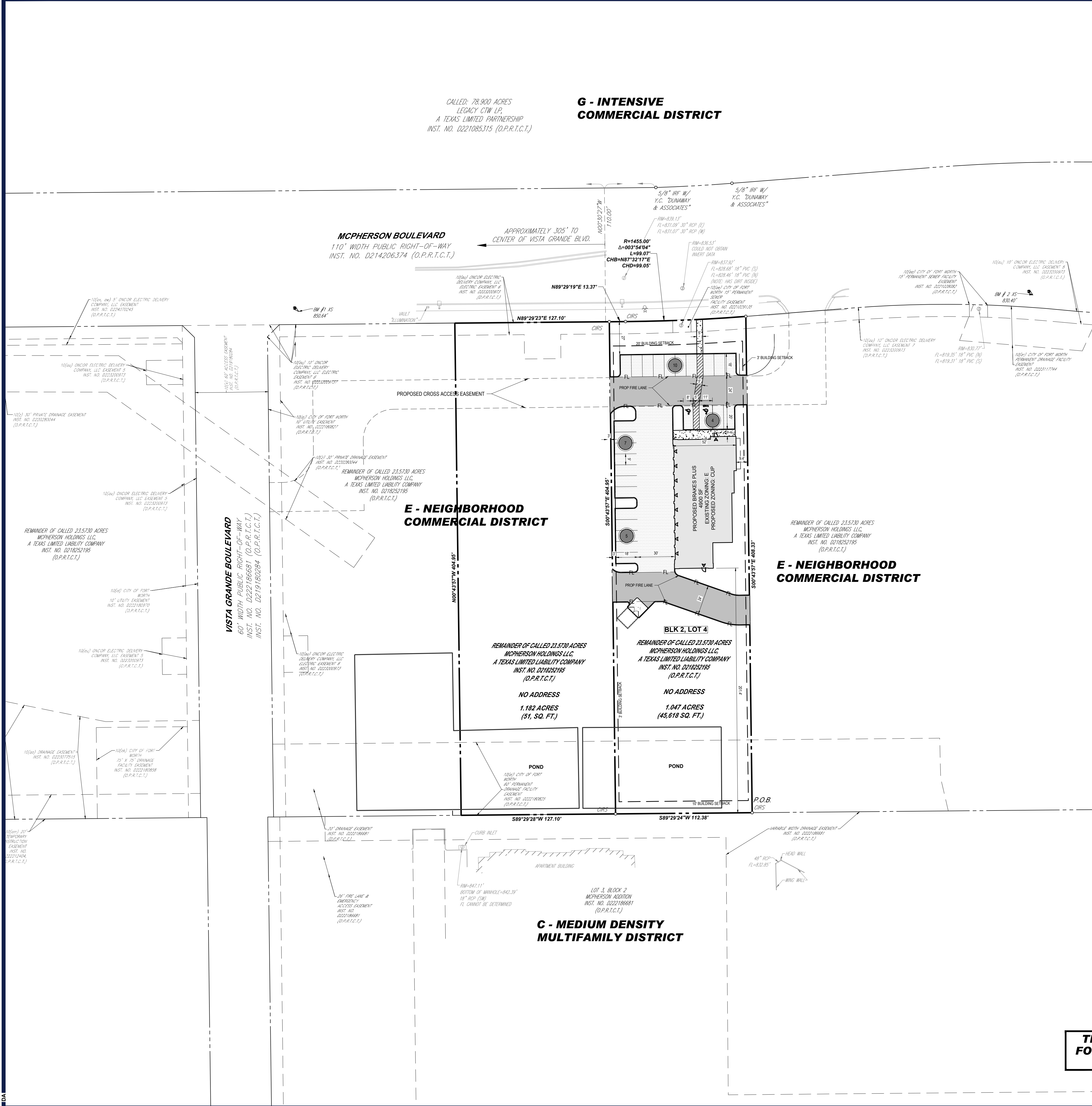
SHEET NUMBER:  
**LP-1**

ZONING CASE NUMBER: ZC-24-117

National Presence. Local Expertise.

LANDSCAPE ARCHITECTURE - LAND PLANNING - IRRIGATION DESIGN  
800.880.8650 | www.evergreendesigngroup.com

OCT 23, 2024  
 P:\BID\PROJECTS\2024\BRAKES PLUS\BRAKES PLUS FIV CHISHOLM LP-1\JAVOUT-LP-1



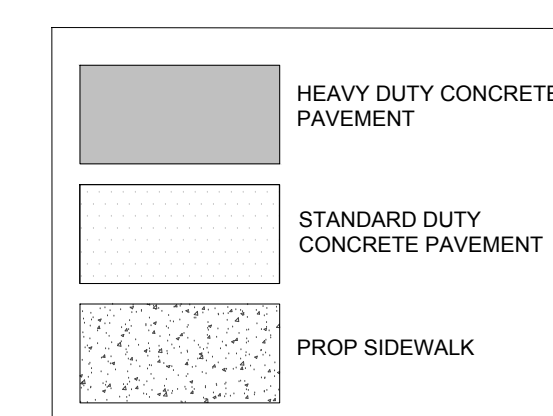
**SITE NOTES:**

1. THIS PROJECT WILL COMPLY WITH SECTION 6.301, LANDSCAPING OF THE CITY OF FORT WORTH.
2. THIS PROJECT WILL COMPLY WITH SECTION 6.302, URBAN FORESTRY OF THE CITY OF FORT WORTH.
3. ALL SIGNAGE WILL CONFORM TO ARTICLE 4, SIGNS OF THE CITY OF FORT WORTH.
4. ALL PROVIDED LIGHTING WILL CONFORM TO LIGHTING CODE OF THE CITY OF FORT WORTH.
5. THE PROPOSED ACTIVITIES SHALL COMPLY WITH THE CITY OF FORT WORTH DEVELOPMENT REGULATIONS (LATEST EDITION) INCLUDING THE TREE AND LANDSCAPE CODE, STORM WATER MANAGEMENT REGULATIONS, AND FIRE CODES AT THE TIME OF PERMITTING.
6. SIDEWALKS TO BE PROVIDED AND BUILT IN ACCORDANCE WITH THE CITY OF FORT WORTH LAND DEVELOPMENT REGULATIONS (LATEST EDITION). ALL PROPOSED SIDEWALKS SHALL MEET ADA REQUIREMENTS.
7. ALL DIMENSIONS ARE SHOWN AT FACE OF CURB, UNLESS OTHERWISE NOTED. B/C INDICATES DIMENSION IS TO BACK OF CURB.
8. CONSTRUCTION PLAN APPROVAL DOES NOT EXEMPT THE CONTRACTOR FROM OBTAINING THE REQUIRED BUILDING, ELECTRICAL, PLUMBING, AND MECHANICAL PERMITS. THESE INCLUDE BUT ARE NOT LIMITED TO ANY STRUCTURE, SIGN, WALL, ENCLOSURE, OR SCREENING, ETC.
9. ANY DAMAGED SIDEWALK OR CURB WITHIN THE TxDOT RIGHT-OF-WAY SHALL BE REMOVED AND REPLACED AT THE CONTRACTORS EXPENSE.
10. ALL POTABLE WATER, RECLAIMED WATER, AND SANITARY SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE APPROVED CONSTRUCTION PLAN.
11. FIRE LANE STRIPING SHALL BE SIX (6) INCHES WIDE, PAINTED WITH AN EXTERIOR ACRYLIC LATEX PAINT. COLOR SHALL BE 'TRAFFIC RED'. LETTERS SHALL BE FOUR (4) INCHES HIGH WITH THE WIDTH OF STROKE AT LEAST 1/2" PAINTED WITH AN EXTERIOR ACRYLIC PAINT. COLOR SHALL BE TRAFFIC WHITE.
12. ALL REPAIRS MUST BE CONDUCTED WITHIN AN ENCLOSED BUILDING.

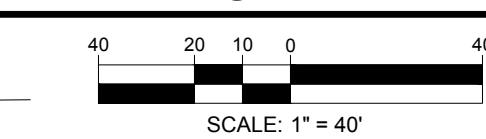
**SITE DATA**

|                         |  |
|-------------------------|--|
| LEGAL DESCRIPTION       | SOUTH WEST CORNER OF MCPHERSON BLVD & CHISHOLM TRAIL PKWY ALBRADO, JUAN JOSE SURVEY ABSTRACT 4 TRACT 5A2A2 8.297 ACRES |
| ZONING CASE #           | ZC-24-117  |
| SITE ADDRESS            | TBD  |
| JURISDICTION            | CITY OF FORT WORTH   |
| EXISTING ZONING         | E - NEIGHBORHOOD COMMERCIAL  |
| PROPOSED ZONING         | CUP  |
| EXISTING LAND USE       | COMMERCIAL   |
| PROPOSED LAND USE       | AUTOMOTIVE REPAIR  |
| BUILDING INFORMATION:   |  |
| GROSS FLOOR AREA        | 4,900 SF   |
| NUMBER OF STORIES       | 1 STORY  |
| # OF PROPOSED BAY DOORS | 8 BAYS   |
| PARKING INFORMATION:    |  |
| REQUIRED PARKING        | 20 SPACES  |
| PROPOSED PARKING        | 26 SPACES  |

**HATCH LEGEND**



**THIS PLAN TO BE UTILIZED FOR SITE LAYOUT PURPOSES ONLY**



**BRAKES PLUS DEVELOPMENT**

DIRECTOR OF DEVELOPMENT SERVICES:

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

ZONING CASE #: ZC-24-117

PROJECT #: TXA240075.00

REVISION DATE: 10/02/2024

**BOHLER**

SITE CIVIL AND CONSULTING ENGINEERING  
 PROGRAM MANAGEMENT  
 LANDSCAPE ARCHITECTURE  
 SUSTAINABLE DESIGN  
 PERMITTING SERVICES  
 TRANSPORTATION SERVICES

**REVISIONS**

| REV | DATE | COMMENT | DRAWN BY | CHECKED BY |
|-----|------|---------|----------|------------|
|     |      |         |          |            |

**811**

Know what's below.  
 Call before you dig.  
 ALWAYS CALL 811  
 It's fast. It's free. It's the law.

**NOT APPROVED FOR CONSTRUCTION**

PROJECT No.: TXA240075.00  
 DRAWN BY: MUH  
 CHECKED BY: MUH  
 DATE: 10/02/2024  
 CAD ID: \_\_\_\_\_

**CONSTRUCTION DOCUMENTS**



SITE ADDRESS:  
 SOUTH WEST CORNER OF MCPHERSON BLVD & CHISHOLM TRAIL PKWY ALBRADO, JUAN JOSE SURVEY ABSTRACT 4 TRACT 5A2A2  
 8.297 ACRES  
 TARRANT COUNTY  
 FORT WORTH, TEXAS 76123

**BOHLER**

2600 NETWORK BLVD, SUITE 310  
 FRISCO, TX 75034  
 Phone: (469) 458-7300  
 TX@BohlerEng.com  
 TBPE No. 18065 | TBPLS No. 10194413

PLANS PREPARED BY  
**BOHLER**  
 FOR REVIEW PURPOSES ONLY  
 MATTHEW HUBERT  
 LICENSE NUMBER: 13030

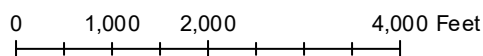
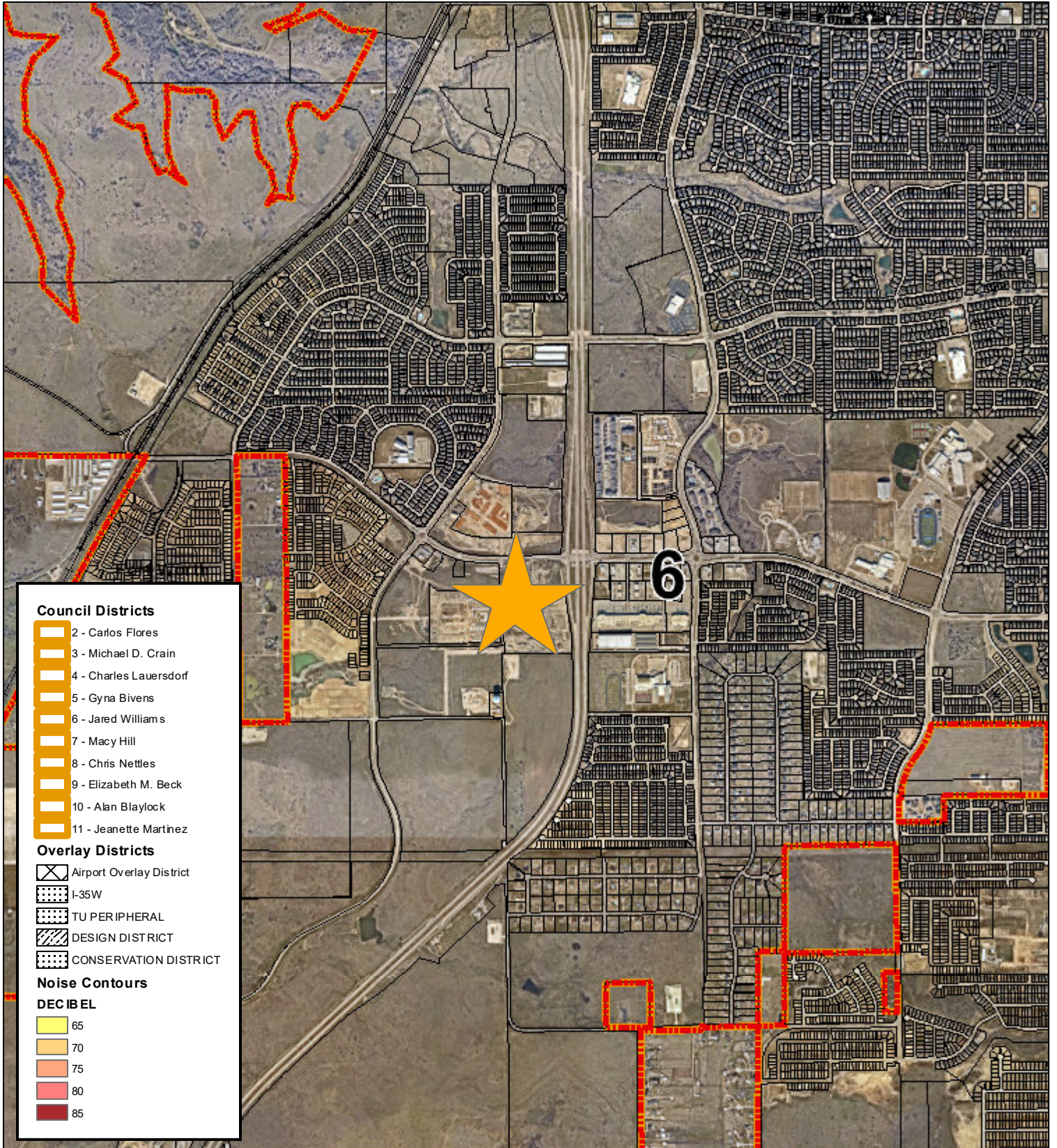
SHEET TITLE:  
**SITE PLAN**

SHEET NUMBER:  
**C-301**

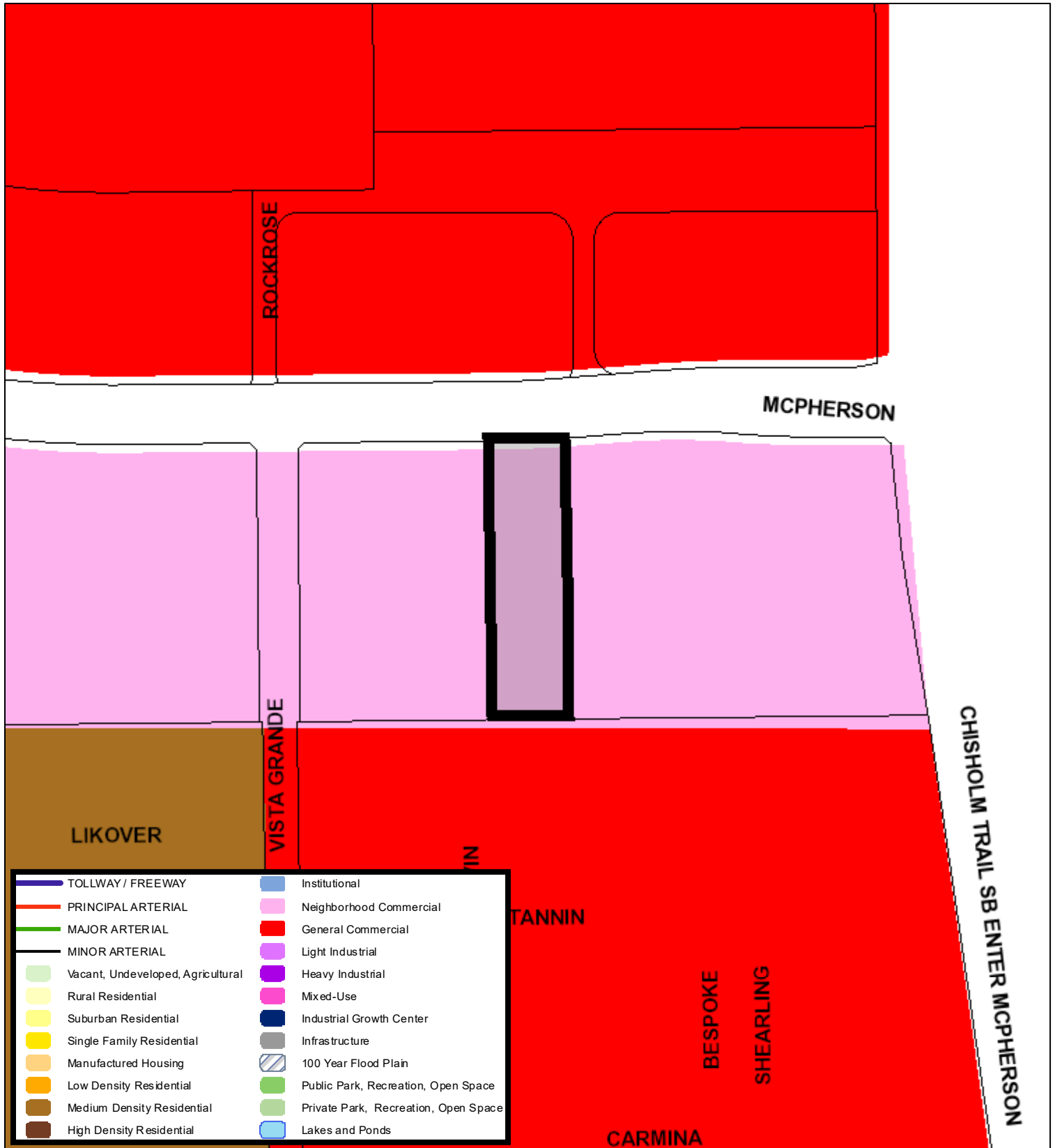
ZONING CASE NUMBER: ZC-24-117



### Area Map



### Future Land Use



190 95 0 190 Feet

A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



## Aerial Photo Map



0 120 240 480 Feet





# Zoning Staff Report

**Date:** November 13, 2024

**Case Number:** ZC-24-118

**Council District:** 6

## Conditional Use Permit

**Case Manager:** Lynn Jordan

**Owner / Applicant:** McPherson Holdings LLC / Mavis Tire Supply / Mathias Haubert, Bohler Eng., TX, LLC

**Site Location:** Southeast corner of McPherson Blvd and Vista Grande

**Acreage:** 1.182 acres

### Request

**Proposed Use:** Auto Repair

**Request:** To: Add Conditional Use Permit (CUP) to allow an auto repair facility in “E” Neighborhood Commercial; site plan included

### Recommendation

**Land Use Compatibility:** Requested change **is not compatible**

**Comprehensive Plan Map Consistency:** Requested change **is not consistent**

**Comprehensive Plan Consistency:** Requested change **is not consistent**

**Staff Recommendation:** **Denial**

### Table of Contents

- [1. Project Description and Background](#)
- [2. Surrounding Zoning and Land Uses](#)
- [3. Recent Zoning History](#)
- [4. Public Notification](#)
- [5. Development Impact Analysis](#)
  - [a. Land Use Compatibility](#)
  - [b. Comprehensive Plan Consistency](#)
  - [c. Site Plan Comments](#)
6. Zoning Map with 300 ft. Notification Area
7. Site Plan
8. Area Map
9. Future Land Use Map
10. Aerial Photograph

## Project Description and Background

The zoning case was continued from last month's meeting to allow more time for the applicant to work with the neighborhood. At the time of this report the applicant had met with the neighborhood and incorporated some of the suggestions from that meeting into the site plan.

The proposed site is an undeveloped area located about 600 feet west of Chisholm Trail and McPherson Boulevard. The applicant seeks a Conditional Use Permit to construct a minor auto repair facility. Automotive repairs are allowed in commercial and industrial districts.

Conditional uses, such as the proposed auto repair facility, are generally compatible with the permitted land uses in a given zoning district. However, they undergo a rigorous individual review process examining their proposed location, design, and configuration. This process ensures that the use is appropriate for a particular location and considers the community's concerns.

While auto repair is not permitted in the "E" zoning district, allowing one by CUP with a site plan may help mitigate any neighborhood concerns and give options for the CUP to be revoked in case of code violation convictions. The proposed auto repair is located in a vacant lot, with proposed general commercial structures located across McPherson to the north and a new multifamily structure being built to the south.

Through Ordinance 23609 effective March 29, 2019, the Conditional Use Permit allows for an unlimited time period for the operation of a use unless otherwise approved by the City Council. If a time limit is established for a Conditional Use Permit, the renewal of the CUP shall be considered through the public hearing process and approved by the City Council. A CUP shall expire if no permitting action is taken within six months of approval or cease of the use for six months. A CUP may be revoked through the public hearing process if necessary after convictions of one or more code violations.

Per Section 4.407 (a), the following general rules apply to all conditional uses:

- a) Conditional use permits in residential districts shall be limited to those uses designated "CUP" in the Residential District Use Table in Chapter 4, Article 6, Section 4.603.
- b) Approval of a conditional use permit shall authorize only the particular use or category of related uses for which the conditional use permit is issued.
- c) A conditional use shall not be enlarged, extended or otherwise modified unless approved by the City Council or approved administratively as applicable.
- d) The use of property for the purposes described in a conditional use permit shall not commence until a certificate of occupancy has been issued. A certificate of occupancy shall not be issued until all or approvals which may be required by the Codes and Ordinances of the City, including, but not limited to, a Building Permit, a Certificate of Occupancy and subdivision approval have been satisfied.

Section (d) provides the following Conditional Use Permit factors in consideration of appropriateness of a request:

- a) The proposed use is consistent with the Comprehensive Plan;
- b) The proposed use is compatible with the existing and adjacent uses.
- c) The proposed use meets all supplemental use standards specifically applicable to the use as set forth in Chapter 5;
- d) The proposed use is compatible with and preserves the character and integrity of adjacent development and neighborhoods;
- e) The proposed use is not materially detrimental to the public health, safety, and welfare, or results in material damage or prejudice to other property in the vicinity.



## Surrounding Zoning and Land Uses

|       |   |
|-------|---|
| North | “G” Intensive Commercial / Vacant Land              |
| East  | “E” Neighborhood Commercial/ Vacant Land            |
| South | “C” Medium Density Multifamily / under construction |
| West  | “E” Neighborhood Commercial / Vacant land           |

## Recent Zoning History

- ZC-13-041 From “C” Medium Density Multifamily and “E” Neighborhood Commercial To “G” Intensive Commercial; Amended to “E” Neighborhood Commercial 4/2013 by City Council; subject area
- ZC-21-013 From “C” Medium Density Multifamily To “PD-D” Planned Development for “D” High Density Multifamily plus detached multifamily with development standards approved by City Council 7/2021, subject area to the south and west

## Public Notification

300-foot Legal Notifications were mailed on Sept 27, 2024.  
The following organizations were notified: (emailed)  
Sept 27, 2024

| Organizations Notified                          |                              |
|---|------------------------------|
| Chisholm Trail Ranch Residential Community HOA* | Llano Springs HOA            |
| Panther Heights NA                              | District 6 Alliance          |
| Streams & Valleys Inc.                          | Trinity Habitat for Humanity |
|   | Crowley ISD                  |

\* Located closest to this registered Neighborhood Association

## Development Impact Analysis

### Land Use Compatibility

The applicant is requesting to modify the current zoning designation of the property from "E" Neighborhood Commercial to add a Conditional Use Permit (CUP) overlay for an auto repair facility. The CUP requirement allows revocation as an option for code violations. The property is located in an area predominantly surrounded by commercial zoning yet undeveloped, and the nearest single-family subdivision is more than 1500' away; the preliminary plat shows that the auto repair facility area is directly adjacent to multifamily development zoned “C”. Medium Density Multifamily.

The proposed land use is not appropriate for a neighborhood commercial use; auto repair is permitted by right in “FR” or higher zoning district, the proposed zoning change is not appropriate, nor **compatible** with the surrounding land uses on the southside of McPherson Boulevard.

## Comprehensive Plan Consistency – Far Southwest Sector

---

The Comprehensive Plan describes where general land use categories would be appropriate. However, it does not typically specify individual land uses. The CUP process allows the city to consider the appropriateness of an individual use in certain location. The adopted Comprehensive Plan currently designates the subject property as “Neighborhood Commercial” on the Future Land Use Map. The proposed operation is not consistent with this classification.

The proposed zoning is not consistent with the land use designations for this area and with the following policies of the Comprehensive Plan:

- Separate incompatible land uses with buffers or transitional uses. Some land uses have attributes such as height, proportion, scale, operational characteristics, traffic generated, or appearance that may not be compatible with the attributes of other uses.

Based on the lack of conformance with the future land use map and with the policies stated above, the proposed zoning is **not consistent** with the Comprehensive Plan.

## Site Plan Comments

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### **Zoning and Land Use**

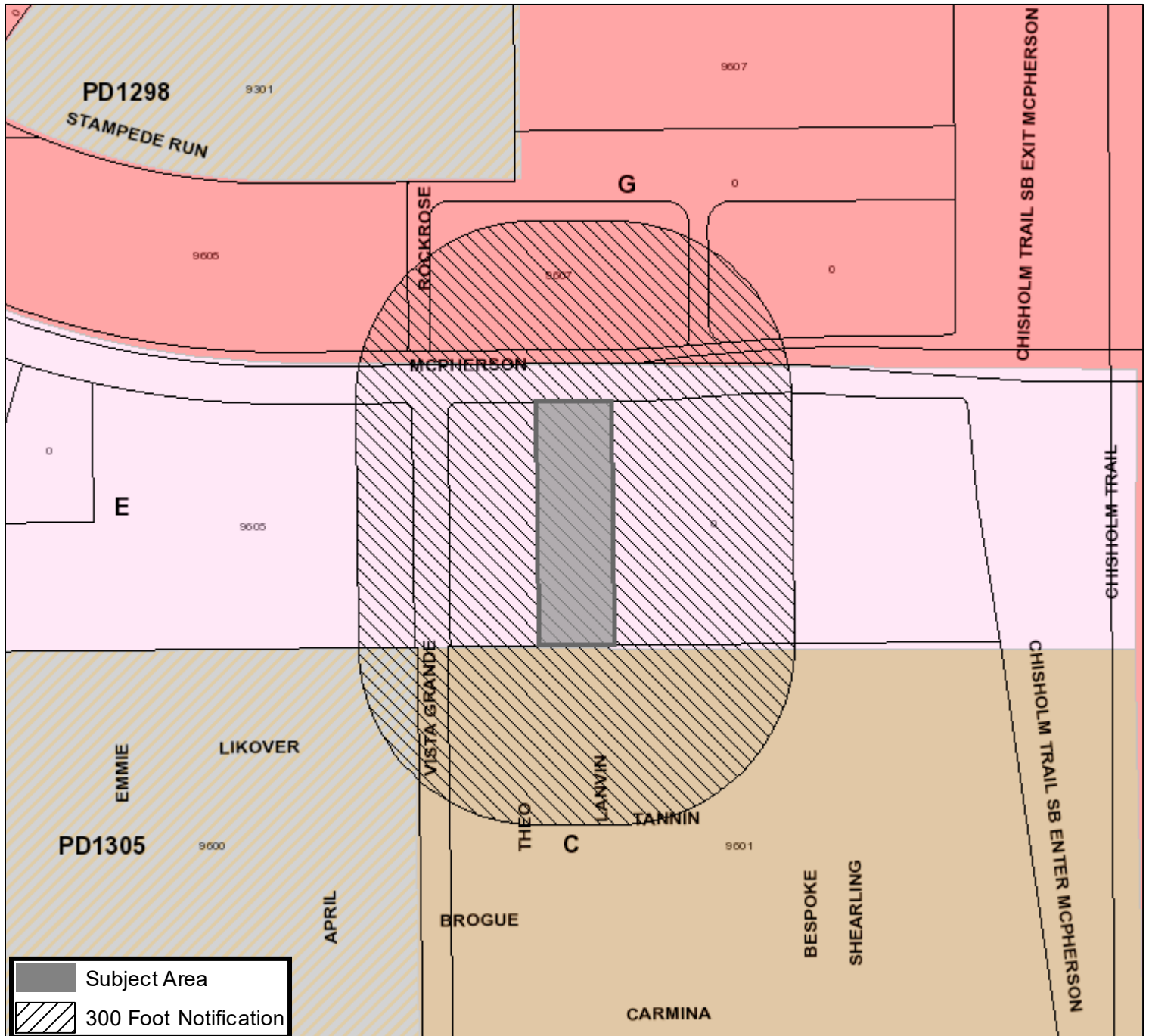
The submitted site plan is in general compliance with Zoning Ordinance regulations.



1. Indicate on the site plan the number of bay doors proposed.
2. Provide the zoning case number to ZC-24-118.
3. All repairs must be conducted within an enclosed building.
4. Include the parking count calculation in the Site Data table.
5. Ensure the proposed access easement lines up with the location of the preliminary plat.

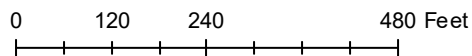


### Area Zoning Map

Applicant: McPherson Holdings LLC  
 Address: South of Grayson Street & West of Wichita Street  
 Zoning From: E  
 Zoning To: Add CUP for auto repairs  
 Acres: 1.18155664  
 Mapsco: Text  
 Sector/District: Far\_Southwest  
 Commission Date: 10/8/2024  
 Contact: 817-392-7869

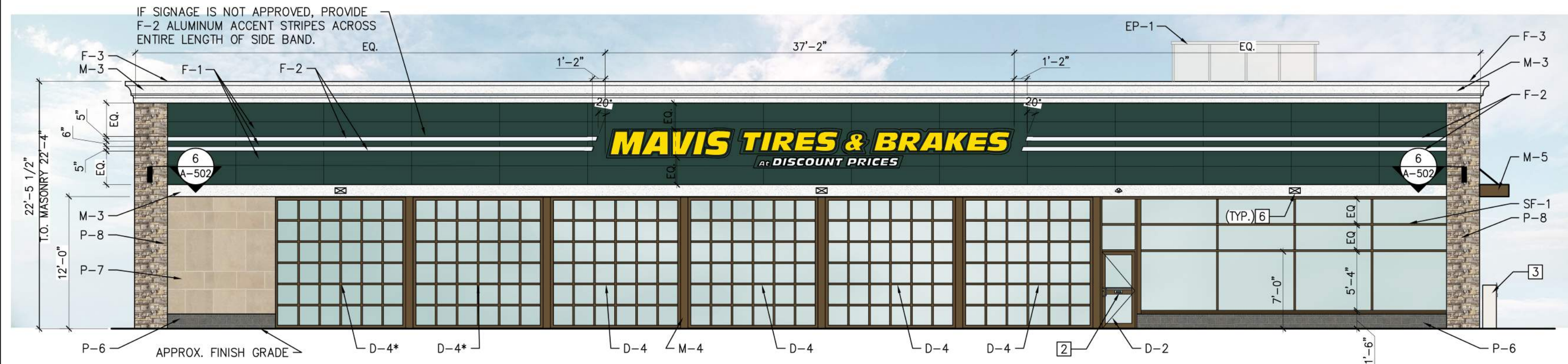


|  |                       |
|--|-----------------------|
|  | Subject Area          |
|  | 300 Foot Notification |

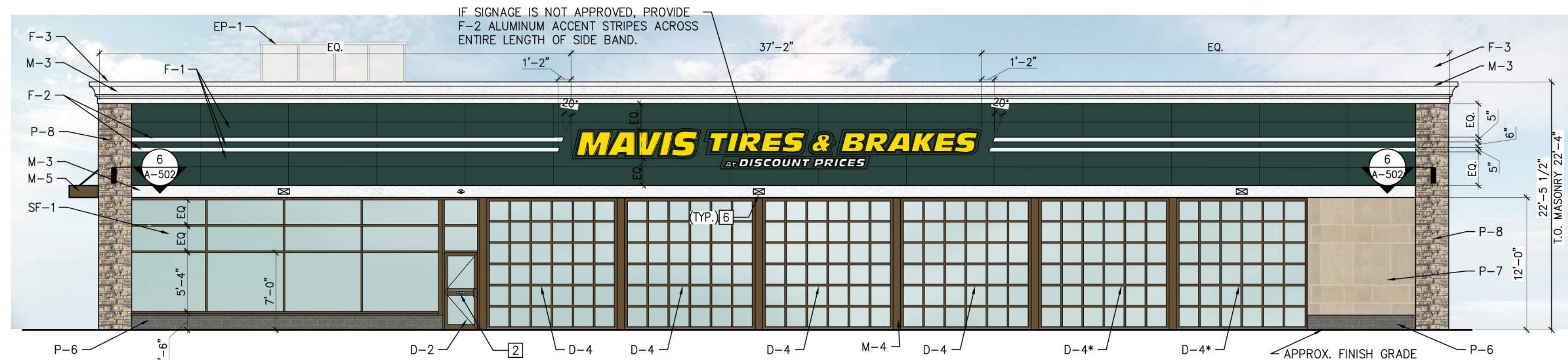




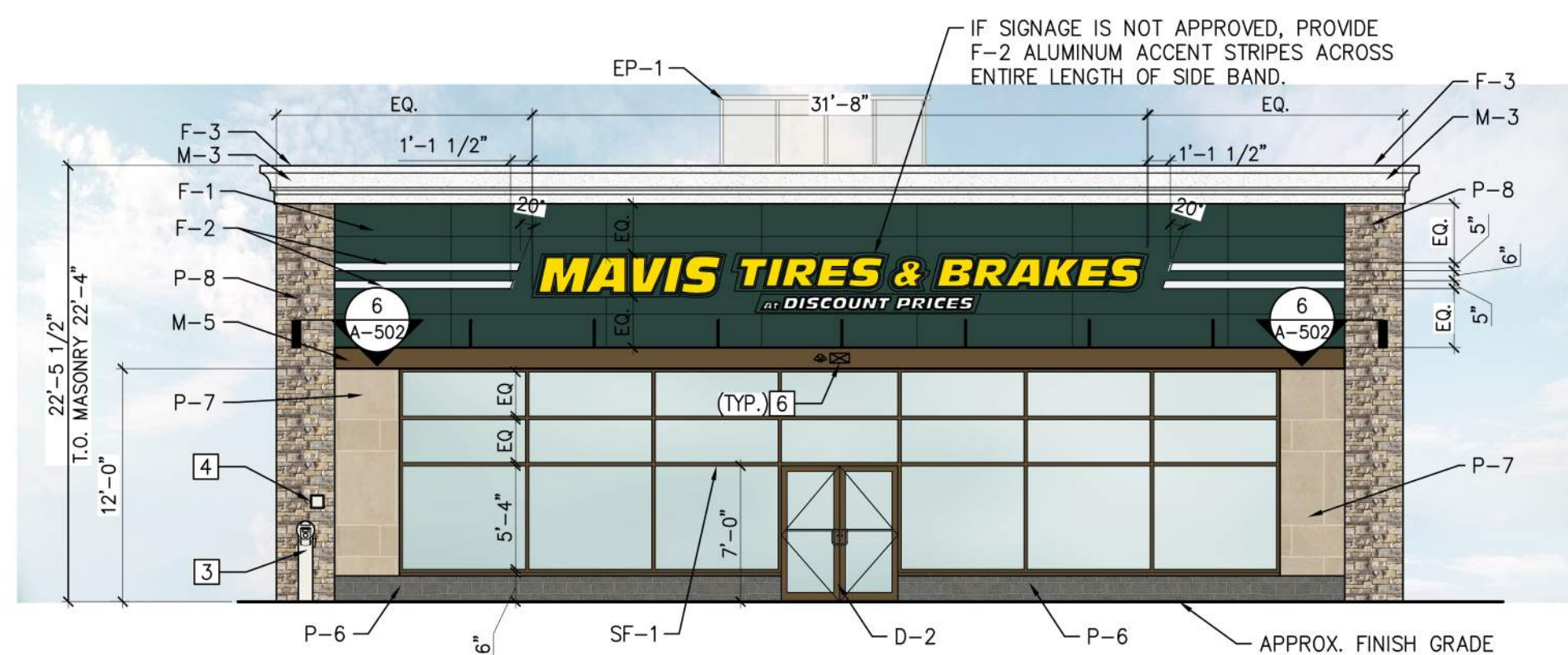




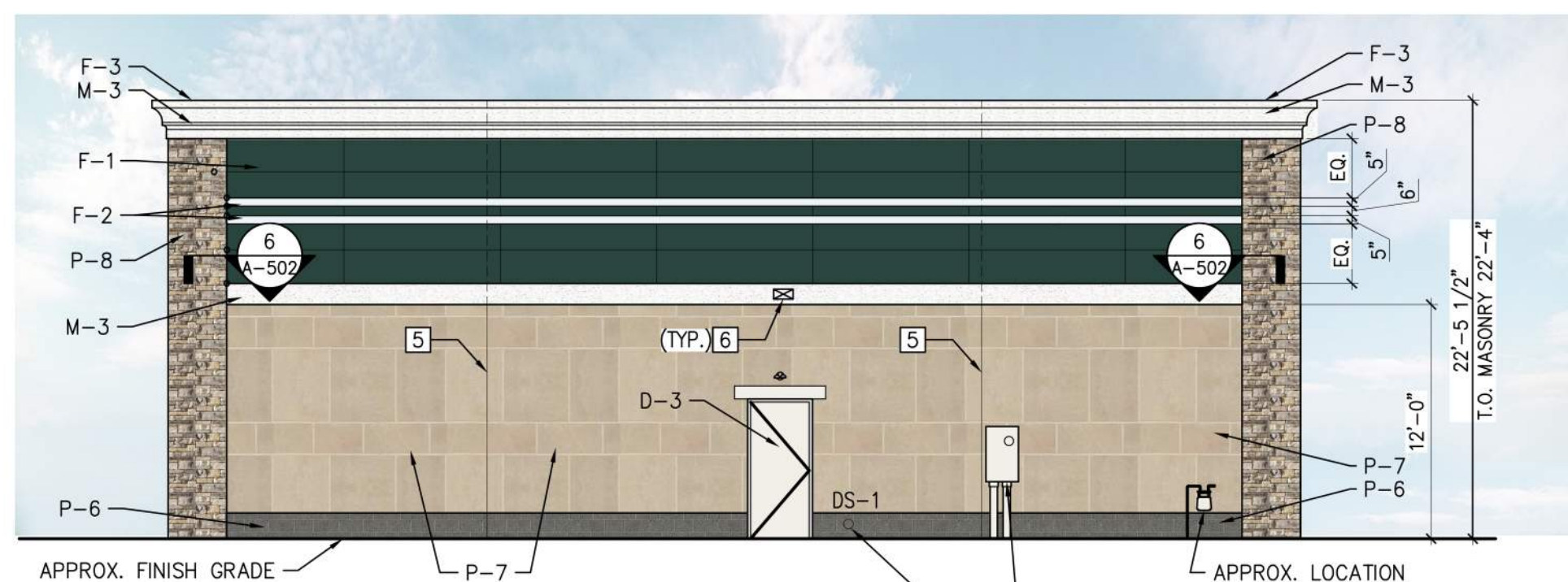
**1 LEFT ELEVATION**  
A-200 SCALE: 1/8" = 1'-0"



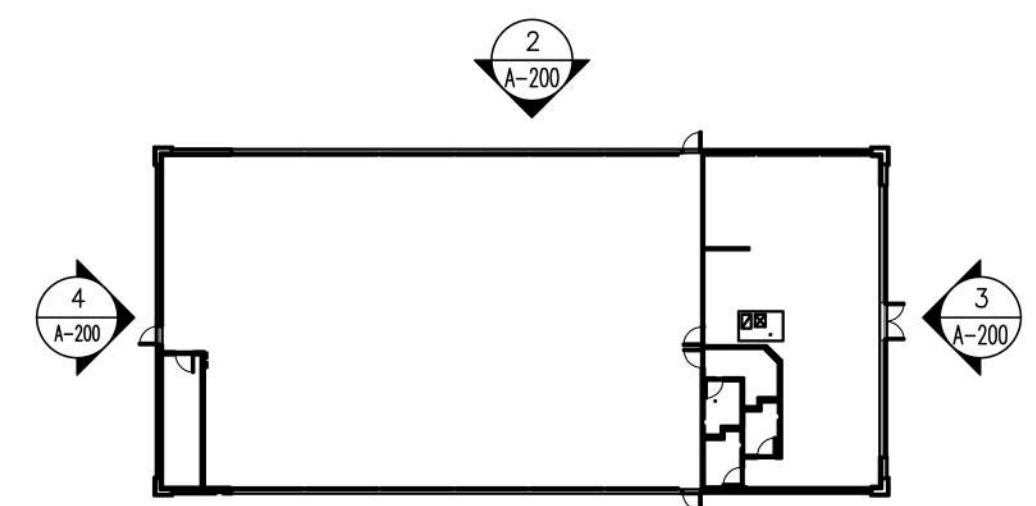
**2 RIGHT ELEVATION**  
A-200 SCALE: 1/8" = 1'-0"



**3 FRONT ELEVATION**  
A-200 SCALE: 1/8" = 1'-0"



**4 REAR ELEVATION**  
A-200 SCALE: 1/8" = 1'-0"



**5 KEY PLAN**  
A-200 SCALE: NTS

**EXTERIOR MATERIALS SCHEDULE**

| MARK          | MATERIAL  | MANUFACTURER                                    | STYLE/COLOR  | NOTES   |   |
|---------------|---|---|--|---|---|
| DOOR FINISHES | D-2   | ALUMINUM STOREFRONT DOOR & FRAME                | KAWNEER<br>COLOR: CLEAR ANODIZED ALUMINUM                              | INSTALL PER MFR RECOMMENDATIONS.  |   |
|               | D-3   | PAINT FOR GALVANIZED HM DOOR & FRAME            | BENJAMIN MOORE<br>COLOR: OC-129 ALABASTER WHITE<br>SHEEN: SEMI-GLOSS   | FINISH PER MFR RECOMMENDATIONS.<br>PRIMER: (1) COAT- BM SUPER SPEC HP ACRYLIC PRIMER #HP04<br>FINISH COAT: (2) COATS- BM SUPER SPEC HP D.T.M. ACRYLIC SEMI-GLOSS #HP29                      |   |
|               | D-4   | ALUMINUM AND GLASS OH DOORS                     | RAYNOR GARAGE DOORS<br>COLOR: RAYNOR AV200<br>#2096-10 POLYESTER BROWN | INSTALL PER MFR RECOMMENDATIONS. RE: SPECS FOR ADDITIONAL INFO.<br>*DOORS AT RACKING SHALL BE FIXED AND SECURE<br>CONTACT DH PACE: ADAM POSLOSKY,<br>ADAM.POSLOSKY@DHPAGE.COM, 816-480-2361 |   |
|               | F-1   | HARDIE REVEAL PANEL OR EQUAL                    | JAMES HARDIE   | REVEAL PANEL WITH RECESS TRIM WITH COUNTERSUNK FASTENERS PRIMED FOR PAINT,<br>COLOR: BM #2041-10 HUNTER GREEN   | INSTALL PER MFR RECOMMENDATIONS.  |
| WALL FINISHES | F-2   | ALUMINUM ACCENT STRIPE                          | ATAS<br>0.032" ALUMINUM<br>COLOR: #26 BONE WHITE                       | INSTALL PER MFR RECOMMENDATIONS.  |   |
|               | F-3   | METAL ROOF COPING                               | ROOF MFR   | MATCH ROOF SYSTEM<br>COLOR: MATCH WALL BELOW  | INSTALL PER MFR RECOMMENDATIONS.  |
|               | M-3   | EIFS CORNICE & BAND                             | DRYVIT OR APPROVED EQUAL   | COLOR: #101 SUPER WHITE   | INSTALL PER MFR RECOMMENDATIONS.  |
|               | M-4   | PAINT FOR STEEL LINTELS & COLUMNS               | BENJAMIN MOORE   | COLOR: BM #2096-10 POLYESTER BROWN  | FINISH PER MFR RECOMMENDATIONS.<br>PRIMER: (1) COAT- BM SUPER SPEC HP ACRYLIC PRIMER #HP04<br>FINISH COAT: (2) COATS- BM SUPER SPEC HP D.T.M. ACRYLIC LOW LUSTRE #HP25  |
|               | M-5   | SUPER LUMIDEX FLAT SOFFIT                       | MAPES ARCHITECTURAL CANOPIES   | COLOR: BM #2096-10 POLYESTER BROWN  | INSTALL PER MFR RECOMMENDATIONS.  |
|               | EP-1  | ENVISOR PANEL RTU SCREEN                        | CITYSCAPES   | COLOR: ALABASTER<br>STYLE: VERTICAL 7.2 RIB METAL TRIM<br>STYLE: BAND   | INSTALL PER MFR RECOMMENDATIONS.  |
|               | P-6   | ARCHITECTURAL MASONRY VENEER                    | ROCKCAST   | THIN VENEER ST-005-8607<br>COLOR: SMOKEHOUSE  | FINISH PER MFR RECOMMENDATIONS.<br>PRIMER: (1) COAT-BM ULTRA SPEC MASONRY HI-BUILD BLOCK FILLER 571<br>FINISH COAT: (2) COATS- BM ULTRA SPEC ELASTOMERIC LOW LUSTRE 360 |
|               | P-7   | SANDSTONE TILES                                 | SILVERDALE   | STYLE: HONEY  | INSTALL PER MFR RECOMMENDATIONS.  |
|               | P-8   | STONE VENEER                                    | DUTCH QUALITY STONE  | STYLE: WEATHER LEDGE<br>COLOR: PRESTIGE   | INSTALL PER MFR RECOMMENDATIONS.  |
|               | SF-1  | ALUMINUM STOREFRONT SYSTEM CENTER PLANE GLAZING | KAWNEER  | COLOR: BM #2096-10 POLYESTER BROWN  | INSTALL PER MFR RECOMMENDATIONS. INSTALL WITH 1" LOW-E INSULATED GLAZING.<br>MAX U-FACTOR: U-0.28<br>MAX SHGC: 0.40   |
| SF-2          | ALUMINUM STOREFRONT SYSTEM CENTER PLANE GLAZING | KAWNEER   | COLOR: CLEAR ANODIZED ALUMINUM<br>GLAZING: SPANDREL GLASS              | INSTALL PER MFR RECOMMENDATIONS.  |   |

**GENERAL NOTES:**  
 A. ALL FINISHES ON MATERIAL SCHEDULE MAY NOT BE USED  
 B. CENTER WALL LIGHTS OVER COLUMNS, DOORS & WINDOWS, ETC., AS SHOWN U.O.N.  
 C. MOUNTING HEIGHT OF EXTERIOR LIGHT FIXTURE ON REAR AND SIDE ELEVATIONS TO MATCH MOUNTING HEIGHT OF LIGHT FIXTURES ON FRONT ELEVATION  
 D. SIGNAGE UNDER SEPARATE PERMIT/SUBMISSION BY SIGN VENDOR.

**EXTERIOR ELEVATION KEYNOTES**

- 16"x16" INSULATED ALUMINUM ACCESS DOOR BY BEST ACCESS DOORS. SKU # BA-PAL-16-16. FINAL COLOR SELECTION TO BE APPROVED BY OWNER AND ARCHITECT. RE: DETAIL 3/A-502 FOR ADDITIONAL INFO. (ACCESS DOOR IS FOR USE TO ACCESS OIL TANKS. COORDINATE FINAL LOCATION WITH TANK INSTALLER)
- PROVIDE KEY DROP SLOT IN GARAGE ENTRY DOOR. FINAL INSTALLATION LOCATION TO BE DIRECTED BY MAVIS.
- FREESTANDING AIR INFLATOR- LOCATION TO BE SITE SPECIFIC. (RE: RESPONSIBILITY SCHEDULE FOR ADDITIONAL INFO.)
- PROVIDE KNOX BOX WHERE REQUIRED BY JURISDICTION (PURCHASED FROM LOCAL FIRE DEPARTMENT.) MOUNT PER FIRE DEPARTMENT REQUIREMENTS ON WALL ADJACENT TO ENTRANCE. CONTRACTOR TO MAKE APPLICATION FOR KNOX BOX AND COORDINATE WITH LOCAL APPROVING AUTHORITY.
- EXPANSION JOINT MATERIAL COLOR TO MATCH ADJACENT FINISH COLOR.
- EXTERIOR WALL PACK LIGHT. RE: ELECTRICAL DRAWINGS.
- PORTION OF STOREFRONT SYSTEM TO INCLUDE SPANDREL GLAZING



Larson Design Group  
 3000 WESTINGHOUSE DRIVE  
 SUITE 400  
 CRANBURY TWP, PA 16806  
 (724) 591-8562

MAVIS TIRE SUPPLY, LLC  
 358 SAW MILL RIVER ROAD  
 MILLWOOD, NY 10546  
 (914) 984-2500

CLIENT

| NO. | REVISION | DATE | MARK | COMMENTS |
|-----|----------|------|------|----------|
|     |          |      |      |          |

| NO. | REVISION | DATE | MARK | COMMENTS |
|-----|----------|------|------|----------|
|     |          |      |      |          |



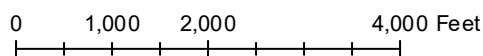
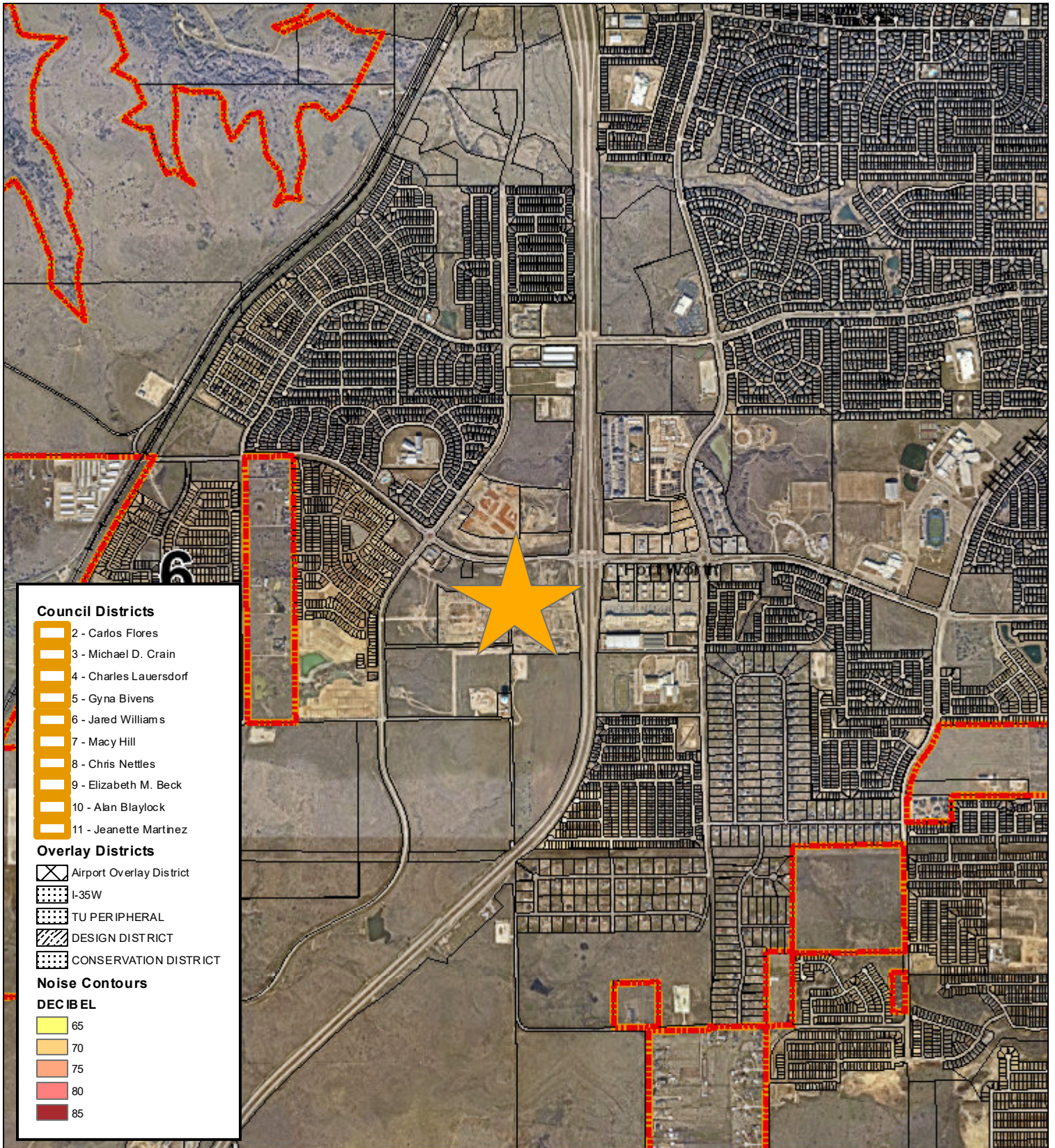
MAVIS TIRES & BRAKES #XXXX - CITY, STATE  
 STREET ADDRESS, CITY, STATE XXXX  
**EXTERIOR ELEVATIONS**

Project No.: 11432-XXX

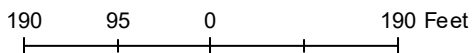
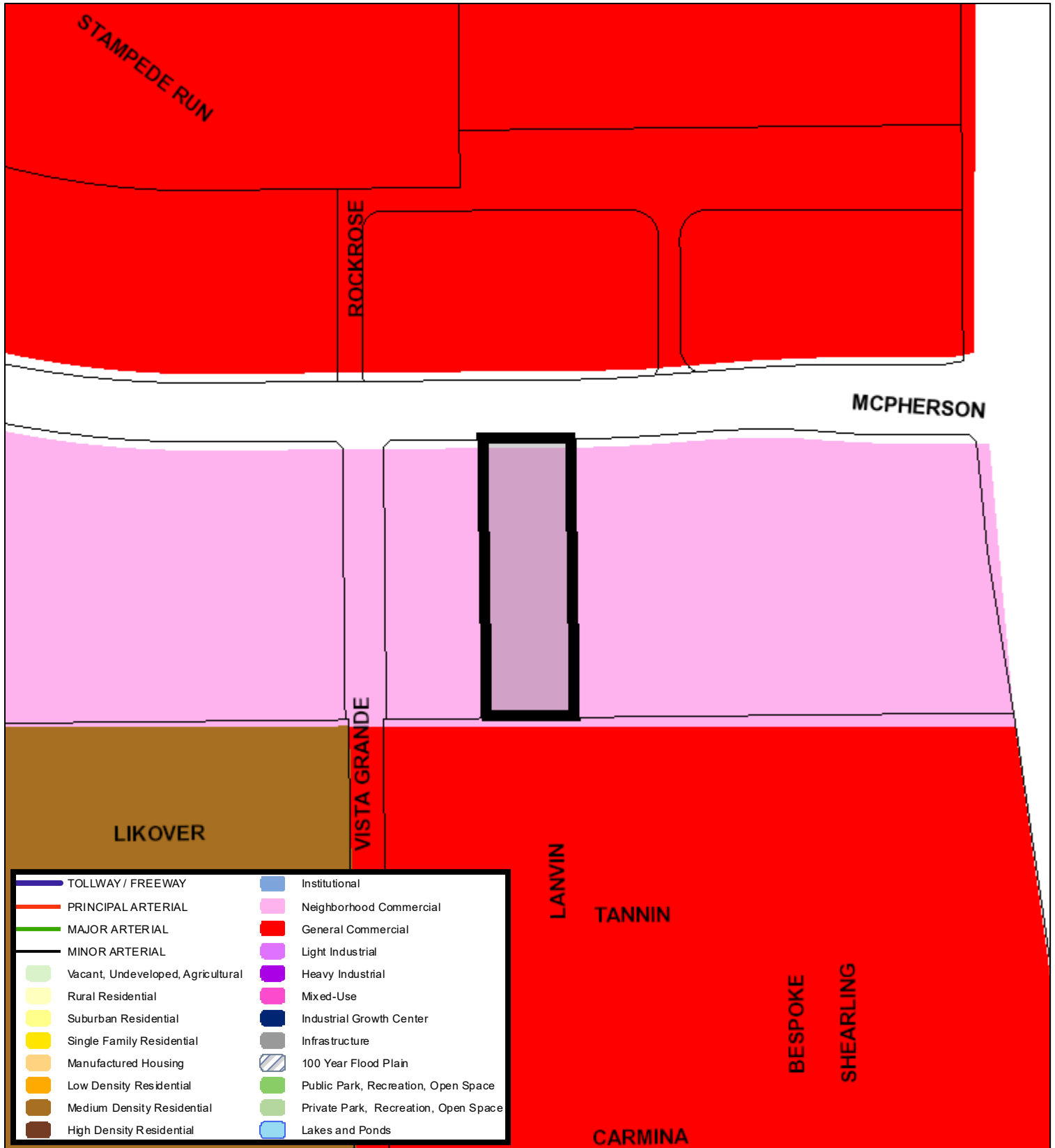
Sheet No.:

**A-200c**

### Area Map



### Future Land Use



A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



## Aerial Photo Map



0 120 240 480 Feet





# Zoning Staff Report

Date: November 13, 2024

Case Number: ZC-24-121

Council District: 5

## Zoning Map Amendment

Case Manager: [Stephen Murray](#)

Owner / Applicant: Trenton Robertson

Site Location: 11468 Mosier Valley Rd

Acreage: 9.1 acres

### Request

**Proposed Use:** Outdoor storage of materials and equipment without an associated structure

**Request:** From: “AG” Agriculture

To: “PD/SU” Planned Development Specific Use for outdoor storage of materials and equipment without an associated structure, developed to “I” Light Industrial standards, site plan included

### Recommendation

**Land Use Compatibility:** Requested change **is compatible**

**Comprehensive Plan Map Consistency:** Requested change **is not consistent**

**Comprehensive Plan Policy Consistency:** Requested change **is consistent**

**Staff Recommendation:** **Approval**

### Table of Contents

- |   |  |
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| 1. <a href="#">Project Description and Background</a> | c. <a href="#">Economic Development Plan</a> |
| 2. <a href="#">Surrounding Zoning and Land Uses</a>   | 6. Zoning Map with 300 ft. Notification Area |
| 3. <a href="#">Recent Zoning History</a>              | 7. Area Map                                  |
| 4. <a href="#">Public Notification</a>                | 8. Future Land Use Map                       |
| 5. <a href="#">Development Impact Analysis</a>        | 9. Aerial Photograph                         |
| a. <a href="#">Land Use Compatibility</a>             |  |
| b. <a href="#">Comprehensive Plan Consistency</a>     |  |



## Project Description and Background

The subject property is located on Mosier Valley Rd near House Anderson Rd. The applicant is requesting to rezone the property from “AG” Agricultural to “PD/SU” Planned Development Specific Use for outdoor storage of materials and equipment without an associated structure, developed to “I” Light Industrial standards, site plan included. The area surrounding the proposed zoning has several existing industrial and outdoor storage uses.

This case was continued from last month in order for the applicant to solidify their proposed zoning and renote. The applicant has decided to continue the PD route but make it a “specific use”. The site will only allow uses that are called out in their PD language. The site plan will also show exactly where the proposed materials are located. The goal for going this route is as opposed to the CUP or PD/I would be to eliminate all other uses allowed within the “I” district. Thus, eliminating the potential for more intense uses by right.

## Surrounding Zoning and Land Uses

North “AG” Agricultural; PD 954 "PD/AG" Planned Development for all uses in "AG" plus outside storage of construction vehicles and trailers only; site plan waived. / outdoor storage, undeveloped  
East “J” Medium Industrial / outdoor storage  
South "PD-SU" for concrete crushing facility subject to 10 conditions listed in case file / concrete crushing, undeveloped  
West PD 1235 “Planned Development for all uses “I” Light Industrial plus animal processing with no outside storage, stockyards, or animal pens, site plan included / industrial

## Recent Zoning History

- None

## Public Notification

300-foot Legal Notifications were mailed on September 27, 2024.  
The following organizations were notified: (emailed September 27, 2024)

| Organizations Notified       |                         |
|------------------------------|-------------------------|
| East Fort Worth, Inc.        | Streams and Valleys Inc |
| Trinity Habitat for Humanity | HEB ISD                 |

*This property is located within this registered Neighborhood Organization.*

## Development Impact Analysis

### Land Use Compatibility

---

The applicant is proposing to change the zoning from “AG” Agricultural to “PD/I” Planned Development for all uses in “I” Light Industrial plus outside storage of materials and equipment without an associated structure, site plan required. Surrounding uses consist of outdoor storage to the north and east, undeveloped and concrete crushing to the south and industrial to the west.

The proposed zoning is **compatible** with surrounding land uses.

### Comprehensive Plan Consistency –

---

The adopted Comprehensive Plan currently designates the subject property as “single-family” on the Future Land Use Map. This designation is intended to include single-family development. The base “I” Light Industrial zoning district **is not consistent** with this designation. However, the proposed zoning **is consistent** with the following Comprehensive Plan policies.

- Coordinate future land uses and development types and intensity with the Complete Streets policy, Master Thoroughfare Plan, Active Transportation Plan, and Transit-Oriented Development (TOD) Plans.
- Promote appropriate infill development of vacant lots, old commercial centers (greyfields), and contaminated sites (brownfields) within developed areas, particularly in the central city.
- Locate large industrial uses along freight rail lines, highways, or airports within industrial growth centers and other appropriate locations.
- Separate incompatible land uses with buffers or transitional uses. Some land uses have attributes such as height, proportion, scale, operational characteristics, traffic generated, or appearance that may not be compatible with the attributes of other uses.

### Site Plan Comments

---

#### **Zoning and Land Use**

The site plan as submitted is in general compliance with the Zoning Ordinance regulations.

**(Comments made by Platting (Subdivision Ordinance), Transportation/Public Works, Fire, Park & Recreation, and Water Department staff cannot be waived through the Zoning Commission and City Council. Approval of the zoning site plan does not constitute the acceptance of conditions.)**



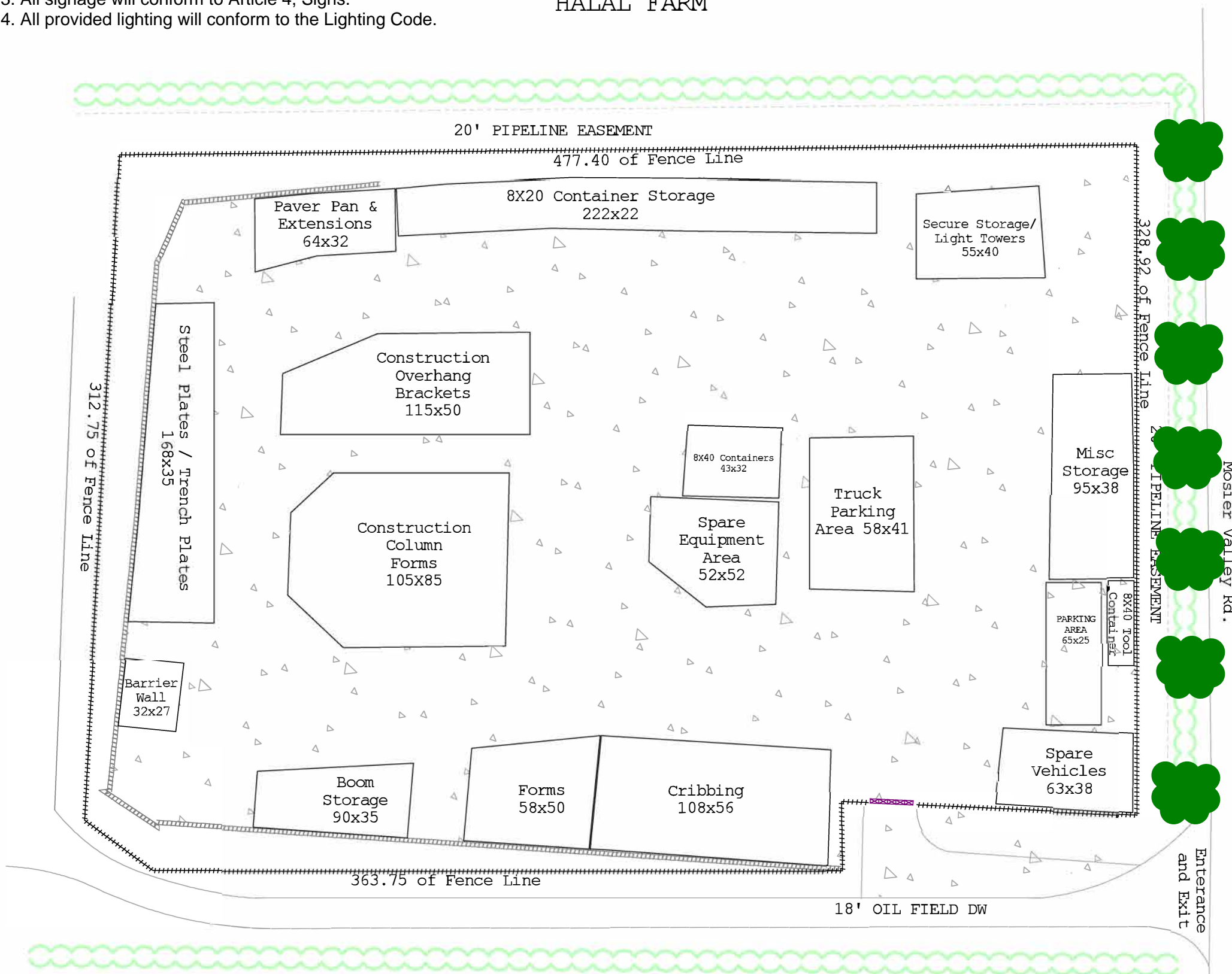
50 ft

General Notes:

- 1. This project will comply with Section 6.301, Landscaping.
- 2. This project will comply with Section 6.302, Urban Forestry.
- 3. All signage will conform to Article 4, Signs.
- 4. All provided lighting will conform to the Lighting Code.

BROTHERS HALAL FARM

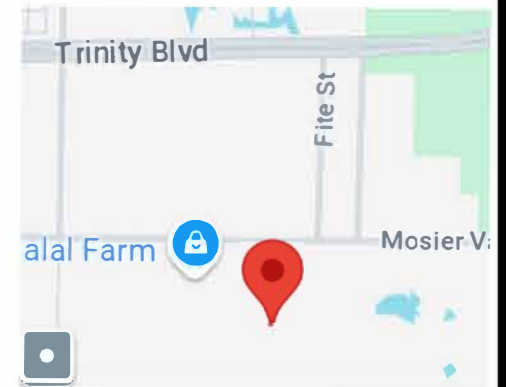
OIL FIELD YARD



EARTH HAULERS

|                        |  |
|------------------------|--|
| FENCE LINE             |  |
| PIPELINE EASEMENT      |  |
| BASE MATERIAL          |  |
| BUSHES/SHRUBS          |  |
| ENTRANCE AND EXIT GATE |  |
| BARRIER                |  |
| Trees                  |  |

PRIVATE PROPERTY



Director of Development Service

Date



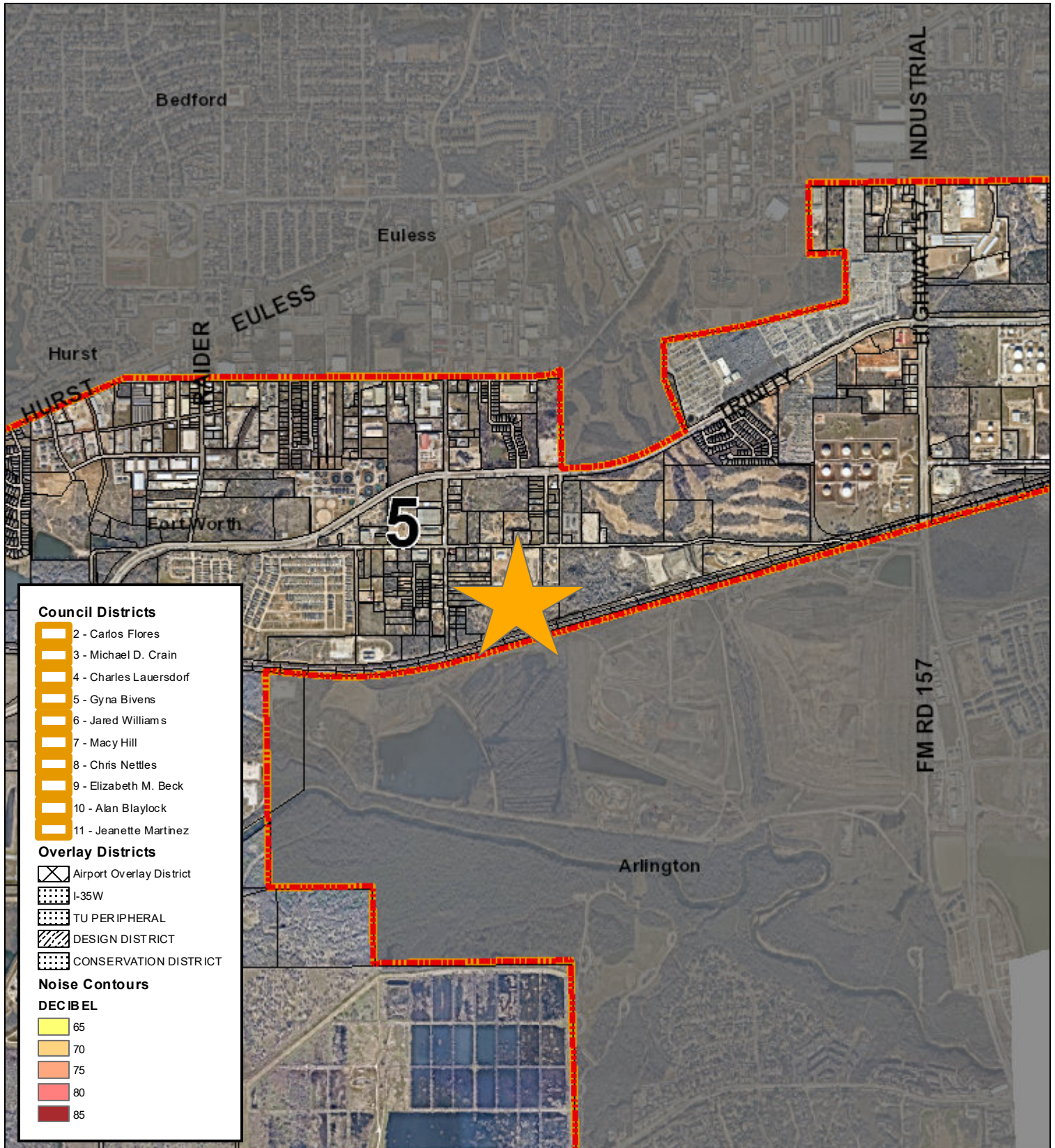
TEXAS STERLING CONSTRUCTION YARD  
 11468 MOSIER VALLEY RD.  
 EULESS, TEXAS 76040

11/5/2024

3.9 ACRES

ZC-24-121

### Area Map



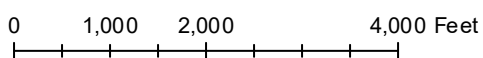
| Council Districts |                        |
|-------------------|------------------------|
|                   | 2 - Carlos Flores      |
|                   | 3 - Michael D. Crain   |
|                   | 4 - Charles Lauersdorf |
|                   | 5 - Gyna Bivens        |
|                   | 6 - Jared Williams     |
|                   | 7 - Macy Hill          |
|                   | 8 - Chris Nettles      |
|                   | 9 - Elizabeth M. Beck  |
|                   | 10 - Alan Blaylock     |
|                   | 11 - Jeanette Martinez |

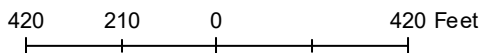
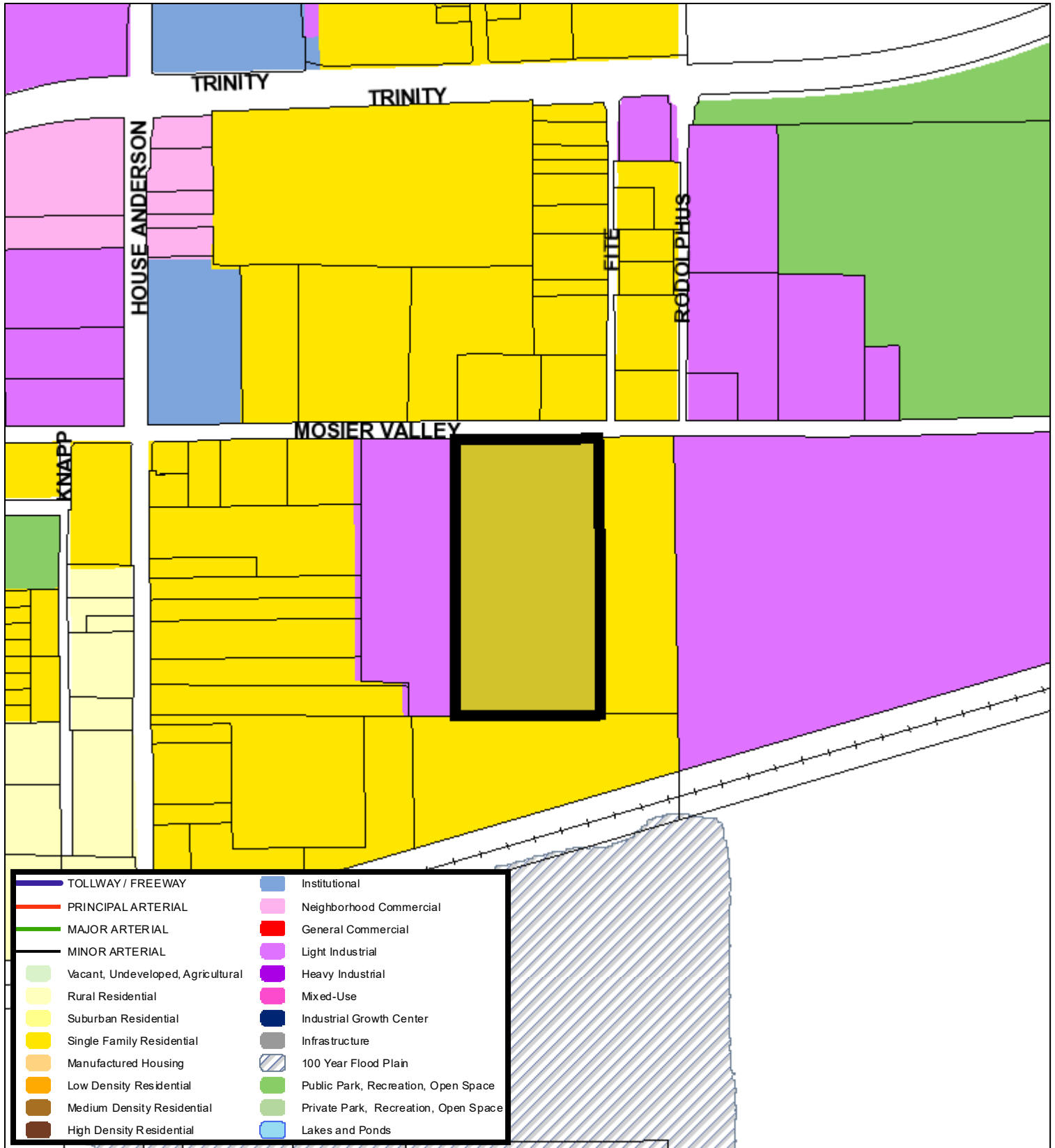
| Overlay Districts |                          |
|-------------------|--------------------------|
|                   | Airport Overlay District |
|                   | I-35W                    |
|                   | TU PERIPHERAL            |
|                   | DESIGN DISTRICT          |
|                   | CONSERVATION DISTRICT    |

| Noise Contours |    |
|----------------|----|
| DECIBEL        |    |
|                | 65 |
|                | 70 |
|                | 75 |
|                | 80 |
|                | 85 |



### Future Land Use



A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



## Aerial Photo Map



0 262.5 525 1,050 Feet





# Zoning Commission

**Date:** November 13, 2024

**Case Number:** SP-24-013

**Council District** 11

## Site Plan

**Case Manager:** [Stephen Murray](#)

**Owner / Applicant:** Mercy Culture Church Inc. / Joshua Barnes

**Site Location:** 1401, 1701, & 2001 Oakhurst Scenic Drive

**Acreage:** 12.4 acres

## Request

**Proposed Use:** Church-related activity: Discipleship Center

**Request:** To: Site Plan Amendment to add a building on property zoned “PD 586” PD/SU Planned Development/Specific Use for church related activities and signs that exceed maximum height allowed in the “CF” Community Facilities District

## Recommendation

**Staff Recommendation:** **Approval**

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- [2. Surrounding Zoning and Land Uses](#)
- [3. Recent Zoning History](#)
- [4. Public Notification](#)
- [5. Development Impact Analysis](#)
  - [a. Site Plan Comments](#)
6. Area Zoning Map with 300 ft. Notification Area
7. Area Map
8. Future Land Use Map
9. Aerial Photograph



## Project Description and Background

The applicant is amending the site plan to add a building on property zoned "PD 586" PD/SU Planned Development/Specific Use for church related activities and signs that exceed maximum height allowed in the "CF" Community Facilities District. They intend to construct a new 42,989 sf, "discipleship center" with 107 beds and 16 staff members. The new building will be two stories facing Oakhurst Scenic Drive and three stories facing I-35W due to topography. This complies with CF zoning height standards. The new structure is planned on vacant land on the northernmost portion of their existing lot that already contains the Mercy Culture church.

The applicant has provided the following narrative.

THE JUSTICE REFORM IS SEEKING A SITE PLAN AMENDMENT TO THE EXISTING PLANNED DEVELOPMENT ZONING. AS PART OF THE PROCESS AS DEFINED BY THE CITY OF FORT WORTH THROUGH THE ZONING ORDINANCE, WE ARE SUBMITTING THE SITE PLAN AND APPLICATION FOR APPROVAL BY THE DIRECTOR OF PLANNING SERVICES AND CITY COUNCIL.

THE CURRENT ZONING IS A PLANNED DEVELOPMENT: PD 586. THE PLANNED DEVELOPMENT WAS REQUESTED AND GRANTED UNDER THE USE OF "CHURCH RELATED ACTIVITIES" IN 2004, AND WAS REVISED IN 2017 FOR MINOR UPGRADES INCLUDING PARKING, SIGNAGE, AND SITE LIGHTING. SINCE THE LATEST SITE PLAN AMENDMENT, MERCY CULTURE CHURCH PURCHASED THE PROPERTY, HAS BEEN OPERATING WITHIN THE SAME USE OF THE PLANNED DEVELOPMENT, AND HAS DEVELOPED A "HOUSE VISION" TO DISCIPLE REFORMERS TO KNOW AND SPIRITUAL HEAL AT A CENTER ON SITE. THIS CENTER HAS BEEN NAMED "THE JUSTICE REFORM DISCIPLESHIP CENTER.

THERE IS AN ABUNDANCE OF LAND TO THE NORTH OF THE CHURCH TO POSITION THE DISCIPLESHIP CENTER WITH FULL PRIVATE FUNDS. THE CENTER WILL BUILD UPON THE RELGIOUS OUTREACH THE CHURCH CAN OFFER AS PART OF ITS SPIRITUAL MANDATE.

THE CENTER WILL BE COMPATIBLE WITH THE EXISTING PLANNED DEVELOPMENT LANGUAGE AND USE AS IT IS IN KEEPING WITH THE USE OF THE LAND FOR "CHURCH RELATED ACTIVITIES". WHILE A SEPARATE STRUCTURE, THE USE IS CERTAINLY WITHIN THE SAME VISION AS THE PD VERBIAGE OUTLAYS.

THE LAND CURRENTLY IS ADJACENT TO BOTH THE I-35 CORRIDOR AND A A-21 SINGLE FAMILY RESIDENCE ZONING COMMUNITY. THERE IS HEAVILY WOODED VISUAL SCREENING FROM OAKHURST SCENIC DRIVE, AND A 8' TALL MASONRY FENCE IS MEANT TO SCREEN ANY DAILY ACTIVITIES FROM AND TO THE NEIGHBORING RESIDENCES. THE STRUCTURE IS MEANT TO BE A VISUAL ENHANCEMENT TO THE SURROUNDING AREA AND SHOULD GENERATE A HOME-LIKE APPEAL THAT SHOULD BE INVITING AND COMFORTING FOR THE REFORMERS THAT UTILIZE THE CENTER.

THE CENTER WILL SERVE WOMEN WHO WILLINGLY CHOOSE TO COMMIT TO THE CURRICULUM LAID OUT BY THE JUSTICE REFORM STAFF AND WILL PURPOSE TO SERVE THE WOMEN WHO ARE IN MOST NEED AND HAVE AREAS THAT WOULD BE GREATLY BLESSED BY

SPIRITUAL HEALING UNDER THE GOVERNANCE AND PROTECTION OF MERCY CULTURE CHURCH.

THIS PROPOSAL CANNOT PROCEED WITH CURRENT ZONING PROTOCOLS ONLY BECAUSE THE EXISTING ZONING IS A PLANNED DEVELOPMENT AND THE CITY OF FORT WORTH PROCESS REQUIRES THAT ANY LAND IMPROVEMENTS GO THROUGH THE SITE AMENDMENT PROCESS.

### Surrounding Zoning and Land Uses

- North “A-5” One-Family; “A-21” One-Family / undeveloped single-family
- East “A-21” One-Family / single-family
- South “PD 527” PD/SU for church related activities plus signage height waiver / School
- West “PD 868” PD/E plus hotel, site plan approved; “O-1” Floodplain / I-35W

### Recent Zoning History

- None

### Public Notification

300-foot Legal Notifications were mailed on November 1, 2024.  
The following organizations were notified: (emailed November 1, 2024)

| Organizations Notified       |   |
|------------------------------|---|
| Inter-District 2 Alliance    | Fort Worth Downtown Neighborhood Alliance |
| Riverside Alliance           | Charleston Homeowners Association         |
| Diamond Hill Jarvis NAC      | Vintage Riverside NA                      |
| Oakhurst NA*                 | Tarrant Regional Water District           |
| Friends of Oakhurst Park     | Streams and Valleys Inc                   |
| Trinity Habitat for Humanity | Riverside Business Alliance               |
| Oakhurst Scenic Drive Inc.   | Oakhurst Alliance of Neighbors            |
| Fort Worth ISD               |   |

*\*Organization located across the street*

### Development Impact Analysis

#### Site Plan Comments

#### Zoning and Land Use

- Fencing prohibited within easements and front yard
  - [§ 5.305 FENCES.](#)
    - (1) No fence or wall shall be erected within the minimum required front yard, platted front yard or projected front yard except as provided in subsection (b)(2) below for one-

family and two-family residential dwellings, subsection (b)(3) below for multifamily developments, subsection (b)(4) below, for utility facilities, subsection (b)(5) below for automobile repair and body shops and § [6.101](#)(e) for through lots.

- Provide height of building
  - Height in CF is based on most restrictive adjacent district.
- The applicant is addressing the comments with a revised site plan

### **Transportation and Public Works**

- No comments received

### **Fire, Park & Recreation, Water Departments:**

- See general comments in Accela

### **Stormwater**

- FYI, accepted drainage study required prior to CG & PB issuance

### **Water**

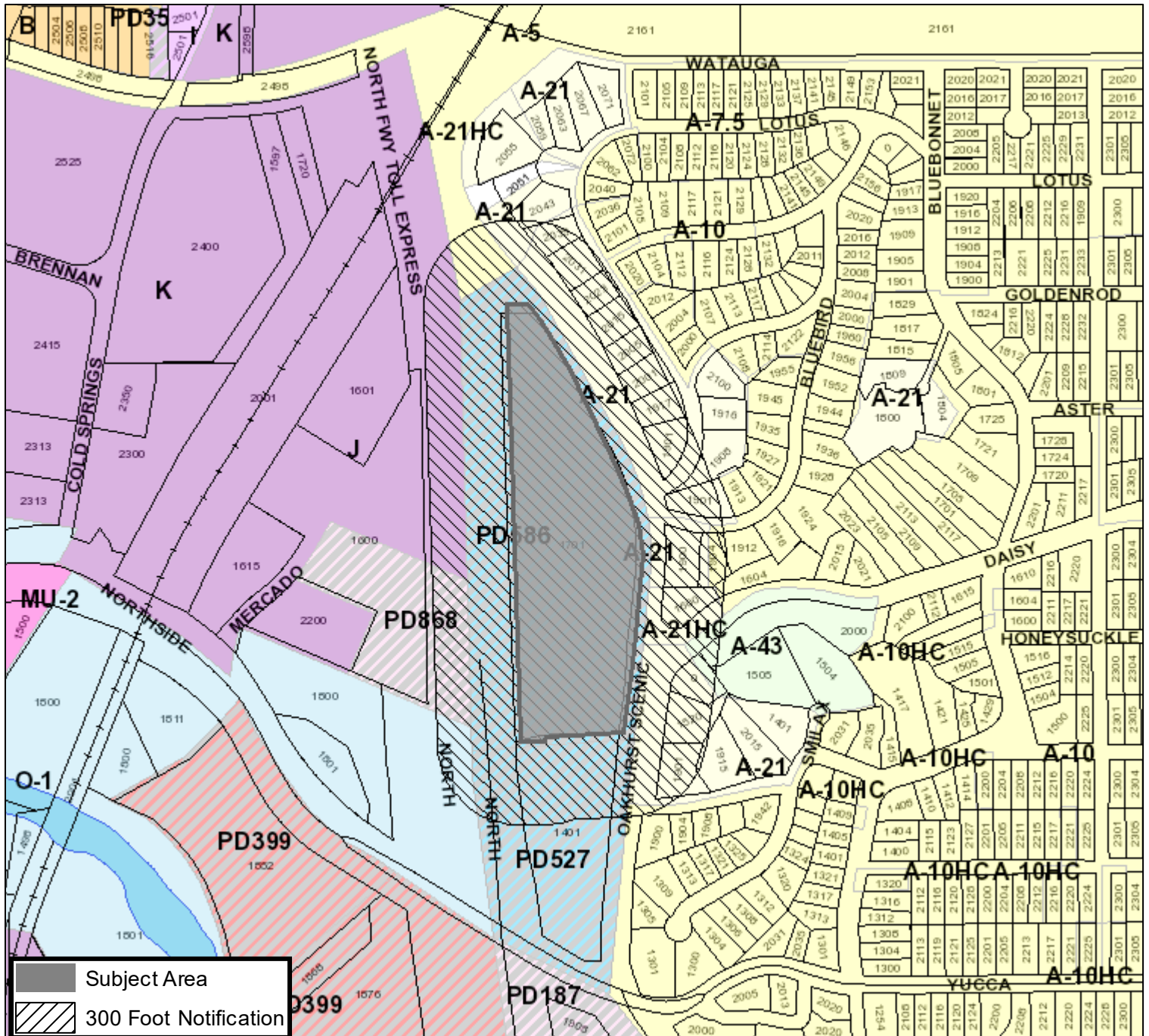
- Sewer easement abandonment must be recorded prior to placing any new parking spaces and buildings in the sewer easement.

*(Comments made by Platting (Subdivision Ordinance), Transportation/Public Works, Fire, Park & Recreation, and Water Department staff cannot be waived through the Zoning Commission and City Council. Approval of the zoning site plan does not constitute the acceptance of conditions.)*

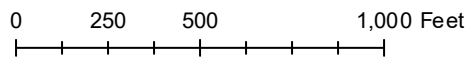


## Area Zoning Map

Applicant: Mercy Culture Church, Inc. / Joshua Barnes  
 Address: 1401, 1701 & 2001 Oakhurst Drive  
 Zoning From: PD 586  
 Zoning To: Add the required site plan  
 Acres: 12.46718483  
 Mapsco: Text  
 Sector/District: Northeast  
 Commission Date: 11/13/2024  
 Contact: 817-392-6226

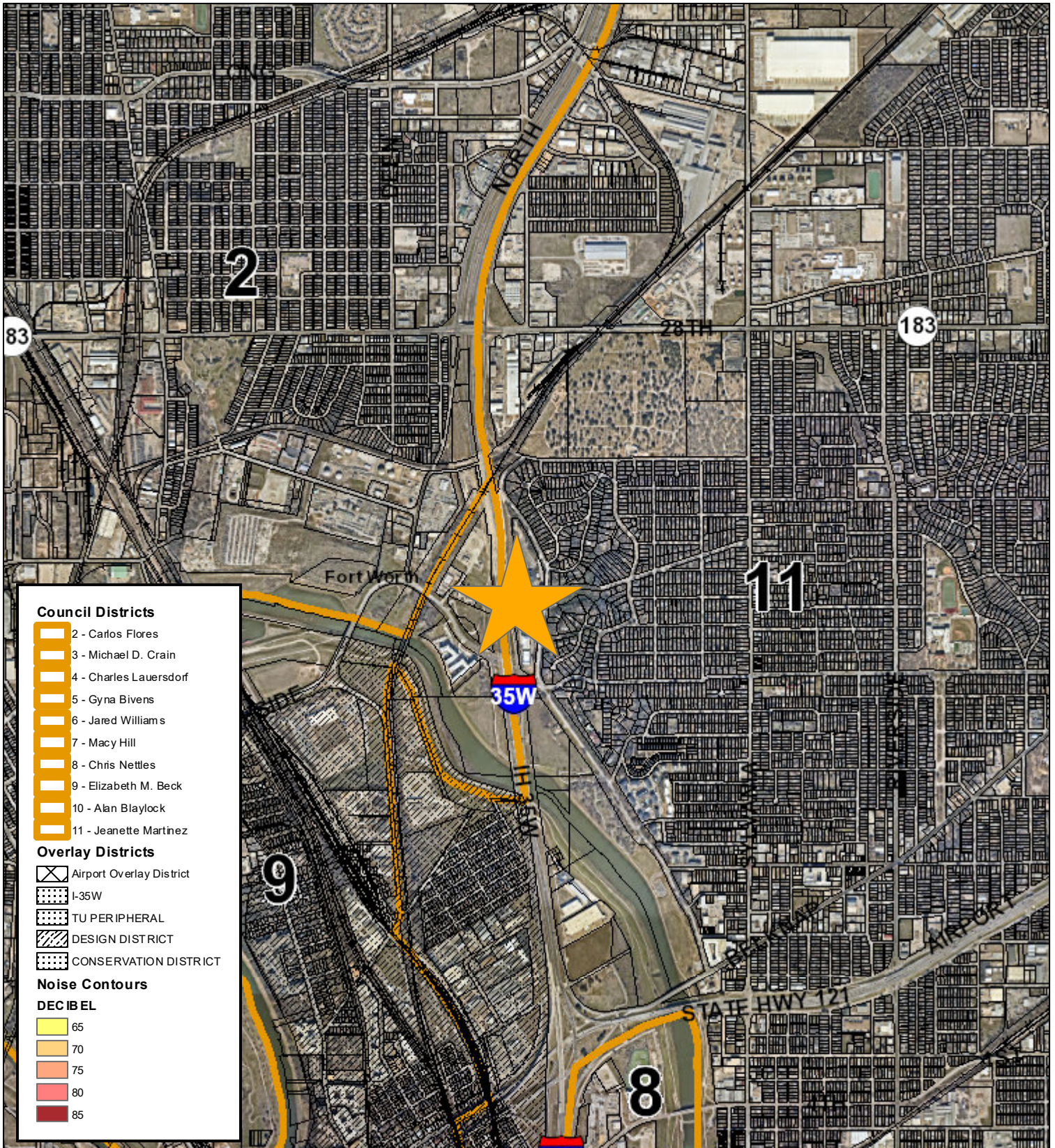


Subject Area  
 300 Foot Notification





## Area Map



**Council Districts**

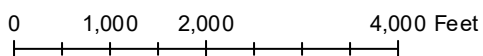
- 2 - Carlos Flores
- 3 - Michael D. Crain
- 4 - Charles Lauersdorf
- 5 - Gyna Bivens
- 6 - Jared Williams
- 7 - Macy Hill
- 8 - Chris Nettles
- 9 - Elizabeth M. Beck
- 10 - Alan Blaylock
- 11 - Jeanette Martinez

**Overlay Districts**

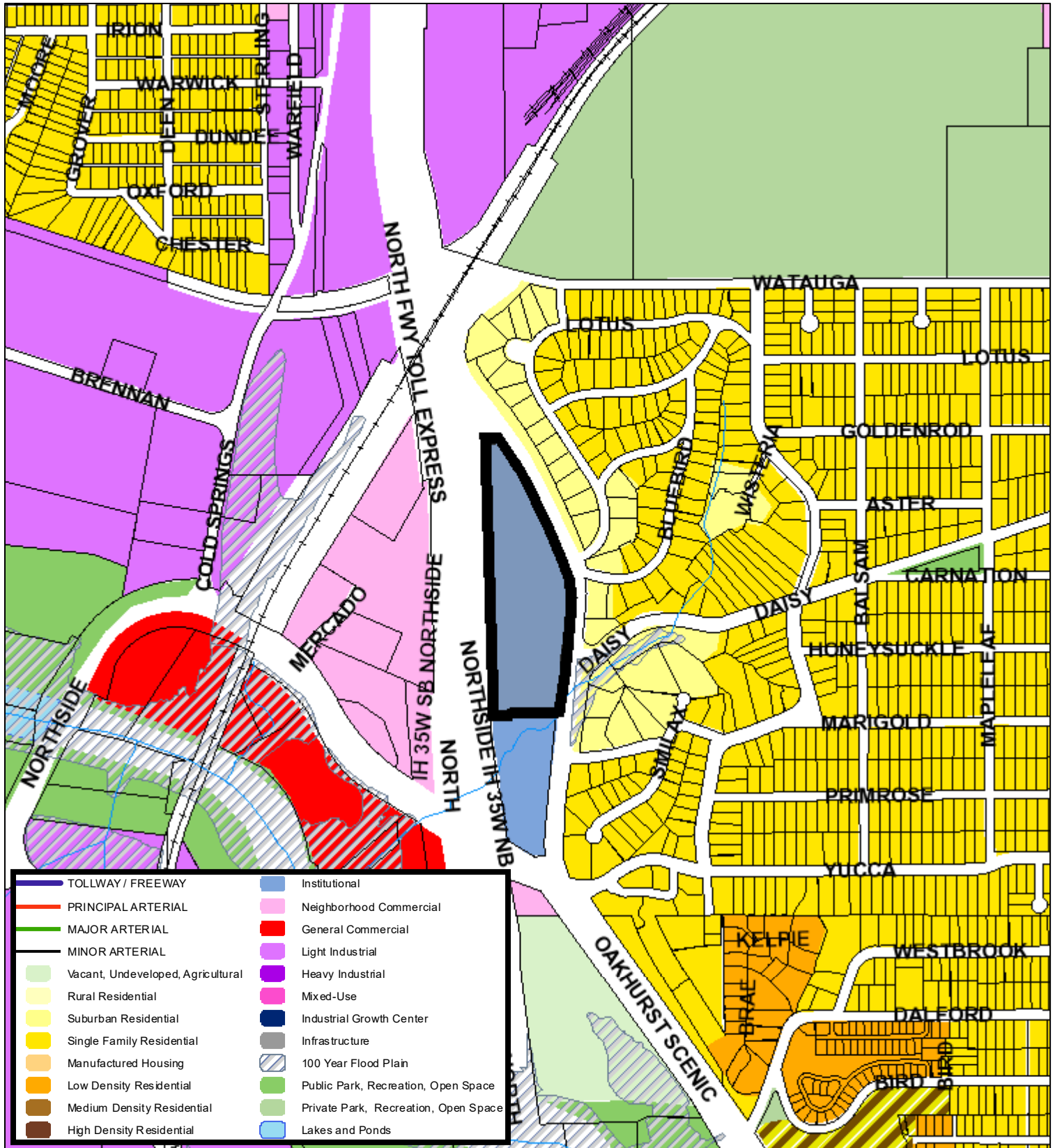
- Airport Overlay District
- I-35W
- TU PERIPHERAL
- DESIGN DISTRICT
- CONSERVATION DISTRICT

**Noise Contours**

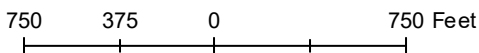
- DECIBEL**
- 65
  - 70
  - 75
  - 80
  - 85



### Future Land Use



|  |                                   |  |                                      |
|--|-----------------------------------|--|--------------------------------------|
|  | TOLLWAY / FREEWAY                 |  | Institutional                        |
|  | PRINCIPAL ARTERIAL                |  | Neighborhood Commercial              |
|  | MAJOR ARTERIAL                    |  | General Commercial                   |
|  | MINOR ARTERIAL                    |  | Light Industrial                     |
|  | Vacant, Undeveloped, Agricultural |  | Heavy Industrial                     |
|  | Rural Residential                 |  | Mixed-Use                            |
|  | Suburban Residential              |  | Industrial Growth Center             |
|  | Single Family Residential         |  | Infrastructure                       |
|  | Manufactured Housing              |  | 100 Year Flood Plain                 |
|  | Low Density Residential           |  | Public Park, Recreation, Open Space  |
|  | Medium Density Residential        |  | Private Park, Recreation, Open Space |
|  | High Density Residential          |  | Lakes and Ponds                      |



A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



## Aerial Photo Map



0 470 940 1,880 Feet







# Zoning Staff Report

**Date:** November 13, 2024

**Case Number:** ZC-23-202

**Council District:** 5

## Zoning Map Amendment

**Case Manager:** [Beth Knight](#)

**Owner / Applicant:** Huong Dao Vipassana B Center/ Westwood

**Site Location:** 900-1100 blocks S. Edgewood Terrace and 4627- 4811 (odds) E. Rosedale Street

**Acreage:** 28.6 acres

### Request

**Proposed Use:** Buddhist temple complex, including stupa buildings that exceed the maximum height allowed in “CF” Community Facilities zoning and landscaping mitigation alternatives

**Request:** From: “B” Two Family and “E” Neighborhood Commercial  
To: “PD” Planned Development for certain “CF” Community Facilities uses as detailed in Exhibit A plus the following accessory uses to a place of worship; visitor lodging, event center, exhibit hall, vendor food court, and indoor storage; Specific development standards for height, parking, signs and urban forestry detailed in Attachment A; site plan required

### Recommendation

**Land Use Compatibility:** Requested change **is compatible with conditions**

**Comprehensive Plan Consistency:** Requested change **is partially consistent**

**Staff Recommendation:** **Approval additional Staff Recommended Tree Standards**

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5. [Development Impact Analysis](#)
  - a. [Land Use Compatibility](#)
  - b. [Comprehensive Plan Consistency](#)
  - c. [Site Plan Comments](#)



# Zoning Staff Report

6. Zoning Map with 300 ft. Notification Area
7. Area Map
8. Future Land Use Map
9. Aerial Photograph

## Project Description and Background

The subject property is located along the north side of E. Rosedale Street, spanning both sides of Edgewood Terrace. The area was mostly vacant with scattered residential, institutional, and commercial buildings, according to historical aerials in the early 2000s. The Buddhist temple Huong Dao Vipassana B Center has purchased a number of parcels and expanded their use over the years. The current campus contains a temple building on the center portion, adjacent to Rosedale, with associated buildings and congregate living quarters surrounding the temple and extending to the north. The main parking areas are located on the western side, separated from the buildings by Edgewood Terrace. As part of the growth, the temple ultimately would like to create a grand stupa plaza on the eastern half of their land and fully develop the remaining portions.

North of the site, the Union Pacific railroad divides the site from the adjacent residential neighborhood. A gas well pad site and frac pond create a buffer from the proposed grand stupa plaza to limited commercial and residential uses to the east. Rosedale Street, a 4-lane divided arterial with periodic turning lanes, divides the subject site from the Historic Stop Six neighborhood to the south. West of the temple's ownership lies industrial uses in industrial zoning and a vacant residentially-zoned lot. Immediately adjacent to the west is a small residential neighborhood behind commercial uses fronting Rosedale Street.

As a religious campus, the applicant is requesting a "PD" Planned Development of written development standards, primarily based on "CF" Community Facilities zoning, which would carry over some the development standards of the more restrictive single family zoning. While a few recreation and infrastructure land uses have been excluded, land uses specifically related to the temple complex have been added, divided among four different areas, and listed as Tracts 1-4 on the site plan exhibit. These uses include an event center; meditation house; a food court for vendors; a storage building for temple decorations and other campus uses; retail relating to religious uses; and congregate living quarters for monks, nuns, and visitors. The sign standards are generally based on the more generous commercial standards, instead of CF zoning, except for three listed signs. A site plan will be required for development of any new buildings. Development waivers for urban forestry tree mitigation/planting, building height, signage, and setbacks are requested. The PD meets the requirements for parking and landscaping along the street frontage across the 28-acre site.

Discussions with the leaders of the religious complex have taken place for more than two years. Draft site plans based on the temple leader's vision centered around the eastern 13.5 acres (Tract 4) being converted into the focal point of the activities, with multiple stupas or buildings containing important religious items, as well as hundreds of stone columns with inscribed writings. The biggest stupa is requested to be 175 feet in height, which is 55 feet taller than the maximum height allowed in most intensive zoning districts. However, the initial placement of the grand stupa was shown approximately 600 feet away from the closest residential homes to the north, which would follow the 3:1 height slope setback found in the zoning ordinance for comparable residential protections. A smaller 5-foot height exception is requested for Tract 3 to exceed the 35-foot maximum required by the adjacent "B" Two-Family zoning.

The Buddhist temple complex currently has monks and nuns living on-site as part of their traditional contemplative practice. The PD proposes 150 new units as living quarters for more monks and nuns, in addition to the 30 existing units on Tracts 2 and 3. Some of the proposed units are for visitors, which are not allowed to be rented to the public as multi-family or long-term rentals. These two tracts are approximately 13.5 acres combined, which would equate to 13.3 dwelling units per acre. This density is less than the maximum 16 units per acre density allowed in "CR" Low-Density Multifamily zoning districts.

Tracts 1 and 2 are designated to provide the majority of the parking for the site, while Tracts 3 and 4 are proposed to be the main building sites with accessory parking. A minimum of 120 parking spaces are stated in the PD

Development Standards across Tracts 1 – 3. About 50 parking spaces have been developed on Tract 3 currently. The northern part of Tract 2 has been informally cleared, and the entire tract is being used for on-grass parking, including an unabandoned City right-of-way. Based on Tracts 1 and 2’s acreage, approximately 850 parking spaces could be constructed on these two tracts alone. While the PD proposes to follow the zoning ordinance’s parking lot canopy coverage of 40%, no standards have been proposed to meet the ordinance regulation where additional landscaping is installed if the site exceeds 125% of the required number of parking spaces. The PD also requests parking in the front yards, where parking is normally prohibited in “CF” Community Facilities zoning.

Signage standards different than “CF” zoning are proposed, although “CF” Community Facilities zoning would allow approximately 112 square feet of signage on Edgewood Terrace and 88 square feet of signage on E. Rosedale Street. The applicants are proposing to follow the regular commercial signage standards, with the exception of two entry gates as a reflection of gates commonly used as entrances to Buddhist shrines. A main sign on Edgewood Terrace is also requested with 140 square feet and 15 feet in height, which is 25% larger than allowed. Additionally, a large gate with more signage area is requested on the same street, which would cause the sign square footage to be exceeded by more than 230%.

The following table provides information related to the proposed waivers of the standard zoning ordinance requirements. The notable waivers are bolded.

| <b>Standard</b>  | <b>CF Zoning</b>   | <b>Proposed PD/CF</b>  | <b>Staff Comments</b>   |
|--|--|--|---|
| Height on Tract 3  | 35’  | 40’  | Staff supports due to minor increase  |
| <b>Height on Tract 4</b>                                   | <b>35’</b>   | <b>175’</b>  | <b>Staff supports due to distance away from residential</b>   |
| <b>Parking Spaces</b>                                      | <b>Based on number of seats in the main worship building</b> | <b>120 minimum parking spaces, no maximum, nor additional landscaping for exceeding 125% of required parking</b> | <b>Staff is neutral as site plans changes could create either significant under or over parking</b> |
| <b>Parking Location</b>                                    | <b>Prohibited in the front yard</b>                          | <b>2 rows and drive aisle allowed in the front yard</b>  | <b>Staff supports due to minimal impact on neighborhood</b>   |
| <b>Sign Square Footage (based on commercial standards)</b> | <b>165 square feet of sign face allowed</b>                  | <b>260 square feet of signage on Rosedale Street</b>   | <b>Staff supports due to minimal impact on neighborhood</b>   |
| <b>Sign Height (based on commercial standards)</b>         | <b>8 feet</b>  | <b>15 feet</b>   | <b>Staff supports as a reflection of the</b>  |

|   |                               |                              |  |
|---|-------------------------------|------------------------------|--|
|   |                               |                              | <b>cultural architecture</b>                                       |
| <b>Sign Width (based on commercial standards)</b>     | <b>16 feet</b>                | <b>36 feet</b>               | <b>Staff supports as a reflection of the cultural architecture</b> |
| <b>Urban Forestry Preservation (Tracts 2 &amp; 4)</b> | <b>25% of existing canopy</b> | <b>5% of existing canopy</b> | <b>Staff supports with documentation of significant trees</b>      |

Trees have been informally removed from Tracts 2 and 4, approximately 2 acres and 12 acres, respectively, for a total of 14 acres. Correspondingly, minimal further tree preservation is proposed for these tracts, since Tract 2 has scattered large trees remaining and Tract 4 retains trees concentrated on the eastern property line and northeast corner. No mitigation by additional planting (on- or off-site) or payment into the tree fund is proposed for the 14 acres of lost trees, as the PD proposes to follow the new Urban Forestry ordinance revision that does not penalize removal of non-desirable trees. Additionally, the PD proposes to follow the new ordinance for mitigation of significant trees. No further trees could be removed without waivers.

## Surrounding Zoning and Land Uses

- North “A-10” and “A-5” One Family / Single family and railroad line
- East “E” Neighborhood Commercial / Gas wells with storage tanks and frac pond
- South “E” Neighborhood Commercial and “PD 1259” Planned Development for MU-1 uses / Single family, post office, and vacant land
- West “I” Light Industrial / Industrial warehouse with outdoor storage

## Recent Zoning History

- ZC-19-149: west of site, from E, PD 964 to PD for UR and MU-1 uses w/ waivers to max. building height and parking, approved, 10/16/2019.
- ZC-19-151: southeast of site, from A-5, B, CF, E, PD 1089 for D uses to PD/CF, PD/UR, PD/MU-1 w/ waivers to parking, setbacks, bldg height, and height plane for Caville Housing, approved, 10/16/2019.
- ZC-21-175: west of site, from A-5, ER to E plus Conditional Use Permit for truck parking, denied, 5/10/2022.
- ZC-23-197: southeast of site, from PD1259 to add permanent food trucks, site plan included, approved, 1/10/2024.

## Public Notification

300-foot Legal Notifications were mailed on September 27, 2024.  
The following organizations were notified: (emailed September 27, 2024)

| <b>Organizations Notified</b>                 |                              |
|---|------------------------------|
| Historic Stop Six NA*                         | Stop 6/Poly Oversight        |
| Echo Heights Stop Six Environmental Coalition | West Meadowbrook NA          |
| Central Meadowbrook NA                        | Polytechnic Heights South NA |



|                                      |                              |
|--------------------------------------|------------------------------|
| East Fort Worth, Inc.                | Fort Worth ISD               |
| Neighborhoods of East Fort Worth     | Streams and Valleys Inc      |
| Southeast Fort Worth Inc.            | Trinity Habitat for Humanity |
| East Fort Worth Business Association |                              |

*\*Located within this Neighborhood Association*

## Development Impact Analysis

### Land Use Compatibility

The applicant is proposing to create a “PD” Planned Development based on “CF” Community Facilities zoning to expand a Buddhist temple complex. The PD was submitted as a written set of development standards, instead of a site plan. Site plan approval at a later date will be required to construct any new building or structure. The Buddhist temple complex is physically separated by fencing from the public realm and inwardly focused. A number of development waivers are being requested regarding structure heights, parking, signage, and urban forestry requirements. The sign requests for the main sign for sign area, height, and width exceed the ordinance standards by 50 – 225%.

While the majority of the development waivers are not anticipated to significantly impact the surrounding neighborhood, minimal preservation on Tracts 2 and 4, as well as waiving the tree removal penalties or mitigation for approximately 14 acres of trees is without precedent. By ordinance, tree removal issues are presented to the Urban Design Commission, but this process has not taken place. The requested land use for a large religious complex is generally more intensive than the nearby low intensive commercial and residential land uses. The proposed zoning request **is compatible with conditions** regarding the surrounding neighborhood, if approved with the additional Staff Recommended Tree Standards in Attachment A.

### Comprehensive Plan Consistency – Southeast Sector

The 2023 Comprehensive Plan currently designates the subject property as “Low Density Residential” and “Neighborhood Commercial” on the Future Land Use Map. The requested institutional land uses are appropriate in all land use categories.

The proposed zoning is consistent with the following policies of the Comprehensive Plan:

- Promote appropriate infill development of vacant lots, old commercial centers (greyfields), and contaminated sites (brownfields) within developed areas, particularly in the central city.
- Encourage new development adjacent and connected to previously developed or platted areas in order to utilize existing utility and road infrastructure and services, thereby optimizing public and private investments and discouraging sprawl development.
- Locate large commercial and institutional uses adjacent to arterial streets, preferably at the intersections of other arterials and highways.

However, the PD zoning as proposed does not appear to be consistent with the following policies of the Comprehensive Plan:

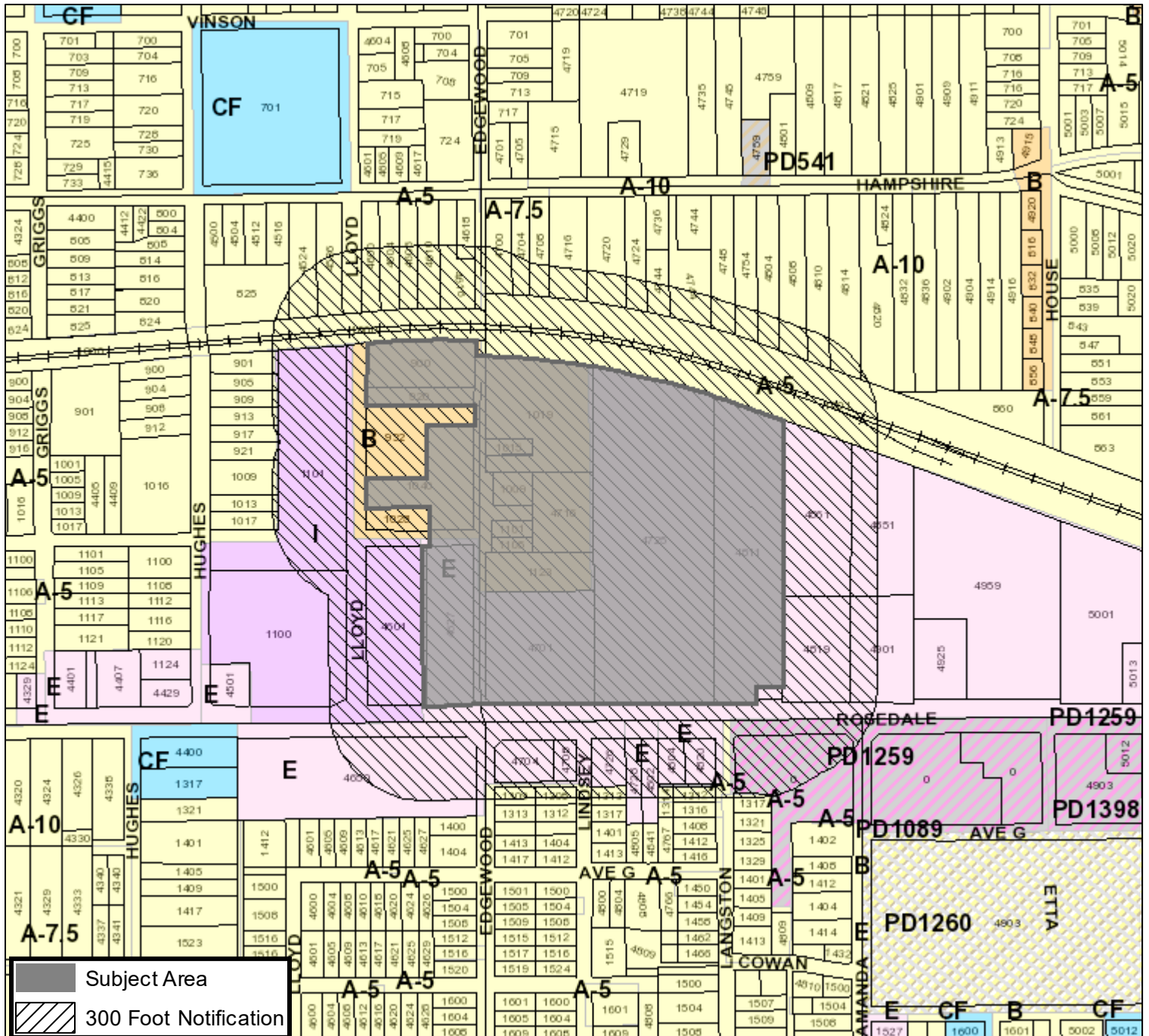
- Separate incompatible land uses with buffers or transitional uses. Some land uses have attributes such as height, proportion, scale, operational characteristics, traffic generated, or appearance that may not be compatible with the attributes of other uses.
- Preserve the character of rural and suburban residential neighborhoods.
- Promote traditional neighborhood and other pedestrian-oriented developments, which encourage human interaction, walking, bicycling, mixed uses, slower traffic, public places, and attractive streetscapes.
- Maximize area of permeable surfaces in developments to reduce stormwater run-off.
- Encourage new development in character with the existing neighborhood scale, architecture, and platting pattern, while working to improve pedestrian, bicycle, and transit access between adjacent neighborhoods and nearby destinations.



Based on conformance with the future land use map and the some of the policies stated above, the proposed zoning is **partially consistent** with the Comprehensive Plan.

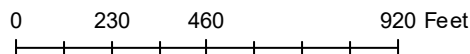


### Area Zoning Map

Applicant: **Huong Dao Vipassana B Center/ Westwood**  
 Address: **900-1100 blocks S. Edgewood Terrace and 4627- 4811 (odds) E. Rosedale Street**  
 Zoning From: **B, E**  
 Zoning To: **PD for CF uses plus religious campus with group livng, development standards**  
 Acres: **28.59441565**  
 Mapsco: **Text**  
 Sector/District: **Southeast**  
 Commission Date: **10/9/2024**  
 Contact: **817-392-8190**



|  |                       |
|--|-----------------------|
|  | Subject Area          |
|  | 300 Foot Notification |







Attachment A - Staff Recommended Tree Standards

Preservation of existing canopy coverage using protected trees only. See Table A below for a list of protected and preferred trees.

- I. At least 25% of the protected trees must be retained, 50% of the post oaks and blackjack oaks must be preserved onsite or offsite when designated as part of the associated urban forest permit, provided however, significant or large trees must be preserved as outlined in subsection below.
- II. An onsite tree survey noting the location, size and species (diameter of trees six inches or greater) and canopy coverage of each protected tree with a diameter of six inches or greater will be required. This survey shall be completed and signed/sealed by one of the following: Texas licensed landscape architect, certified arborist, Texas licensed landscape contractor or Texas certified nurseryman.

| <b>Table A. Protected Species and Preferred Planting Trees</b>                              |                     |                                       |                                     |
|---|---------------------|---------------------------------------|-------------------------------------|
| <b>Large Canopy Trees (over 40 feet tall and 20 inches or more in diameter when mature)</b> |                     |                                       |                                     |
|   | Baldcypress         | <i>Taxodium distichum</i>             |                                     |
|   | Black walnut        | <i>Juglans nigra</i>                  |                                     |
| *   | Bur oak             | <i>Quercus macrocarpa</i>             |                                     |
| *   | Cedar elm           | <i>Ulmus crassifolia</i>              |                                     |
| *   | Chinquapin oak      | <i>Quercus muhlenbergii</i>           |                                     |
|   | Lacebark elm        | <i>Ulmus parvifolia</i>               |                                     |
| *   | Live oak            | <i>Quercus virginiana</i>             |                                     |
|   | Pecan               | <i>Carya illinoensis</i>              | Not recommended for high heat areas |
|   | Pond cypress        | <i>Taxodium ascendens</i>             |                                     |
|   | Post oak            | <i>Quercus stellate</i>               | Must preserve 50% if on site        |
|   | Red oak             | <i>Quercus shumardii</i>              | Not recommended for high heat areas |
| <b>Medium Canopy Trees (25 to 50 feet tall, 10 to 20 inches in diameter when mature)</b>    |                     |                                       |                                     |
| *   | Afghan pine         | <i>Pinus elderica</i>                 |                                     |
| *   | Arizona cypress     | <i>Hesperocyparis arizonica</i>       |                                     |
|   | Blackjack oak       | <i>Quercus marilandica</i>            | Must preserve 50% if on site        |
| *   | Bigtooth maple      | <i>Acer grandidentatum</i>            |                                     |
| *   | 'Caddo' maple       | <i>Acer saccharum 'Caddo'</i>         |                                     |
| *   | Chinese pistache    | <i>Pistache chinensis</i>             |                                     |
| *   | Eastern redcedar    | <i>Juniperus virginiana</i>           |                                     |
|   | Ginkgo              | <i>Ginkgo biloba</i>                  |                                     |
|   | Japanese Black Pine | <i>Pinus thunbergiana</i>             |                                     |
|   | Lacey oak           | <i>Quercus laceyi</i>                 |                                     |
| *   | Monterrey oak       | <i>Quercus polymorpha</i>             |                                     |
|   | Shantung maple      | <i>Acer truncatum</i>                 |                                     |
|   | Shin oak (Bigelow)  | <i>Quercus sinuata var. breviloba</i> |                                     |

|   |  |                                     |
|---|--|-------------------------------------|
| Southern magnolia   | <i>Magnolia grandiflora</i>            | Not recommended for high heat areas |
| Texas red oak   | <i>Quercus buckleyi</i>                |                                     |
| Trident maple   | <i>Acer buergerianum</i>               |                                     |
| * Western soapberry   | <i>Sapindus saponaria</i>              |                                     |
| <b>Small Canopy Trees (less than 25 feet tall or 10 inches in diameter when mature)</b> |  |                                     |
| American smoketree  | <i>Cotinus obovatus</i>                |                                     |
| Carolina buckhorn   | <i>Frangula caroliniana</i>            | Not recommended for high heat areas |
| Cherry-laurel   | <i>Prunus caroliniana</i>              |                                     |
| * Crapemyrtle   | <i>Lagerstroemia indica</i>            |                                     |
| * Desert willow   | <i>Chilopsis linearis</i>              |                                     |
| * Eve's necklace  | <i>Styphnolobium affine</i>            |                                     |
| Indian cherry   | <i>Frangula caroliniana</i>            |                                     |
| Japanese maple  | <i>Acer palmatum</i>                   | Not recommended for high heat areas |
| Mexican buckeye   | <i>Ungnadia speciosa</i>               |                                     |
| Mexican plum  | <i>Prunus mexicana</i>                 |                                     |
| Possumhaw holly   | <i>Ilex decidua</i>                    |                                     |
| Rough -leaf dogwood   | <i>Cornus drummondii</i>               | Not recommended for high heat areas |
| Rusty blackhaw  | <i>Viburnum rufidulum</i>              |                                     |
| * Texas persimmon   | <i>Diospyros texana</i>                |                                     |
| Texas redbud  | <i>Cercis canadensis var. texensis</i> |                                     |
| Waxmyrtle   | <i>Myrica cerifera</i>                 |                                     |
| * Yaupon holly  | <i>Ilex vomitoria</i>                  |                                     |
| * Drought tolerant species  |  |                                     |

*Preservation of significant or large trees.*

- a. Significant trees 24 inches in diameter (75.36 inches in circumference) for protected species and 18 inches in diameter (56.55 inches in circumference) for Post Oaks and Blackjack Oaks can only be removed by permit of the city forester. The reduced diameter for Post Oaks and Blackjack Oaks is in recognition of the naturally occurring Post Oak Savannahs within the Cross Timbers Zone. Preservation of a significant tree will be credited to the required canopy cover one and one-half times the actual canopy size.
- b. Significant trees may be removed if one of the following conditions is met:
  1. An area one and one-half times the area of the canopy of the tree identified for removal is retained on the same site or offsite when designated as part of the associated urban forest permit and entered into a conservation easement. The one and one-half retention of existing trees shall be of the same species as the tree being removed if Post Oak or Blackjack Oak and be in excess of the required tree coverage on the site/tract;
  2. Planting of new trees from the preferred list (see Table B of subsection (I) below)

at five times greater in canopy area than the removed specific tree canopy. The additional planting of five to one (5 to 1) will be in excess of the required tree coverage on the site and can be provided offsite when designated as part of the associated urban forest permit and entered into a conservation easement;

3. Payment into the tree fund in accordance with Section 2-322 of the City Code for the mitigation fees for the removal of significant trees.; or
4. Urban design commission approves a plan that mitigates the removal of significant or large trees.

**EXHIBIT A**  
**SACRED STUPA DISTRICT**

900-1100 blocks South Edgewood Terrace and 4627-4811 (odds) East Rosedale Street

Existing Zoning: E, B & I  
 Proposed Zoning: PD-CF  
 Purpose: Amending existing E, I and B districts to a Planned Development with “CF” as the base district. A site plan will be submitted and processed at a later date.  
 Nomenclature: “Sacred Stupa District” is interchangeable with “PD-CF”

**A. Purpose and Intent**

It is the purpose and intent of the Sacred Stupa District (PD-CF) to provide a unified development for the religious institution to contain a stupa with associated parking and facilities to accommodate visitors at the address listed above.

**B. PD Site Plan**

Prior to building permit, an approved PD Site Plan will be required for each Tract as defined in this narrative. Each PD Site Plan can contain one or more tracts at a time.

**C. Uses**

All uses in the CF district are included with the following allowances:

Uses Specifically Not Allowed:

Country club (private or public), golf course, golf driving range, wastewater treatment facilities, water supply facilities, water treatment or storage facility, gas drilling, gas production and/or gas lift compressor station.

Uses Allowed:

| TRACTS | USES   |
|--------|--|
| 1      | Parking  |
| 2      | Parking and living quarters* (monks and nunnery)   |
| 3      | Uses to support a religious campus, including but not limited to event center, exhibit hall, meditation house, memorial house**, garden, private indoor recreation (games, movies, reading, etc), kitchen/café, vendor food court, library, classrooms, study center, indoor storage for campus use, religious worship, retail relating to religious uses, 3 residential bungalows, 3 residences (for the monks) and living quarters* (nunnery and visitor). |
| 4      | Stupa, Religious Facility  |

\*Living quarters are dormitory style and limited to a maximum of 150 units plus the existing 30 units. This max can be spread over Tracts 2 and 3.

\*\* Memorial house is a place set aside to worship one’s ancestors and those who contributed to the center who have passed away.

**D. Development Standards**

a. Tract 1

Tract 1 is to include those uses as listed in the above chart and are subject to the applicable sections of the Zoning Ordinance.

i. Front Yard: 20 minimum

- ii. Rear Yard: 5' minimum, unless adjacent to an alley, then 0'
  - iii. Side Yard: 5' minimum
  - iv. Maximum Height: 2 stories
- b. Tract 2
 

Tract 2 is to include those uses as listed in the above chart and are subject to the applicable sections of the Zoning Ordinance.

  - i. The living quarters use is for the resident monks, nuns and traveling members of the church, meditators, and similar uses related to the religious facility. These rooms are not multi-family nor for long-term rentals.
  - ii. Front Yard: 20 minimum
  - iii. Rear Yard: 5' minimum, unless adjacent to an alley, then 0'
  - iv. Side Yard: 5' minimum
- c. Tract 3:
 

Tract 3 is to include those uses as listed in the above chart and are subject to the applicable sections of the Zoning Ordinance.

  - i. The living quarters use is for the resident monks, nuns and traveling members of the church, meditators, and similar uses related to the religious facility. These rooms are not multi-family nor for long-term rentals.
  - ii. Front Yard: 20 minimum
  - iii. Rear Yard: 5' minimum, unless adjacent to an alley, then 0'
  - iv. Side Yard: 5' minimum
  - v. Maximum Height: 40'
- d. Tract 4:
 

Tract 4 is for the Sacred Stupa, religious facility and subject to the Zoning Ordinance with the following modifications:

  - i. Front Yard: 20 minimum
    - 1. Enclosing wall be outside of the front setback along Rosedale Street.
  - ii. Rear Yard: 5' minimum
  - iii. Side Yard: 5' minimum
  - iv. Maximum Height: stupa or steeples are limited to 175' height

## **E. Other Development Standards**

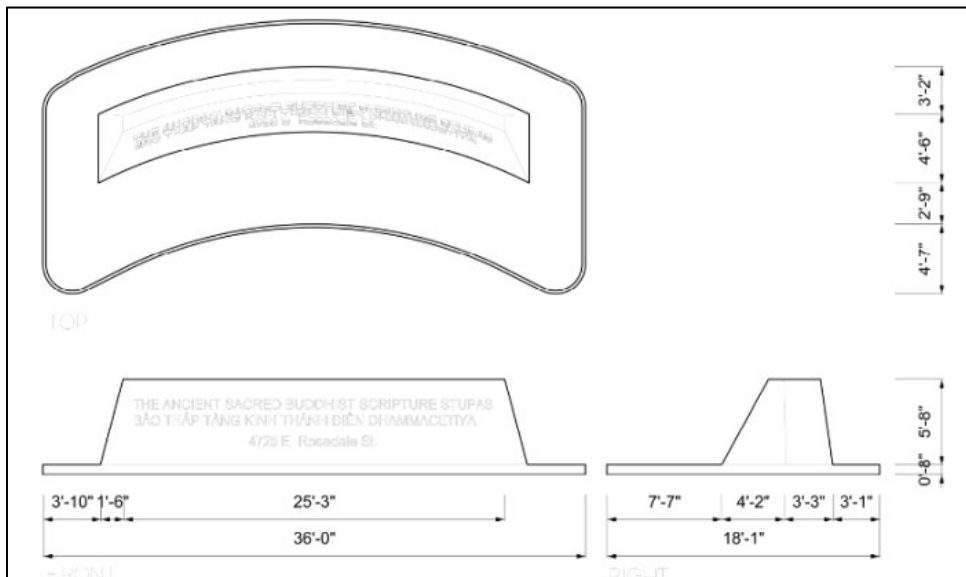
- a. Urban Forestry
  - i. Notes:
    - 1. To be consistent with an upcoming revision to the Urban Forestry ordinance, low quality trees are not included in the calculations for this site.
  - ii. Tree Preservation percentage for the development (all tracts)
    - 1. Before construction: 25%
    - 2. After construction: 5%
    - 3. Waiver for the standard existing canopy preservation requirement.
    - 4. Provided canopy for institutional use of 30% will be met.
    - 5. Provided canopy for parking use of 40% will be met.
  - iii. Significant Tree Preservation and Mitigation
    - 1. Subject to Attachment "A".

- b. Off-Street Parking and Loading
  - i. Parking for all tracts will be provided on Tracts 1, 2 and 3.
  - ii. Tracts 1, 2 and 3 are required to have a combined minimum of 120 spaces
  - iii. No maximum number of parking spaces
  - iv. Surface parking shall be permitted between a building front and the street but is limited to a single drive aisle with double loaded spaces
  
- c. Landscaping and Buffers
  - i. Tracts 1, 2, 3 and 4 will be considered a non-residential district.
  - ii. Submittal of Landscape Plan is required. The location and description of decorative paving, sidewalk, furniture or other decorative elements (including religious iconography, statuary, ornamentation, plant materials, etc) shall be indicated on the landscape plan when presented during the Site Plan submission stage.
  - iii. Landscape Area Required. When there is a front yard setback of at least five feet, front yard landscaping is required. This front yard landscaping must adhere to the tree and shrub planting requirements of Section 6.301.H. as well as other applicable landscaping requirements described or referenced within the CF regulations. Street trees planted in the parkway abutting the property may be credited towards the tree planting requirement described in Section 6.301.H. if the property owner assumes responsibility for their maintenance through formal agreement with the Parks and Recreation Department. This credit is applicable to properties with or without required front yard landscaping. Campus living shall conform to the requirements of institutional uses in Section 6.301.H.
    - 1. Edgewood Terrance is considered the “front” yard.
    - 2. East Rosedale is considered a “side” yard.
  - iv. Irrigation: An irrigation system shall not be required if the landscape plan demonstrates that use of drought resistant plants do not require irrigation. Trees shall require an irrigation system, regardless of species, and the irrigation system may be provided entirely within the property boundary.
  - v. Miscellaneous Requirements: Sections 6.301.J shall not apply. In addition to required trees and shrubs, all of the required landscape area must be covered with grass, organic mulch, live groundcover, decorative paving, sidewalk furniture or other decorative elements.
  
- d. Landscaping in Parking and Driveway Areas
  - i. Landscape islands shall be required in parking lots with 12 or more parking spaces. The total area of each landscape island shall be a minimum of 162 square feet.
  
- e. Signs
 

Sign requirements included in chapter 6.408 and 6.409, shall apply to the district, with the following exception(s):

  - i. Main Entry Sign
    - 1. Per the spec included, Figure 1
    - 2. Allowed within the building setback of Tract 4 oriented along

- Rosedale Street
3. Signage area not to exceed 140sf
  - ii. Primary Ceremonial Entry Gate
    1. Functions as a primary entrance into the campus facing Rosedale Street.
    2. The area of lettering is limited to 120 square feet.
  - iii. Secondary Ceremonial Entry Gate
    1. Functions as a secondary entrance into the campus facing South Edgewood Terrace.
    2. The area of lettering is limited to 120 square feet.
  - iv. Medium Stupas
    1. Medium stupas (as shown in the plans) are memorial items on the site to honor certain patrons or donors. These are excluded from the signage ordinance.
    2. Not visible from Rosedale Street.
  - v. Small Stupas
    1. Small stupas (as shown in the plans) are memorial items on the site to honor certain patrons or donors. These are excluded



1. from the signage ordinance.
2. Not visible from Rosedale Street.

Figure 1.

- f. Entrances
  - i. In order to create a pedestrian-oriented environment in which the main stupa is oriented toward publicly accessible streets and sidewalks, it must have its main entrance from a private sidewalk or plaza that is connected to public accessible sidewalks or plazas.. Non main stupa entrances from parking lots are permitted. Interior buildings constructed as part of a campus development are exempt from these requirements.
- g. Fences and gates
  - i. Fences and site enclosing walls up to 10 feet high shall be allowed within the side and rear setbacks of Tracts 3 and 4.

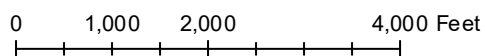
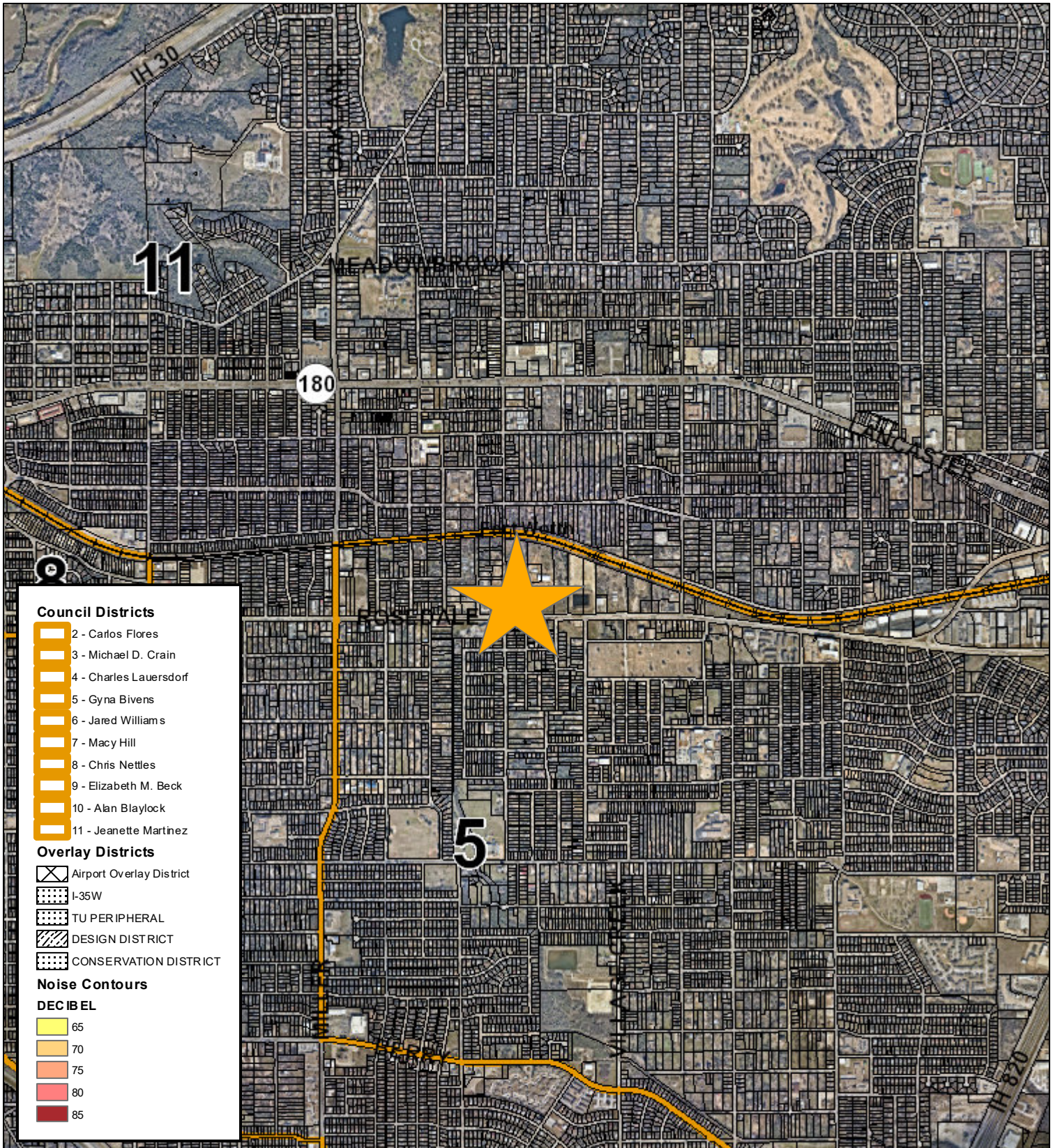


- ii. Gates will be constructed per the PD site plan and supporting plans.
- h. Facade design standards for new construction
- i. Statement of Intent - The following design standards are intended to encourage new buildings that complement neighborhood character, add visual interest, and support a pedestrian-oriented environment. The standards are not intended to encourage architectural uniformity or the imitation of older buildings.
  - ii. Required Drawings - To illustrate compliance with the following standards, developers shall submit with the site plan, elevation drawings for those building facades that are oriented to:
    - Public streets;
    - Private streets and walkways that are publicly accessible through a public access easement; or
    - Publicly accessible open space.
- i. Facade Variation
- i. Applicable to Tract 3 only. Tract 4 shall not be restricted to the following requirements.
  - ii. Each new building façade or architectural site wall oriented to a publicly accessible street or open space shall at a minimum incorporate three or more of the following four scaling elements for building facades greater than 50 feet in width, and at least two of the following elements for building facades less than 50 feet in width:
    - Expression of building structural elements such as:
      - Floors (banding, belt courses, etc. not less than one inch deep and four inches wide),
      - Columns (pilasters, piers, quoins, lintels, chofa (rooftop ornamentation), decorative articulation, brackets, awnings, etc. not less than four inches deep and six inches wide), or
      - Foundation (water tables, rustication);
    - Variation in wall plane (not less than 18"-24" inches) through the use of projecting and recessed elements. Such elements could include patterns of door and window openings (and the use of sills, mullions, and other scale providing window elements), and/or more pronounced architectural features, such as porches, alcoves, and roof dormers; lintels, colonnades, porticos, overhangs, etc.
    - Changes in material or material pattern. Each change of material shall involve a minimum 6" variation in wall plane; and
    - Changes in color.
    - Use of decorative elements
  - iii. Each sequential block of new construction shall contain a unique building facade so as to encourage architectural variety within large projects, using the required architectural elements listed in Section a.ii. above and/or other architectural features. Facades associated with the stupa and other religious worship facilities shall not be limited to this requirement.
  - iv. New Community/Religious Dormitory residential building facades oriented

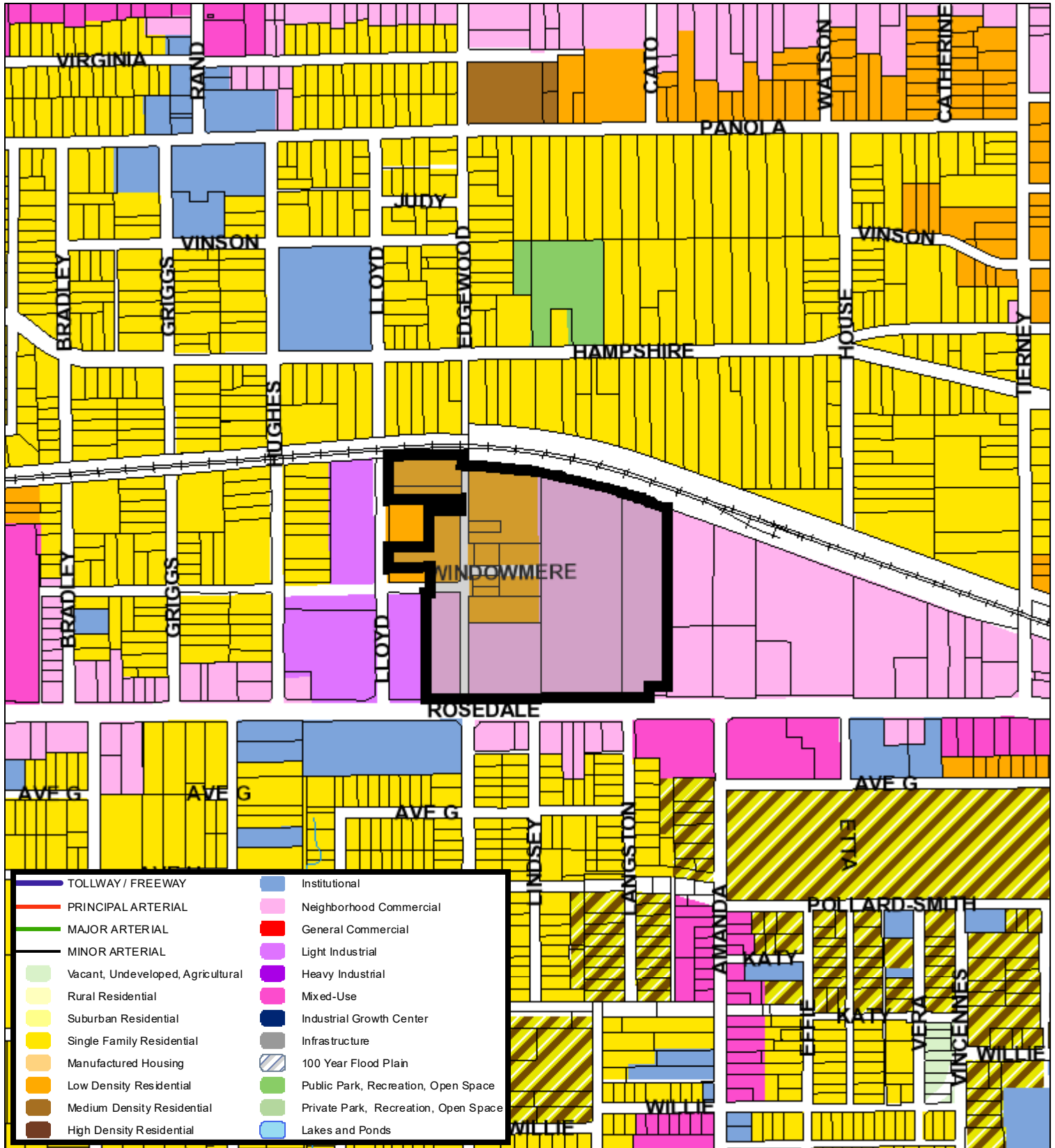
to a publicly accessible street or open space shall include at least two variations in wall plane per 100 linear feet. Variations shall be not less than three feet in depth or projection.

- j. Fenestration
  - i. Architectural walls, fences, non-conditioned architectural elements or buildings, Religious Structures, Monuments, Stupas, Prangs (brick towers), or other non-commercial building facades are not required to conform with Fenestration Requirements.
  
- l. Building Materials
  - i. Not less than 50 percent (50%) of all new building facades (not including door and window areas) shall be constructed of the following materials: stone, brick, terra cotta, patterned pre-cast concrete, cement board siding, cast stone or prefabricated brick panels, tile, metal, wood, or stucco.
  
- M. Building Entries
  - i. Building entrances shall incorporate arcades, roofs, porches, alcoves or awnings that protect pedestrians from the sun and rain.
  - ii. Each use with exterior, street-oriented exposure shall have an individual public entry from the street or from a publicly accessed courtyard.
  - iii. Primary entrances shall be provided at intervals not to exceed 125 linear feet of street-oriented residential building frontage.

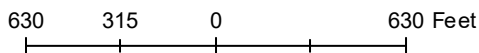
### Area Map



### Future Land Use



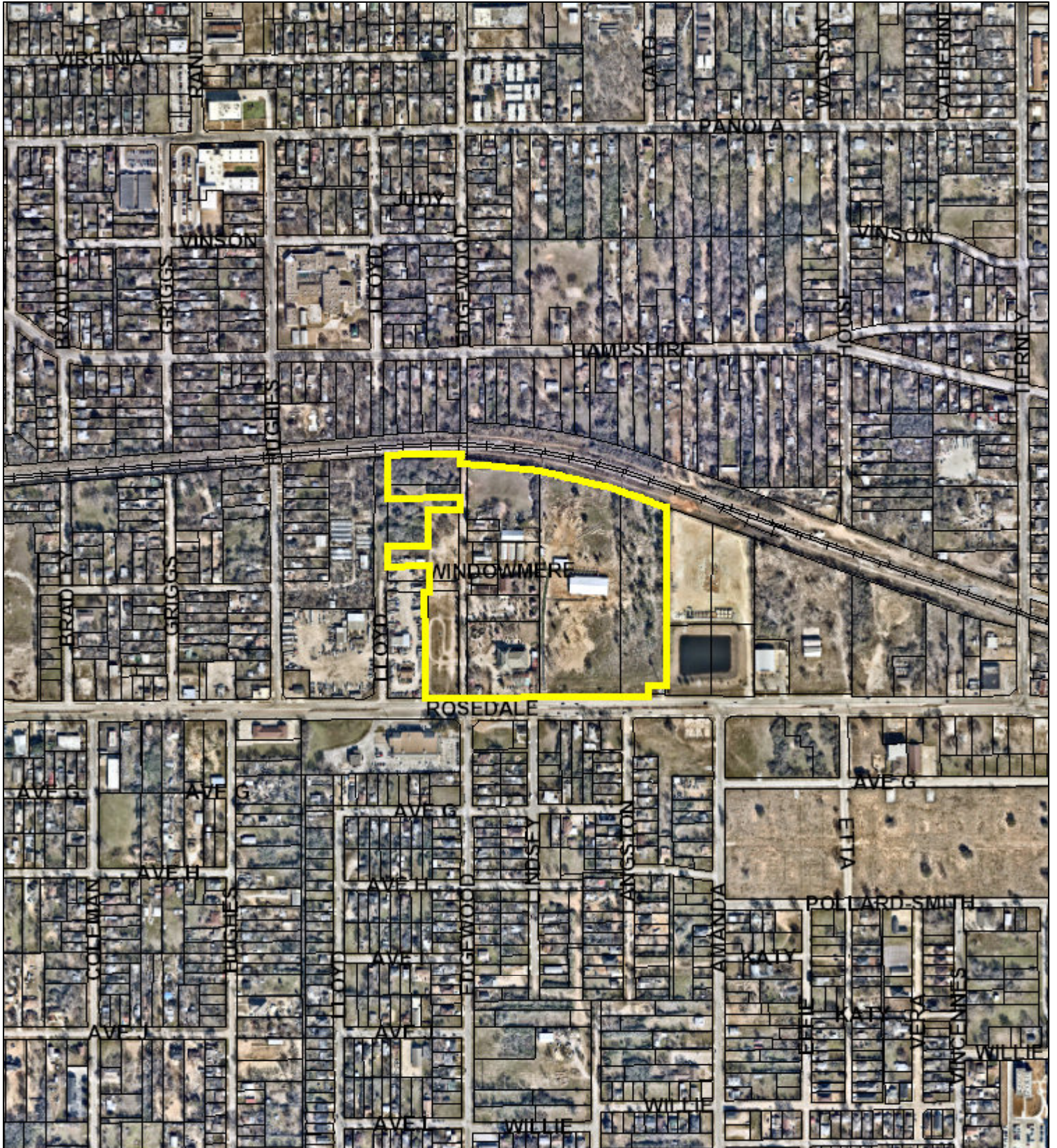
|  |                                   |  |                                      |
|--|-----------------------------------|--|--------------------------------------|
|  | TOLLWAY / FREEWAY                 |  | Institutional                        |
|  | PRINCIPAL ARTERIAL                |  | Neighborhood Commercial              |
|  | MAJOR ARTERIAL                    |  | General Commercial                   |
|  | MINOR ARTERIAL                    |  | Light Industrial                     |
|  | Vacant, Undeveloped, Agricultural |  | Heavy Industrial                     |
|  | Rural Residential                 |  | Mixed-Use                            |
|  | Suburban Residential              |  | Industrial Growth Center             |
|  | Single Family Residential         |  | Infrastructure                       |
|  | Manufactured Housing              |  | 100 Year Flood Plain                 |
|  | Low Density Residential           |  | Public Park, Recreation, Open Space  |
|  | Medium Density Residential        |  | Private Park, Recreation, Open Space |
|  | High Density Residential          |  | Lakes and Ponds                      |



A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



## Aerial Photo Map



0 395 790 1,580 Feet





# Zoning Staff Report

**Date:** November 13, 2024

**Case Number:** ZC-24-076

**Council District:** 8

## Zoning Map Amendment

**Case Manager:** Lynn Jordan

**Owner / Applicant:** Richard Gasca / Alicia Rangel Villalobas

**Site Location:** 1108 S. Riverside Drive

**Acreage:** 0.45 acres

### Request

**Proposed Use:** Auto Repair / Sales

**Request:** From: "E" Neighborhood Commercial

To: "F" General Commercial

### Recommendation

**Land Use Compatibility:** Requested change is not compatible

**Comprehensive Plan Map Consistency:** Requested change is not consistent

**Comprehensive Plan Policy Consistency:** Requested change is not consistent

**Staff Recommendation:** Denial

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- [2. Surrounding Zoning and Land Uses](#)
- [3. Recent Zoning History](#)
- [4. Public Notification](#)
- [5. Development Impact Analysis](#)
  - [a. Land Use Compatibility](#)
  - [b. Comprehensive Plan Consistency](#)
  - [c. Economic Development Plan](#)
6. Zoning Map with 300 ft. Notification Area
7. Area Map
8. Future Land Use Map
9. Aerial Photograph

## Project Description and Background

The subject property is located at the northwest corner of Avenue E and South Riverside Drive. This property is situated in South Riverside Drive Scenic Corridors and Neighborhood Empowerment Zone (NEZ) Area Six.

Before a City initiated zoning change in 2004 to rezone various properties in the area, the site was zoned “FR” General Commercial Restricted and was developed with a mechanic shop. The shop operated as a legal non-conforming for some time. In 2017, the previous owner applied for a legal non-conforming use; however, the application was denied because they could not prove that the business had been operating legally and continuously since the zoning change occurred and went into effect on August 10, 2004. In 2022 the applicant applied for a zoning change to “E” Neighborhood Commercial for professional offices and bakery.

The new owner proposes to rezone the entire site to “F” General Commercial to use the existing building for auto repair and sales.



Site Photo

## Surrounding Zoning and Land Uses

North “A-5” One-Family / vacant  
East (across Riverside Drive) “B” Two-Family / vacant  
South “A-5” “A-5” One-Family / vacant  
West “A-5” One-Family / single-family home

## Recent Zoning History

- ZC-22-142: rezoned to “E” Neighborhood Commercial on October 11, 2022.
- ZC-04-191: rezoned to "A-5" Ordinance 16073 on August 10, 2004 as part of a larger City-initiated rezoning

## Public Notification

300-foot Legal Notifications were mailed on October 31, 2024.

The following organizations were notified: (emailed October 31, 2024)

| Organizations Notified                             |                                      |
|--|--------------------------------------|
| United Communities Association of South Fort Worth | Hillside NA                          |
| Polytechnic Heights South NA                       | Parker Essex Boaz NA                 |
| Belmont NA   | East Fort Worth, Inc.                |
| Glenwood Triangle NA                               | Fort Worth ISD                       |
| Streams and Valleys Inc                            | Trinity Habitat for Humanity         |
| Southeast Fort Worth Inc *                         | East Fort Worth Business Association |

\* *This Neighborhood Association is located closest to the subject property*

## Development Impact Analysis

### Land Use Compatibility

The applicant is proposing to change the zoning of this property from “E” Neighborhood Commercial to “F” General Commercial to use the existing building for auto repair and sales. Surrounding north and south are zoned “A-5” One-Family and are currently vacant. The property to the east is zoned “B” Two-family and is also vacant. The property to the west is zoned “A-5” and is used as a single-family home occupied by renters.

South Riverside Drive is designated as an arterial roadway on the Master Thoroughfare Plan; additionally, two (2) transit lines run within a block or two of the sites (Trinity Metro bus routes 4 & 25), which supports slightly more intensive development than the current “A-5” One-Family zoning.

The proposed “F” General Commercial zoning has more intensive uses that would not be compatible with the overall neighborhood character.

The proposed zoning is **not compatible** with surrounding land uses.

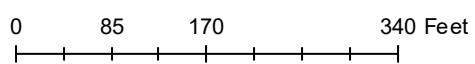
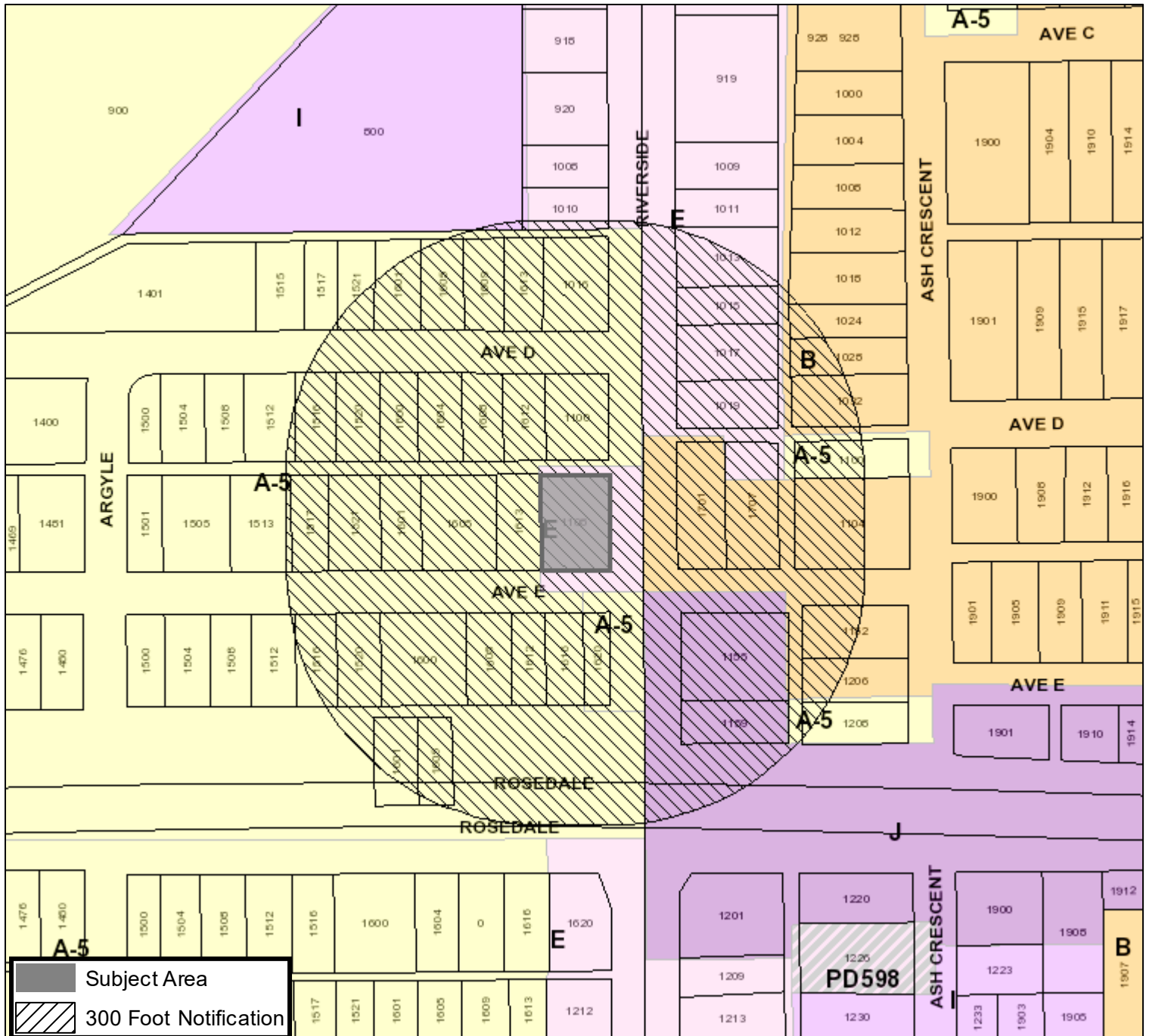
### Comprehensive Plan Consistency – Southside

The area requested to be rezoned to “F” General Commercial is currently earmarked as neighborhood commercial. The proposed zoning is **not consistent** with the Comprehensive Plan map or policies.

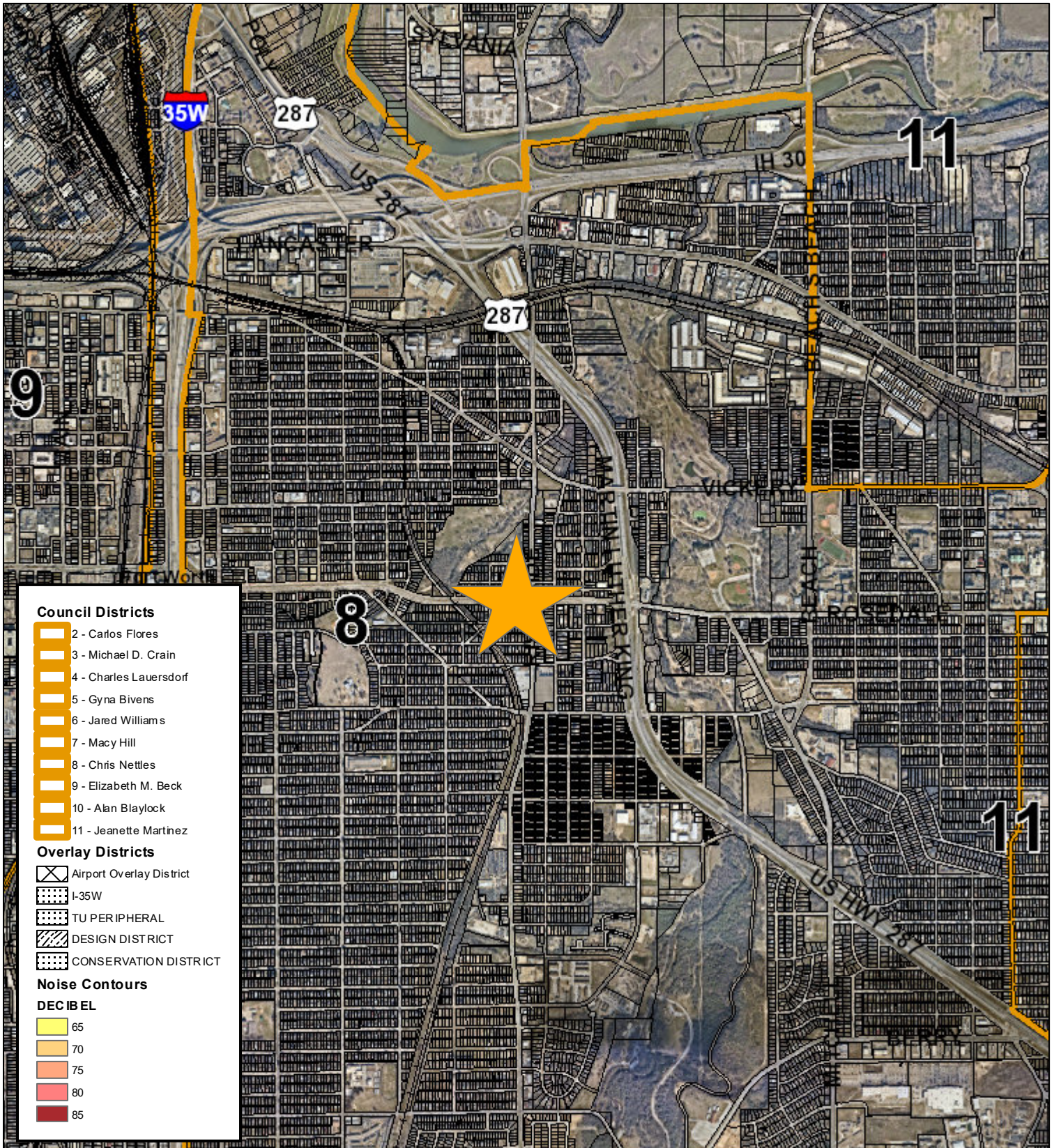


### Area Zoning Map

Applicant: Richard Gascas/Alicia Rangel Villalobos  
 Address: 1108 S. Riverside Drive  
 Zoning From: E  
 Zoning To: F  
 Acres: 0.21117687  
 Mapsco: Text  
 Sector/District: Southside  
 Commission Date: 11/13/2024  
 Contact: 817-392-7869



### Area Map



**Council Districts**

- 2 - Carlos Flores
- 3 - Michael D. Crain
- 4 - Charles Lauerdorf
- 5 - Gyna Bivens
- 6 - Jared Williams
- 7 - Macy Hill
- 8 - Chris Nettles
- 9 - Elizabeth M. Beck
- 10 - Alan Blaylock
- 11 - Jeanette Martinez

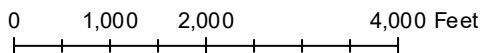
**Overlay Districts**

- Airport Overlay District
- I-35W
- TU PERIPHERAL
- DESIGN DISTRICT
- CONSERVATION DISTRICT

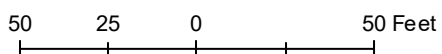
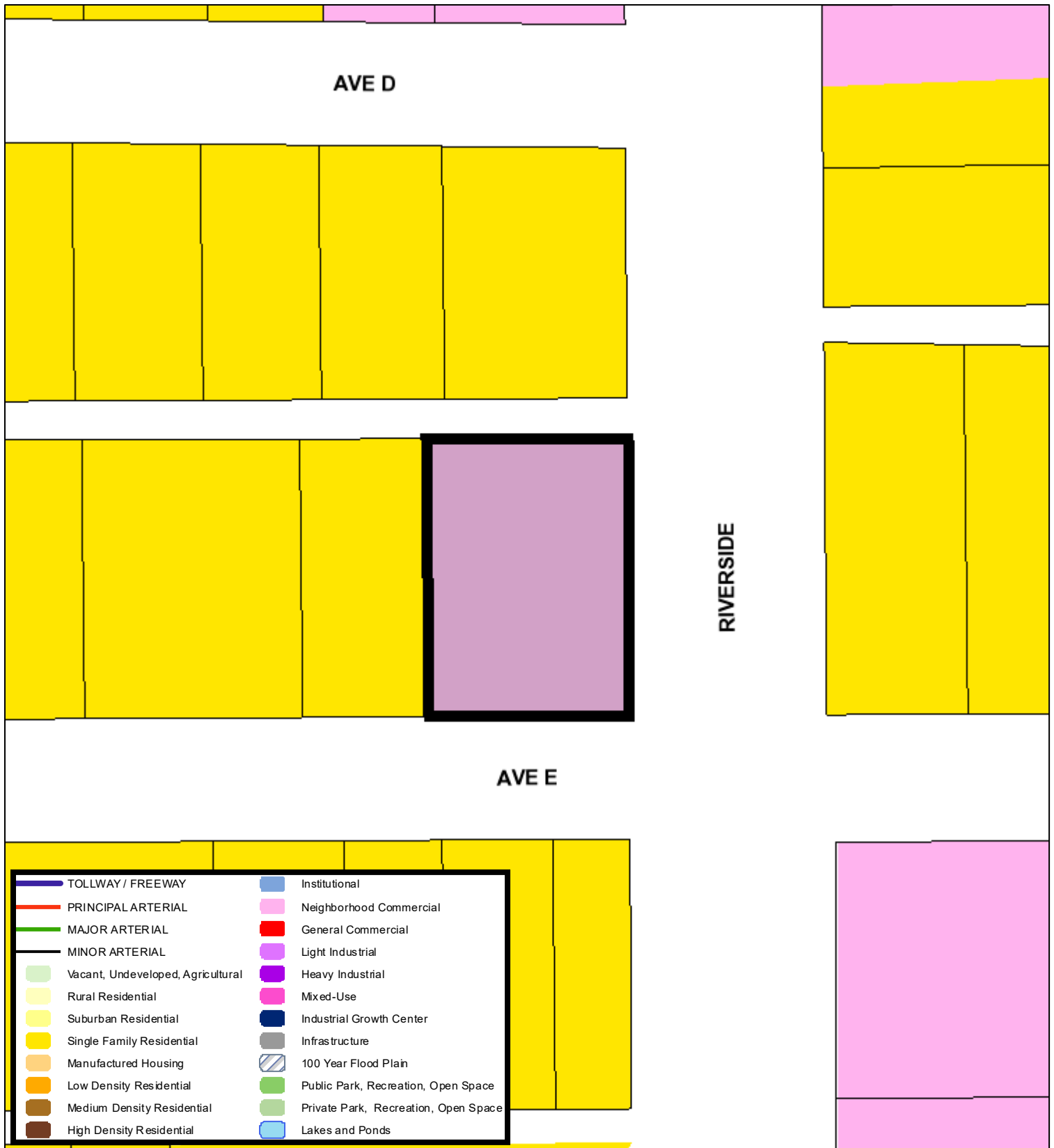
**Noise Contours**

**DECIBEL**

- 65
- 70
- 75
- 80
- 85



### Future Land Use



A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



**Aerial Photo Map**



0 30 60 120 Feet





# Zoning Staff Report

**Date:** November 13, 2024

**Case Number:** ZC-24-120

**Council District:** 6

## Zoning Map Amendment

**Case Manager:** Brett Mangum

**Owner / Applicant:** DFW Pinnacle Montessori LLC / Zion Capital LLC & Mary Nell Poole, Townsite

**Site Location:** 5801 W. Risinger Road

**Acres:** 5.594 acres

### Request

**Proposed Use:** Townhouses

**Request:** From: "G" Intensive Commercial

To: "R2" Townhouse/Cluster

### Recommendation

**Land Use Compatibility:** Requested change is **compatible**

**Comprehensive Plan Map Consistency:** Requested change is **not consistent**

**Comprehensive Plan Policy Consistency:** Requested change is **not consistent**

**Staff Recommendation:** **Denial**

### Table of Contents

- [1. Project Description and Background](#)
- [2. Surrounding Zoning and Land Uses](#)
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- [4. Public Notification](#)
- [5. Development Impact Analysis](#)
  - [a. Land Use Compatibility](#)
  - [b. Comprehensive Plan Consistency](#)
- [6. Zoning Map with 300 ft. Notification Area](#)
- [7. Area Map](#)
- [8. Future Land Use Map](#)
- [9. Aerial Photograph](#)

## Project Description and Background

The applicant is requesting a zoning change from "G" Intensive Commercial to "R2" Townhouse/Cluster. The property is located on the north side of West Risinger Road where it crosses under Chisholm Trail Parkway. There is no interchange or direct access at this interchange. Currently the only access is off of westbound Risinger Road, as there is no curb cut or turn lane allowing access from the eastbound direction. This rezoning request would downzone the property from a more intensive zoning category to a less intensive zoning category. The existing "G" zoning has been in place since at least 2004. The property is currently undeveloped. The following narrative was provided by the applicant as part of their submittal package:

The developer would like to rezone the area from G General Commercial to R2 Townhouse/Cluster. The property on the eastern border is adjacent to the Chisholm Trail frontage road, Risinger Road to the south, a Senior Living on the west and R1 residential to the north.

The plan is to construct 48, for sale, townhomes in a combination of 2 and 3 story buildings. Homes will have two or three bedrooms with square footage ranging from 1,750 to 2,200. Each home will have an attached 2-car garage. The townhomes are attached in variations of 3 and 4 units separated by open green spaces. Homes face a public street and garages are accessed by rear alley.

The developer is proposing a 10' front yard setback to create a unified residential look with sidewalks and street trees. Along with the green spaces dispersed throughout, there will be an HOA amenity area including a dog park.

## Surrounding Zoning and Land Uses

North "R1" Zero Lot Line/Cluster / single family residential  
East "C" Medium Density Multifamily / Chisholm Trail Parkway & undeveloped  
South "PD 1236" Planned Development / self storage/mini-warehouse  
West "G" Intensive Commercial / assisted living

## Recent Zoning History

- None

## Public Notification

300-foot Legal Notifications were mailed on November 1, 2024.  
The following organizations were emailed on November 1, 2024:

| Organizations Notified |                               |
|------------------------|-------------------------------|
| Llano Springs HOA*     | Chisholm Trail Ranch HOA      |
| Streams & Valleys Inc  | Trinity Habitat for Humanity  |
| Summer Creek South HOA | Villages of Sunset Pointe HOA |
| District 6 Alliance    | Crowley ISD                   |

\*Located within this registered Neighborhood Association

# Development Impact Analysis

## Land Use Compatibility

---

The applicant is proposing to rezone the site to “R2” Townhouse/Cluster. The surrounding land uses developed as a mix of uses, with a residential single family neighborhood directly abutting the site on the north, assisted living center directly adjacent to the site on the west, and self-storage across W. Risinger Road. The subject site borders the Chisholm Trail Parkway toll road to the east, but the property beyond the toll road is undeveloped at present (but zoned for multifamily).





With the subject site bordering a high volume roadway to the east, and an existing residential neighborhood to the north that lacks stub-out connections, the proposed rezoning to townhouse **is not compatible** with surrounding land uses. The limited access and circulation to this site are more conducive to non-residential applications.



# Comprehensive Plan Consistency – Far Southwest

The 2023 Comprehensive Plan currently designates the subject property as *future general commercial* on the Future Land Use Map. Ideal zoning types for areas designated as future general commercial include all commercial zones, “MU-1” and “MU-2” Mixed Use zones, and applicable form based codes. “R2” Townhouse/Cluster is not listed as a compatible zoning category and would not result in development of general commercial in this area.

## FUTURE LAND USE AND ZONING CLASSIFICATIONS

Zoning implements the Future Land Use Map, which guides the location of appropriate places to live, play, and conduct business. The future land use maps and policies are used by staff, appointed commissioners, and elected officials when making decisions regarding zoning, annexation, budgeting, and major public facilities expenditures.

APPENDIX C: FUTURE LAND USE BY SECTOR

| FUTURE LAND USE         | DESCRIPTION  | IMPLEMENTING ZONING                                     |
|-------------------------|--|---|
| <b>COMMERCIAL</b>       |  |   |
| Neighborhood Commercial | Retail, services, offices and mixed uses serving daily needs for a local market area       | ER, E, MU-1, Applicable Form-Based Codes                |
| General Commercial      | Retail, services, offices and mixed uses serving occasional needs for a larger market area | All Commercial, MU-1, MU-2, Applicable Form-Based Codes |

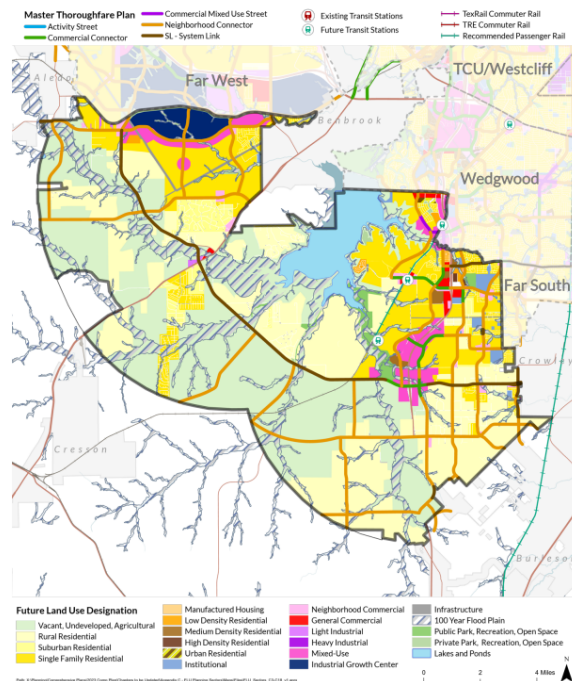
The proposed zoning is **not consistent** with the Comprehensive Plan Future Land Use Map designation. If the zoning change is approved as presented, staff recommends that the Future Land Use Plan designation be updated to reflect this change.

This rezoning proposal is not supported by any policies, including those specific to the Far Southwest planning sector. Keeping future growth in mind, the City should endeavor to preserve existing vacant commercial land for future growth. Based on these factors, the proposed zoning is **not consistent** with the Comprehensive Plan policies.

## FAR SOUTHWEST SECTOR FUTURE LAND USE

### Sector Land Use Policies

- Promote fiscally sustainable growth on the periphery of the city by encouraging development adjacent to existing adequate infrastructure and discouraging leapfrog development.
- Support the extension of rail transit to the Far Southwest sector.
- Promote transit-oriented development (TOD) around the planned Summer Creek TEX Rail station.
- Promote commercial, mixed-use, and urban residential development within the Summer Creek Future TOD and SH 121/FM 1187 Mixed-Use Growth Centers, including the new Tarleton State University campus area.
- Within the Lake Benbrook watershed, promote the clustering of new residential development to preserve as common open space or dedicated parkland the following types of land features: floodplains, riparian buffers, steep slopes, wooded areas, special habitat areas, and unique views.
- Promote only those uses near Lake Benbrook that will ensure protection of water quality, including protection of riparian buffers and use of Green Infrastructure techniques.
- Encourage the preservation and enhancement of the natural landscape by retaining trees, natural drainage ways, and unique vistas.
- Protect land needed for Green Infrastructure projects such as natural stormwater conveyance and detention, riparian buffer protection, and linear greenways with hike & bike trail alignments.
- Create a hike & bike trail network in growing areas by promoting a connected system of pathways within floodplains and other open space corridors.
- Promote the use of parallel local access lanes along major roadways to encourage development in which the front façade of homes can face the street without the need for multiple driveway curb-cuts on the major street, thereby preserving traffic flow and safety, increasing the pedestrian friendliness of the street, and eliminating the canyon effect of backyard fences lining the street.
- Encourage major employers, retail, and urban residential to locate at or near proposed transit stops and entryways to the Chisholm Trail Parkway toll road, and the Walsh Ranch and Veale Ranch Growth Centers.
- Encourage urban residential development in appropriate locations to create more walkable, pedestrian-oriented neighborhoods.
- Work with school districts to identify suitable sites for future school development that make efficient use of existing infrastructure.
- Promote healthy physical activity among children by designing enhanced walkability into neighborhoods surrounding new and proposed school sites.
- Encourage co-location of schools and public parks to promote shared use of facilities and to reduce maintenance costs.

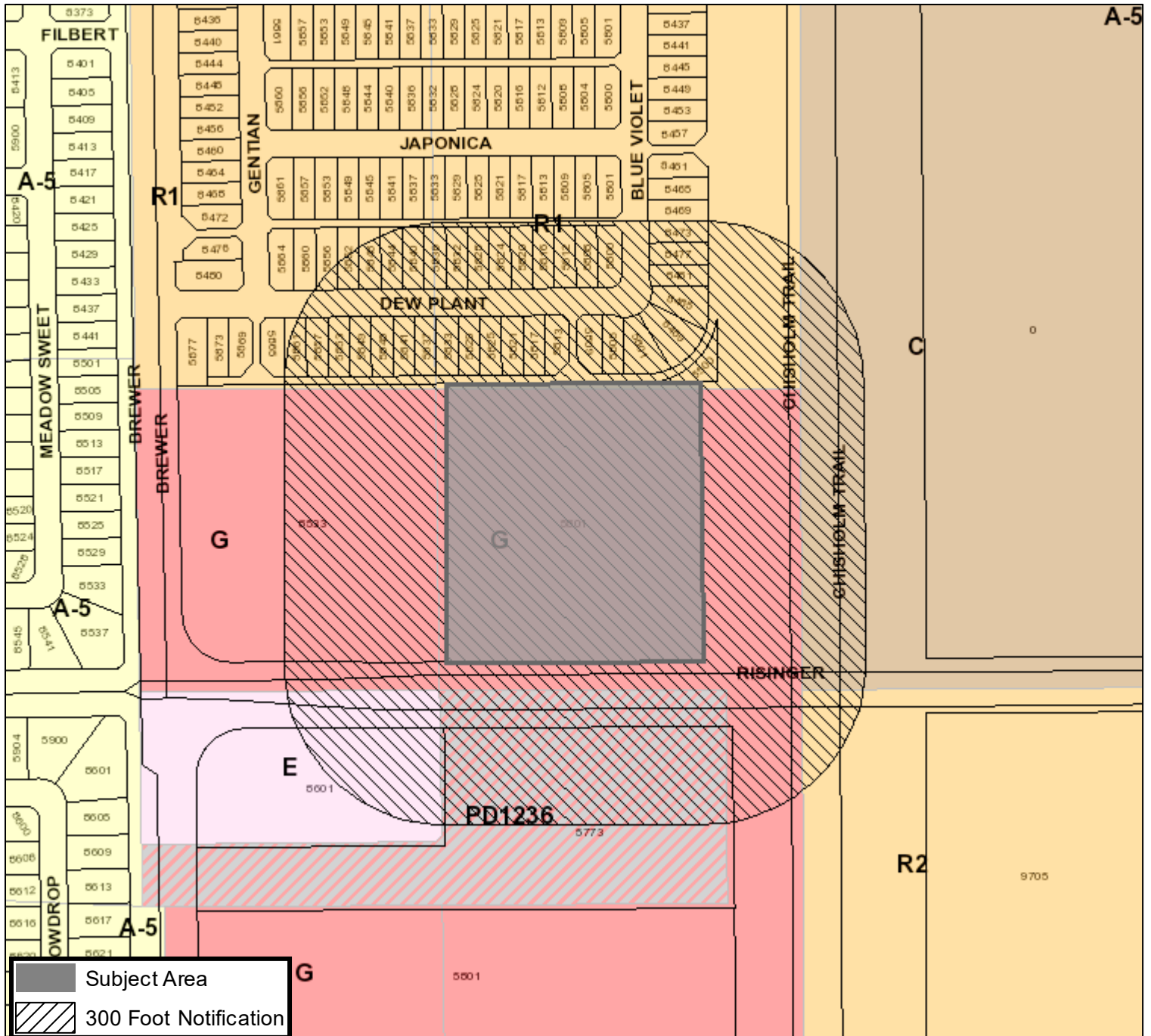




"A comprehensive plan shall not constitute zoning regulations or establish zoning district boundaries." Texas Local Government Code, Section 219.005.

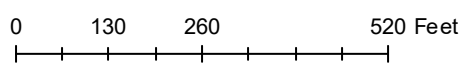


# Area Zoning Map

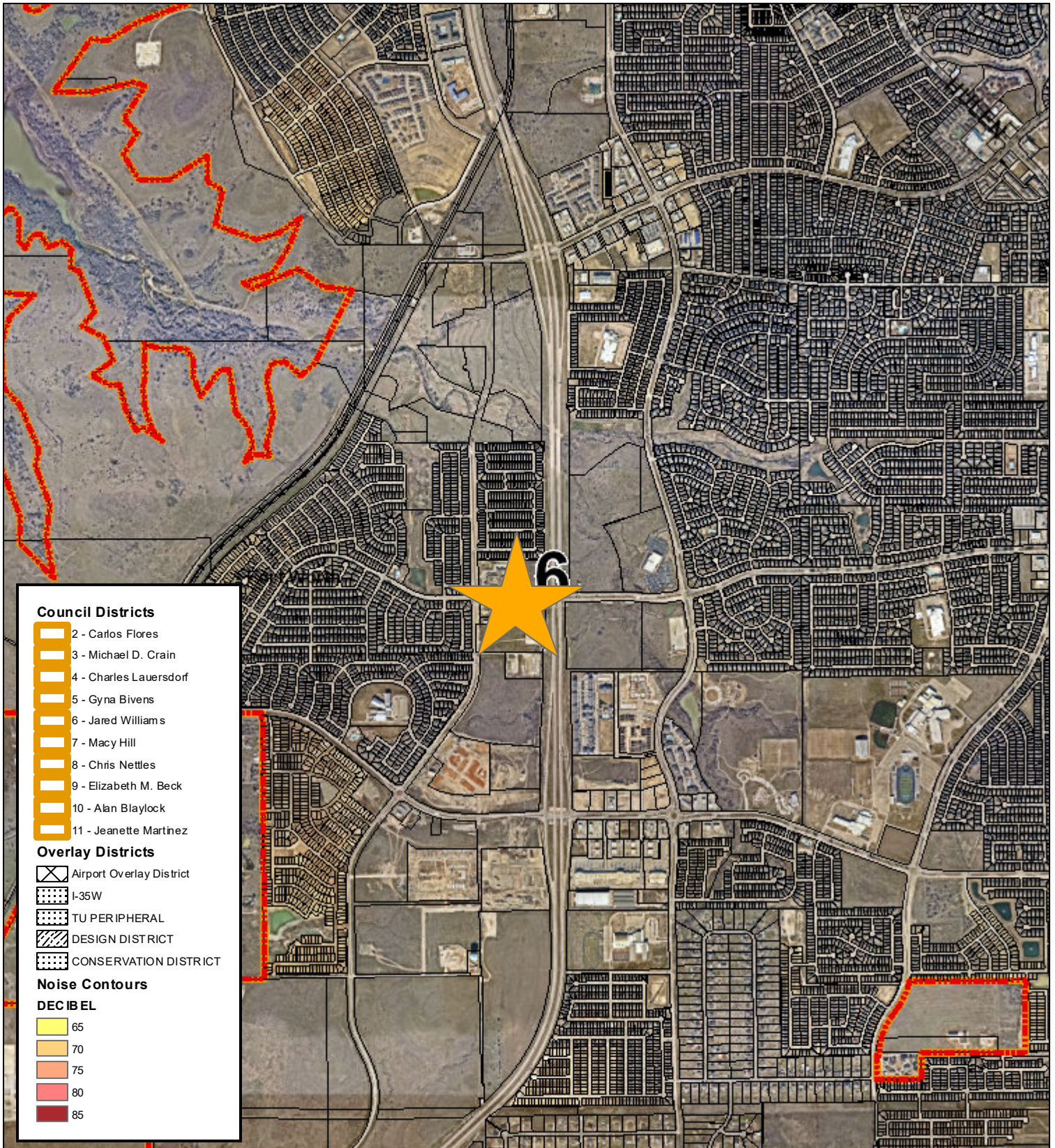
Applicant: DFW Pinnacle Montessori, LLC / Mary Nell Poole  
 Address: 5801 W Risinger Road  
 Zoning From: G  
 Zoning To: R2  
 Acres: 5.59347212  
 Mapsco: Text  
 Sector/District: Far\_Southwest  
 Commission Date: 11/13/2024  
 Contact: 817-392-8043



 Subject Area  
 300 Foot Notification



### Area Map



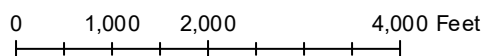
| Council Districts |                         |
|-------------------|-------------------------|
|                   | 2 - Carlos Flores       |
|                   | 3 - Michael D. Crain    |
|                   | 4 - Charles Langersdorf |
|                   | 5 - Gyna Bivens         |
|                   | 6 - Jared Williams      |
|                   | 7 - Macy Hill           |
|                   | 8 - Chris Nettles       |
|                   | 9 - Elizabeth M. Beck   |
|                   | 10 - Alan Blaylock      |
|                   | 11 - Jeanette Martinez  |

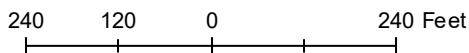
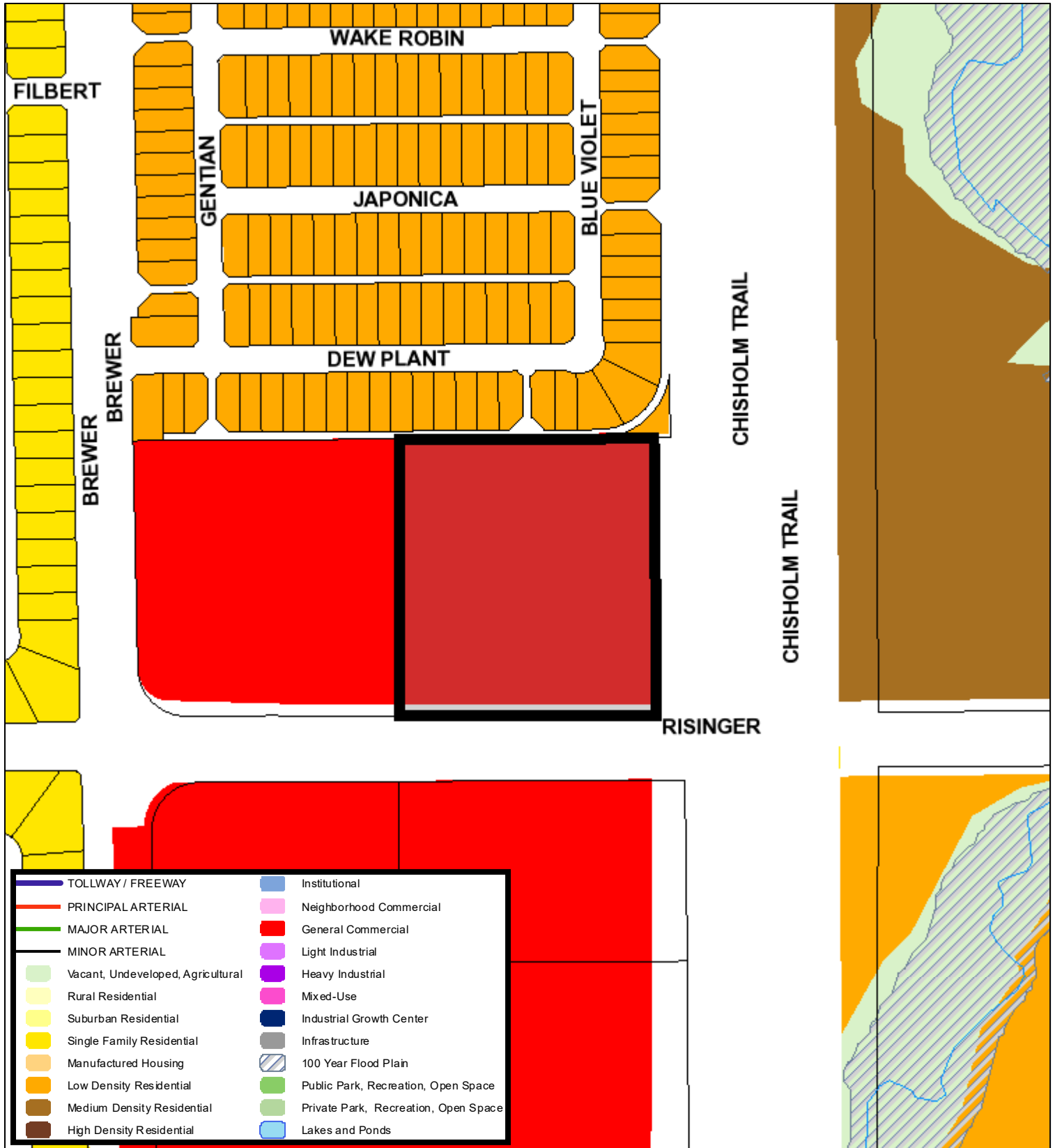
| Overlay Districts |                          |
|-------------------|--------------------------|
|                   | Airport Overlay District |
|                   | I-35W                    |
|                   | TU PERIPHERAL            |
|                   | DESIGN DISTRICT          |
|                   | CONSERVATION DISTRICT    |

| Noise Contours |    |
|----------------|----|
| DECIBEL        |    |
|                | 65 |
|                | 70 |
|                | 75 |
|                | 80 |
|                | 85 |



### Future Land Use



A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



**Aerial Photo Map**



0 155 310 620 Feet





# Zoning Staff Report

**Date:** November 13, 2024

**Case Number:** ZC-24-125

**Council District:** 2

## Zoning Map Amendment

**Case Manager:** Lynn Jordan

**Owner / Applicant:** Josue Cardenas / Mark Salgado

**Site Location:** 3058 Hardy Street

**Acreeage:** 0.14 acres

### Request

**Proposed Use:** Single-Family Residential

**Request:** From: "I" Light Industrial  
To: "A-5" One-Family

### Recommendation

**Land Use Compatibility:** Requested change **is compatible**

**Comprehensive Plan Map Consistency:** Requested change **is consistent**

**Comprehensive Plan Policy Consistency:** Requested change **is consistent**

**Staff Recommendation:** **Approval**

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1. [Project Description and Background](#)
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4. [Public Notification](#)
5. [Development Impact Analysis](#)
  - a. [Land Use Compatibility](#)
  - b. [Comprehensive Plan Consistency](#)
6. Zoning Map with 300 ft. Notification Area
7. Area Map
8. Future Land Use Map
9. Aerial Photograph

## Project Description and Background

The subject property, encompassing 0.14 acres, is currently a vacant lot situated within an “I” Light Industrial zoning district, which also includes other vacant lots facing the same block (**Figure 1**). To the west of the property are parcels zoned as “I” Light Industrial Districts, primarily vacant lots just east of Old Decatur Road. The vicinity to the north feature’s “I” Light Industrial zoning with existing single-family structures. There are a few “A-5” One-Family zoning districts within the block face.

The applicant proposes to construct a single-family house on this lot, as stated in the zoning application. This development aims to introduce residential use into an area of industrial zoning. The proposed construction of a single-family home will bridge the residential zones to the east and the commercial zones to the west, fostering a more integrated and diverse community fabric.

Moreover, this development could serve as a catalyst for further residential projects in the area, potentially transforming the currently underutilized industrial lots into a vibrant mixed-use neighborhood.

## Surrounding Zoning and Land Uses

|       |                                    |
|-------|------------------------------------|
| North | “I” Light Industrial / Vacant      |
| East  | “I” Light Industrial / Residential |
| South | “I” Light Industrial / Residential |
| West  | “I” Light Industrial / Vacant      |

## Recent Zoning History

- ZC-13-046- From “I” Light Industrial to “A-5” One-Family Residential, north of subject area
- ZC-06-274 Council-initiated From various zoning districts to A-5 subject area to the east

## Public Notification

300-foot Legal Notifications were mailed on October 31, 2024.

The following organizations were notified: (emailed October 31, 2024)

| Organizations Notified              |                              |
|-------------------------------------|------------------------------|
| Inter-District 2 Alliance           | Streams and Valleys Inc      |
| Diamond Hill Jarvis NAC*            | Trinity Habitat for Humanity |
| North Fort Worth Historical Society | Fort Worth ISD               |

\* Located within a registered Neighborhood Organization

# Development Impact Analysis

## Land Use Compatibility

The surrounding area is predominantly vacant to the west, with the exception of single-family homes to the north, south and east. The applicant seeks to rezone the property to build a single-family house. This rezoning would align with the existing single-family homes in the area.

The presence of an established neighborhood and the lack of industrial uses in the immediate vicinity make the proposed single-family house compatible with the surrounding area. Additionally, introducing a single-family home could serve as a catalyst for further residential development on this block face, potentially revitalizing the currently vacant lots and encouraging more cohesive neighborhood growth.

The proposed zoning is **compatible** with surrounding land uses.

## Comprehensive Plan Consistency- FLU Map and Policies

The adopted Comprehensive Plan currently designates the subject property as Single-Family Residential on the Future Land Use Map.

| RESIDENTIAL                |   |                                  |
|----------------------------|---|----------------------------------|
| Rural Residential          | 1+ acre single-family   | A-2.5, A-43                      |
| Suburban Residential       | 1/2+ acre single-family   | A-21                             |
| Single-Family Residential  | 3,500+ sq. ft. lot single-family  | A-10, A-7.5, A-5, AR             |
| Manufactured Housing       | Manufactured home parks and subdivisions  | MH                               |
| Low Density Residential    | 2,500+ sq. ft. lot single-family, two-family, patio homes, townhouses, cluster housing                                    | B, R1, R2                        |
| Medium Density Residential | Up to 36 units/acre multifamily   | CR, C, D                         |
| Urban Residential          | Medium to high density, residential only, pedestrian-oriented development for use between higher and lower intensity uses | UR                               |
| High Density Residential   | >36 units/acre multifamily, mixed-use multifamily and pedestrian-oriented development in growth centers                   | UR, MU-1, MU-2, Form-Based Codes |

The proposed property's designation aligns with the Single-Family Future Land Use (FLU) category. Therefore, pursuing single-family zoning for this area is entirely consistent with the FLU Map and the City's development policies.

This alignment ensures that the proposed use of the property for single-family housing adheres to the City's long-term planning and land use objectives. By designating this area for single-family development, the FLU Map indicates a clear vision for a cohesive residential community. Rezoning the property to accommodate single-family housing will not only conform to these guidelines but also contribute to the orderly and planned growth of the area.

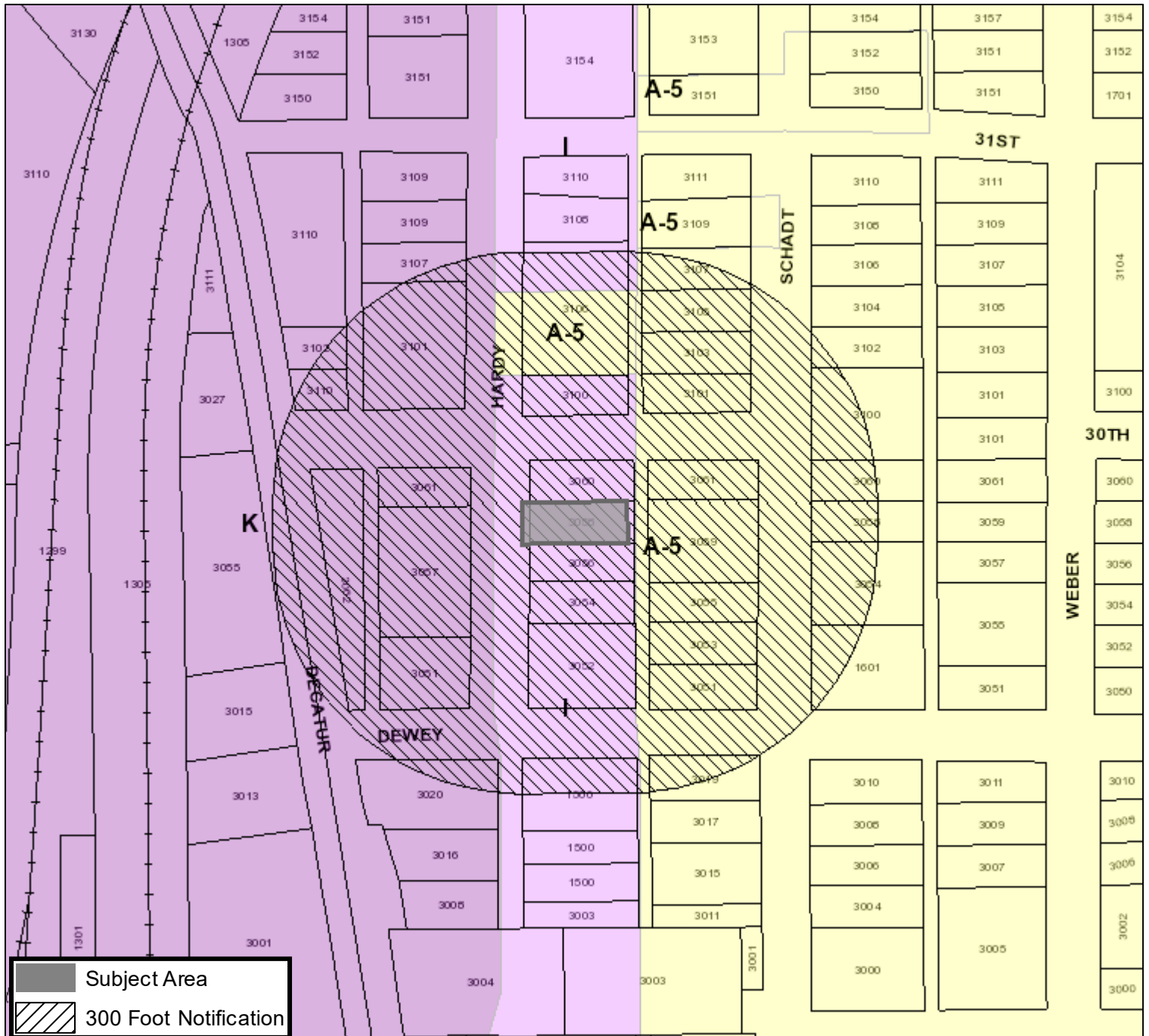
Furthermore, such a rezoning effort underscores the City's commitment to promoting stable, family-oriented neighborhoods, which can attract residents seeking a suburban lifestyle within the urban framework. This approach supports sustainable development by ensuring that land use decisions are made in harmony with the overarching planning strategy, ultimately enhancing the quality of life for residents and fostering a sense of community.



Based on conformance with the policies stated above, the proposed zoning is **consistent** with the Comprehensive Plan Map and Policies.

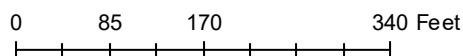


### Area Zoning Map

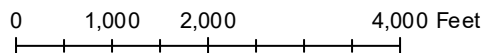
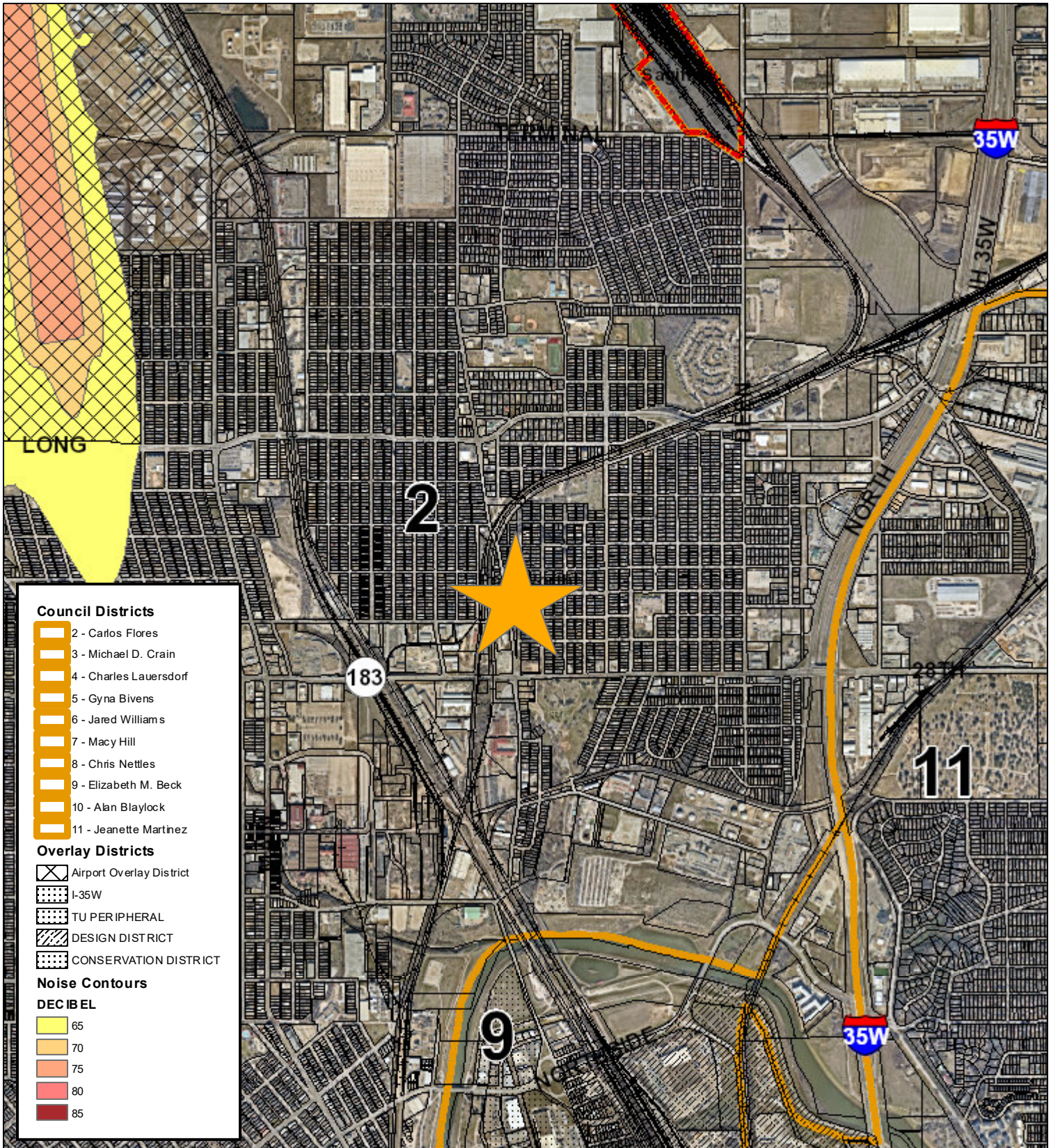
Applicant: Josue Cardenas/Mark Salgado  
 Address: 3058 HARDY ST  
 Zoning From: A-5  
 Zoning To: I  
 Acres: 0.14471956  
 Mapsco: Text  
 Sector/District: Northeast  
 Commission Date: 11/13/2024  
 Contact: 817-392-7869



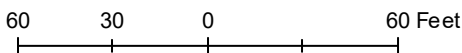
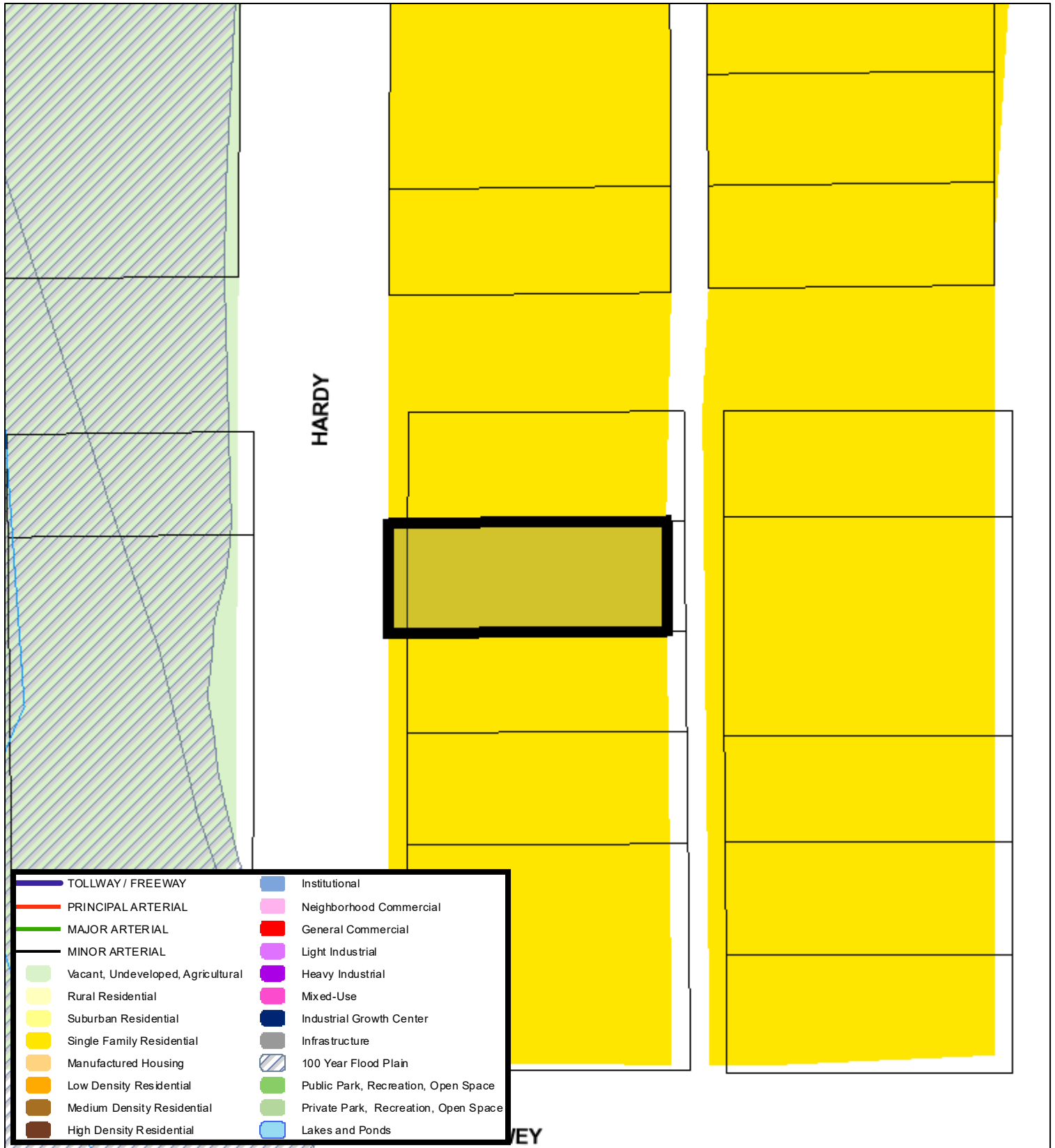
|  |                       |
|--|-----------------------|
|  | Subject Area          |
|  | 300 Foot Notification |



### Area Map



### Future Land Use



A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



## Aerial Photo Map



0 37.5 75 150 Feet





# Zoning Staff Report

**Date:** November 13, 2024

**Case Number:** ZC-24-127

**Council District:** 6

## Zoning Map Amendment

**Case Manager:** Lynn Jordan

**Owner / Applicant:** West Vickery Church of Christ / Teddy Brigham

**Site Location:** 4901 Bourine Street; 5436 & 5432 Vickery Blvd.; 5401 & 5428 Chariot Drive **Acreage:** 0.79 acres

### Request

**Proposed Use:** Church

**Request:** From: “A-5” One-Family

To: “CF” Community Facilities

### Recommendation

**Land Use Compatibility:** Requested change **is compatible**

**Comprehensive Plan Map Consistency:** Requested change **is consistent**

**Comprehensive Plan Policy Consistency:** Requested change **is consistent**

**Staff Recommendation:** **Approval**

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  - b. [Comprehensive Plan Consistency](#)
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7. Area Map
8. Future Land Use Map
9. Aerial Photograph

## Project Description and Background

The property is located east of Bourine Street, south of Chariot Drive and north of Vickery Boulevard. The applicant is seeking to rezone from “A-5” One-Family to “CF” Community Facilities. The applicant intends on bringing down the existing pole sign and installing a new monument sign with LED display which is not permitted in residential districts.



## Surrounding Zoning and Land Uses

North "A-5" One-Family / single-family  
East "I" Light Industrial / Union Pacific railroad  
South "I" Light Industrial / Union Pacific railroad  
West "A-5" One-Family / single-family

## Recent Zoning History

- ZC-16-108, From A-5 One-Family To CF Community Facilities, approved by Council 8/15/2016 to the west of subject property

## Public Notification

300-foot Legal Notifications were mailed on October 31, 2024.  
The following organizations were emailed on October 31, 2024:

| Organizations Notified             |                                 |
|------------------------------------|---------------------------------|
| Como NA*                           | Riverhills HOA                  |
| Ridglea Area Neighborhood Alliance | Streams and Valleys Inc.        |
| Trinity Habitat for Humanity       | Tarrant Regional Water District |
|                                    | FWISD                           |

\*Located in this registered Neighborhood Association

## Development Impact Analysis

### Land Use Compatibility

Surrounding uses are primarily single-family to the north and south with the Union Pacific railroad to the east and south. The proposed “CF” zoning would allow for the church to have a monument sign. Churches are allowed within any district; however, CF makes sense for the proposed use. The applicant intends to initially construct a monument sign for better communication with their members and the public. The proposed zoning **is compatible** with surrounding land uses.

### Comprehensive Plan Consistency – Southeast

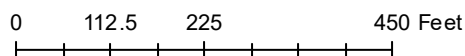
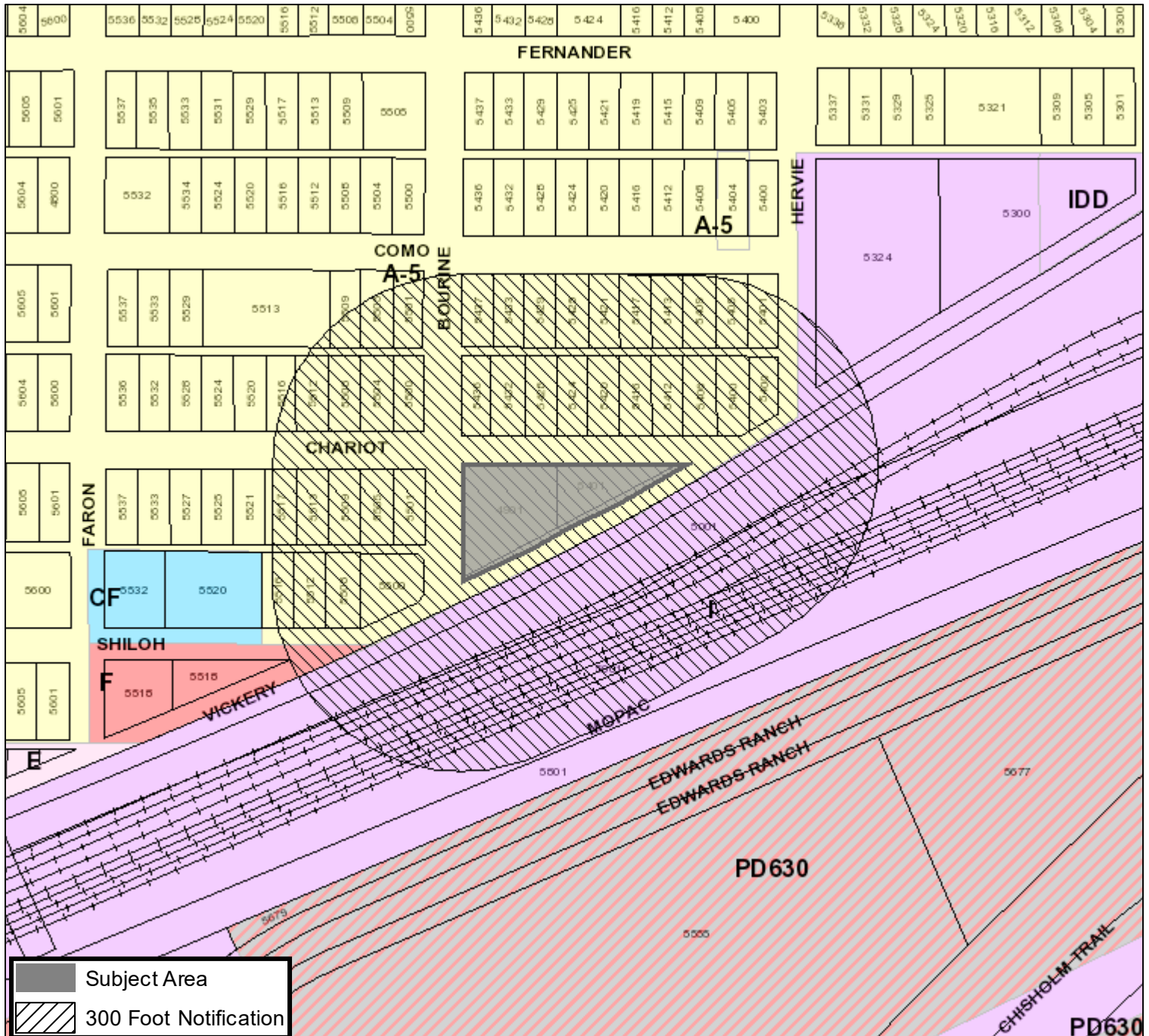
The adopted Comprehensive Plan designates the property as *institutional*. While the proposed zoning **is consistent** with the Comprehensive Plan in the strictest terms, “CF” zoning would be appropriate and consistent.

Policy wise this change **is consistent** with the following Comprehensive Plan policies:

- Promote appropriate infill development of vacant lots within developed areas, which will efficiently utilize existing infrastructure.
- Separate incompatible land uses with buffers or transitional uses. Some land uses have attributes such as height, proportion, scale, operational characteristics, traffic generated, or appearance that may not be compatible with the attributes of other uses.

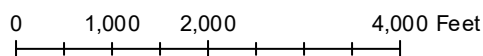
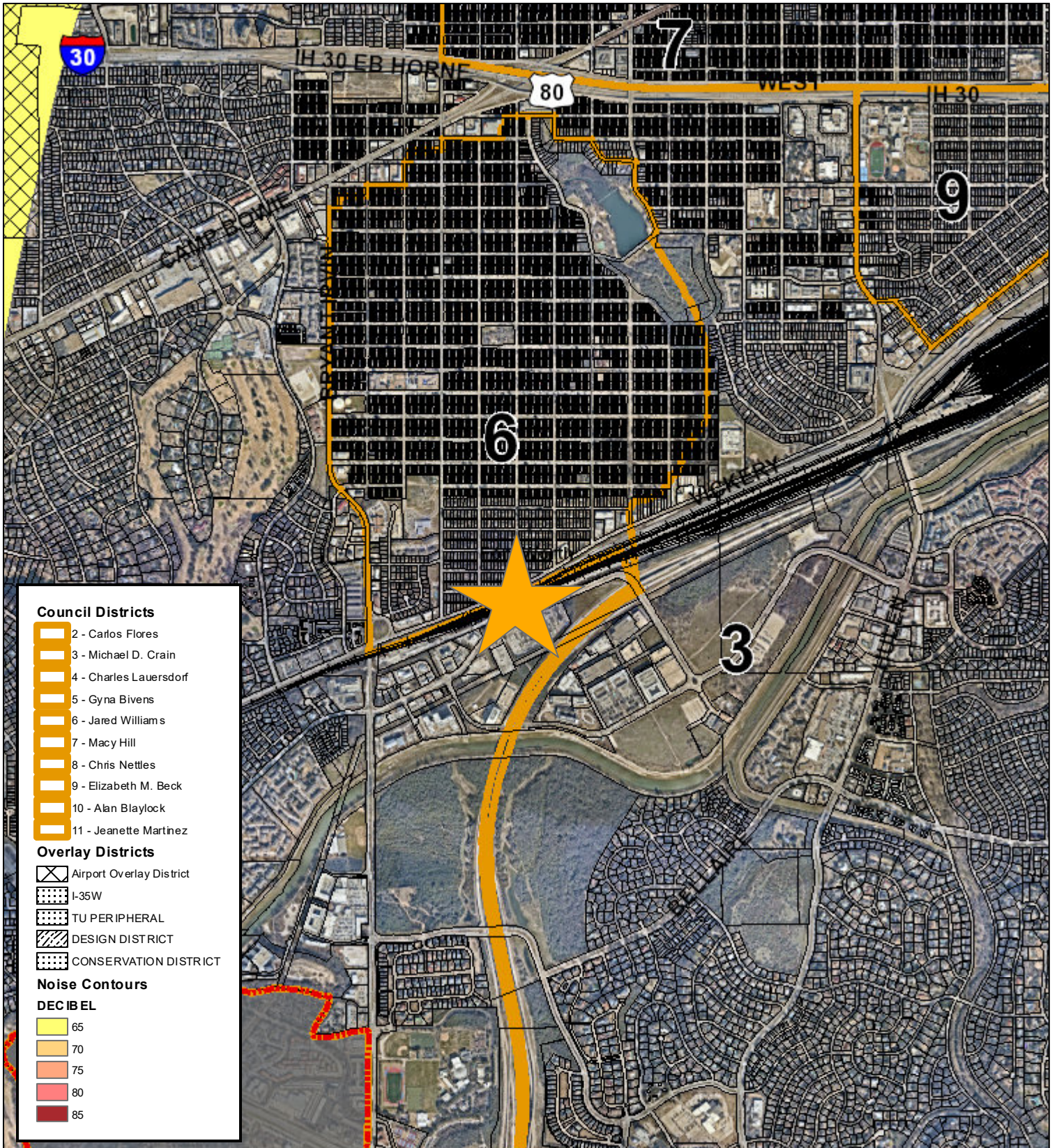
## Area Zoning Map

Applicant: West Vickery Church of Christ/ Teddy Brigham  
 Address: 4901 Bourine St, 5436 & 5432 Vickery Blvd, and 5401 & 5428 Chariot Dr  
 Zoning From: A-5  
 Zoning To: CF  
 Acres: 0.78034114  
 Mapsco: Text  
 Sector/District: Arlington\_Heights  
 Commission Date: 11/13/2024  
 Contact: 817-392-7869

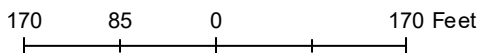
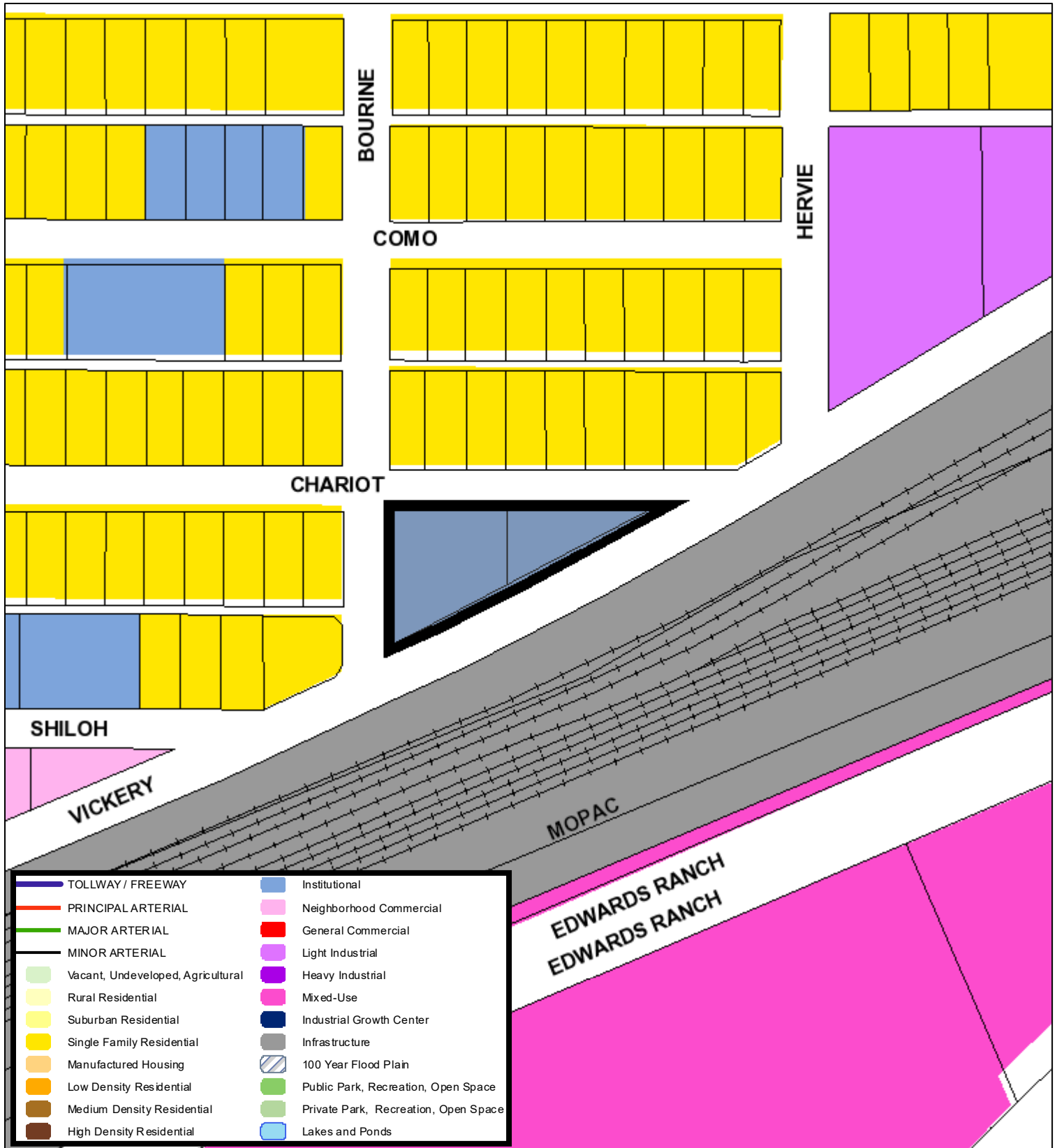




### Area Map



### Future Land Use



A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



## Aerial Photo Map



0 105 210 420 Feet





# Zoning Staff Report

Date: November 13, 2024

Case Number: ZC-24-129

Council District: 2

## Zoning Map Amendment & Site Plan

Case Manager: [Sandy Michel](#)

Owner / Applicant: Robert Petrie

Site Location: 3900 Ohio Garden Road

Acres: 0.35 acre

### Request

Proposed Use: Commercial

Request: From: "B" Two Family  
To: "ER" Neighborhood Commercial Restricted

### Recommendation

Land Use Compatibility: Requested change **is not compatible**

Comprehensive Plan Map Consistency: Requested change **is consistent**

Comprehensive Plan Policy Consistency: Requested change **is consistent**

Staff Recommendation: **Denial**

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- [3. Recent Zoning History](#)
- [4. Public Notification](#)
- [5. Development Impact Analysis](#)
  - [a. Land Use Compatibility](#)
  - [b. Comprehensive Plan Consistency](#)
6. Zoning Map with 300 ft. Notification Area
7. Area Map
8. Future Land Use Map
9. Aerial Photograph

## Project Description and Background

The subject property, covering approximately 0.35 acres, is located off the Jacksboro Highway. Currently, the property features a single-family residence, but the surrounding area includes a diverse mix of zoning districts, ranging from residential to industrial uses. Nearby parcels are zoned as follows: “B” Two-Family Residential, “MH” Manufactured Housing, "E" Neighborhood Commercial, and “I” Light Industrial.

The applicant intends to develop a parking lot on the property to serve as additional support for an auto shop planned on parcels immediately to the north, as specified in the zoning application and the zoning exhibit site plan (Figure 1). A preliminary site plan has been submitted, detailing the proposed re-platting and layout of the parking facility (Figure 2). Although this preliminary site plan provides an overview of the proposed development, it should be noted that a site plan submission is not required for the rezoning application in this case.

The applicant has provided a detailed project description to understand the reason for the request. The applicant has written, “Proposed zoning change from existing B Zoning to E-R (Neighborhood Commercial Restrict). We are requesting a re-zoning so that the property can accommodate an auto shop per the owners request. Property Adjacent to the North is zoned I (Light Industrial).”

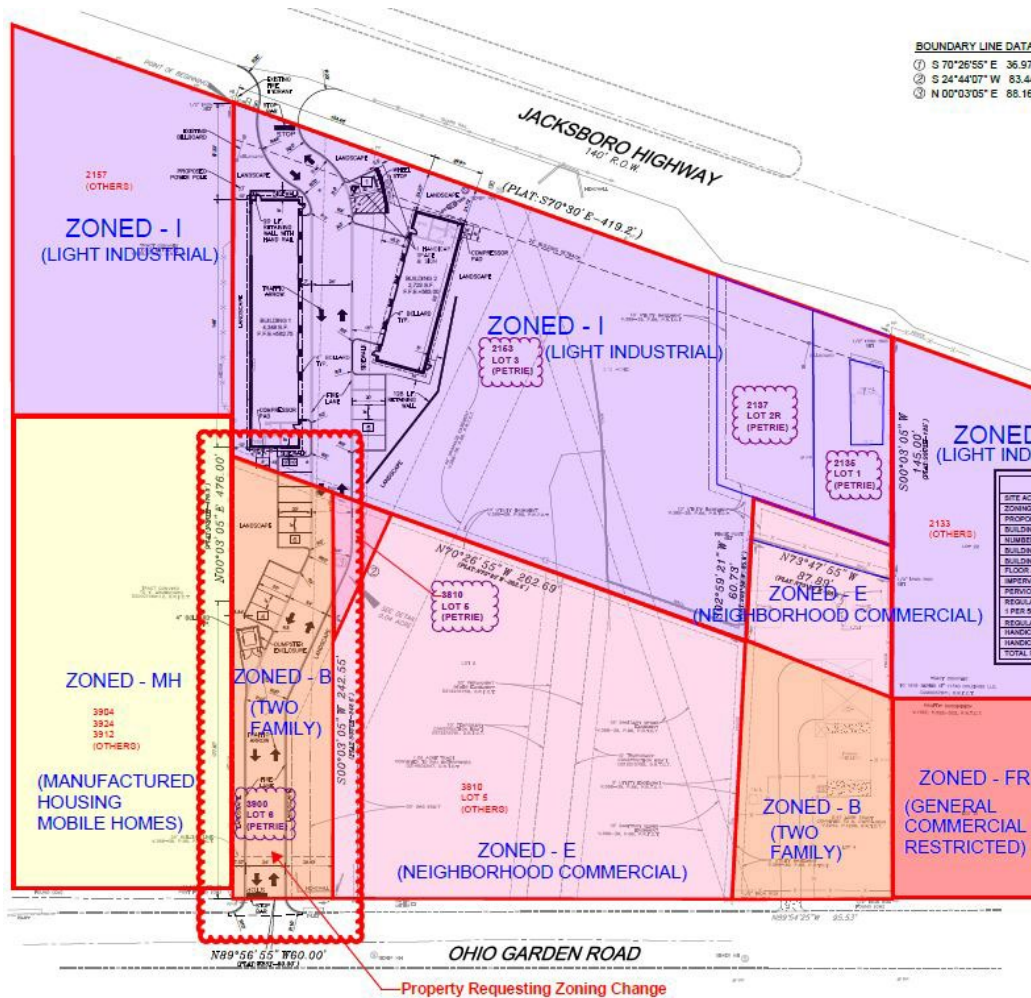


Figure 1: Zoning Exhibit Site Plan Exhibit A

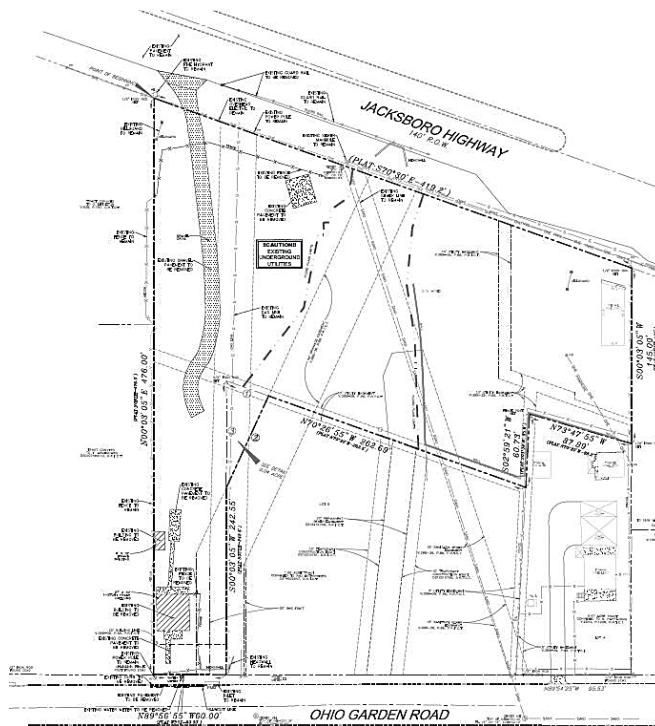


Figure 2: Proposed Platting Exhibit B



Figure 2: Site Photos

## Surrounding Zoning and Land Uses

|       |   |
|-------|---|
| North | “I” Light Industrial / Commercial       |
| East  | “E” Neighborhood Commercial/ Commercial |
| South | “B” Two- Family / Residential           |
| West  | “MH” Manufactured Housing/ Residential  |

## Recent Zoning History

- N/A

## Public Notification

300-foot Legal Notifications were mailed on November 1, 2024.  
The following organizations were notified: (emailed November 1, 2024)

### Organizations Notified

Trinity Habitat for Humanity

Streams and Valleys Inc

\* *Located within a registered Neighborhood Organization*

## Development Impact Analysis

### Land Use Compatibility

The surrounding area consists of a varied mix of land uses, including commercial establishments, auto-related businesses, and residential properties. The applicant seeks to rezone the subject parcel to support the development of an auto shop on the adjacent northern parcel. Specifically, the applicant proposes using the subject property as a parking lot, which aligns with the permitted uses under the “ER” (Neighborhood Commercial Restricted) zoning designation, allowing for ‘Parking area or garage, storage commercial or auxiliary’ facilities.

While the proposed use as a parking lot is technically permitted within the “ER” zoning district, there are concerns regarding its impact on neighboring residential properties. Although the auto shop itself will not be situated on the subject parcel, staff is concerned that the proposed use may not adhere to certain protective standards typically applied to automotive repair facilities near residential, as outlined in Section 5.104, Automotive Repair; Paint and Body Shop. These standards are specifically designed to safeguard the character and quality of adjacent residential properties by mitigating potential negative impacts, such as noise, traffic, and visual intrusions.

However, by using the subject parcel solely as a parking lot, some of these protective measures may not be fully enforced, potentially exposing nearby residential areas to effects that these standards aim to minimize. Notable protective standards meant to shield residential properties from the impacts of nearby commercial and automotive uses include:

- ***All repairs must be conducted within an enclosed building.***
- ***Vehicle storage requirements for automotive repair; paint and body shops near one or two-family residential use.***
  - (1) ***Screening.***
    - a. ***Automotive repair; paint and body shops located on property adjacent to a one- or two-family residential use must screen all vehicles that have been accepted for repairs from view from such residential use by parking/storing the vehicles within a building or by providing a six-foot solid screening fence or six-foot solid screen evergreen hedge along the property line adjacent to, or across an alley from, the one or two-family residential use. The solid screen evergreen hedge shall planted be in accordance with the zoning ordinance landscaping and buffer requirements.***
    - b. ***All other automotive repair; paint and body shops within 200 feet from any one or two-family residential use must screen all vehicles that have been accepted for repairs from view from such residential use by parking/storing the vehicles within a building or by providing a six-foot solid screening fence or six-foot solid screen evergreen hedge on all property lines facing the residential use. The measurement of the distance between the automotive repair or paint and body shop and the one or two-family residential use shall be along the nearest property line of the one- or two-family residential use to the nearest property line of the***

automotive repair or paint and body shop, along street lines and in a direct line across intersections. The solid screen evergreen hedge shall be planted in accordance with the zoning ordinance landscaping and buffer requirements.

(2) *Overnight vehicle storage requirements.*

a. *No more than two vehicles per bay or repair/inspection station that have been accepted for repairs by the repair, paint or body shop may be stored/parked outside after regular business hours unless the vehicles in excess of two per bay or repair/inspection station are completely enclosed:*

1. *Behind a minimum six-foot solid screening fence in accordance with this section;*
2. *Behind a minimum six-foot solid screen evergreen hedge; or*
3. *Within a building.*

Using the subject parcel exclusively as a parking lot may limit the enforcement of certain protective standards, potentially leaving nearby residential areas exposed to impacts—such as noise, increased traffic, and visual disturbances—that these measures are intended to mitigate. While the rezoning request aligns with the general land use patterns of the surrounding area, the suitability of the proposed use for this location remains uncertain. There are lingering concerns regarding the appropriateness of the parking lot’s potential effects on adjacent residential properties, which may not fully benefit from the protections that typically apply to more intensive automotive uses.

The proposed zoning is **not compatible** with surrounding land uses.

## Comprehensive Plan Consistency- FLU Map and Policies

---

The adopted Comprehensive Plan currently designates the subject property as a Neighborhood Commercial on the Future Land Use Map.

| COMMERCIAL              |  |   |
|-------------------------|--|---|
| Neighborhood Commercial | Retail, services, offices and mixed uses serving daily needs for a local market area       | ER, E, MU-1, Applicable Form-Based Codes                |
| General Commercial      | Retail, services, offices and mixed uses serving occasional needs for a larger market area | All Commercial, MU-1, MU-2, Applicable Form-Based Codes |

The proposed property’s designation is consistent with the Neighborhood Commercial category as outlined in the Future Land Use (FLU) Map. While the rezoning request to “ER” (Neighborhood Commercial Restricted) aligns with the FLU designation, the specific use proposed—a parking lot supporting a neighboring auto shop—may or may not fully align with the broader goals of the FLU.

The Comprehensive Plan promotes the development of vibrant, mixed-use communities that effectively integrate residential and commercial activities. Preserving the Neighborhood Commercial zoning is essential to maintaining this vision and supporting the area’s character and quality of life. Key policies guiding this vision include:

- *Encourage infill development of compatible, single-family homes in existing neighborhoods to preserve and protect residential neighborhoods.*
- *Separate incompatible land uses with buffers or transitional uses. Some land uses have attributes such as height, proportion, scale, operational characteristics, traffic generated, or appearance that may not be compatible with the attributes of other uses.*

The surrounding area exhibits a blend of zoning types, with manufactured homes to the south and commercial properties in adjacent parcels. Although the Neighborhood Commercial designation can accommodate a variety



of uses, the proposed parking lot, intended to serve the auto shop on the northern parcel, may not fully reflect the mixed-use, community-focused intent outlined in the Comprehensive Plan. The proposal warrants careful consideration to ensure alignment with the area's long-term vision and community character.

Based on conformance with the policies stated above, the proposed zoning is technically **consistent** with the Comprehensive Plan FLU Map and Policies.

## Site Plan Comments

---

### **Zoning and Land Use**

Since this rezoning application does not necessitate a site plan at this stage, the site plan approval will occur during the permitting process. Upon submission for permits, a plans examiner will conduct a thorough review of your site plan.

Given that there are existing structures on the property, it is essential to clearly identify and label all existing and proposed features on the site plan. This includes marking any structures, landscaping, or infrastructure that will remain as well as any new additions or modifications. Providing this detailed information upfront will facilitate a smoother review process and help the permitting team efficiently assess compliance with zoning and building requirements.

*(Comments made by Platting (Subdivision Ordinance), Transportation/Public Works, Fire, Park & Recreation, and Water Department staff cannot be waived through the Zoning Commission and City Council. Approval of the zoning site plan does not constitute the acceptance of conditions.)*

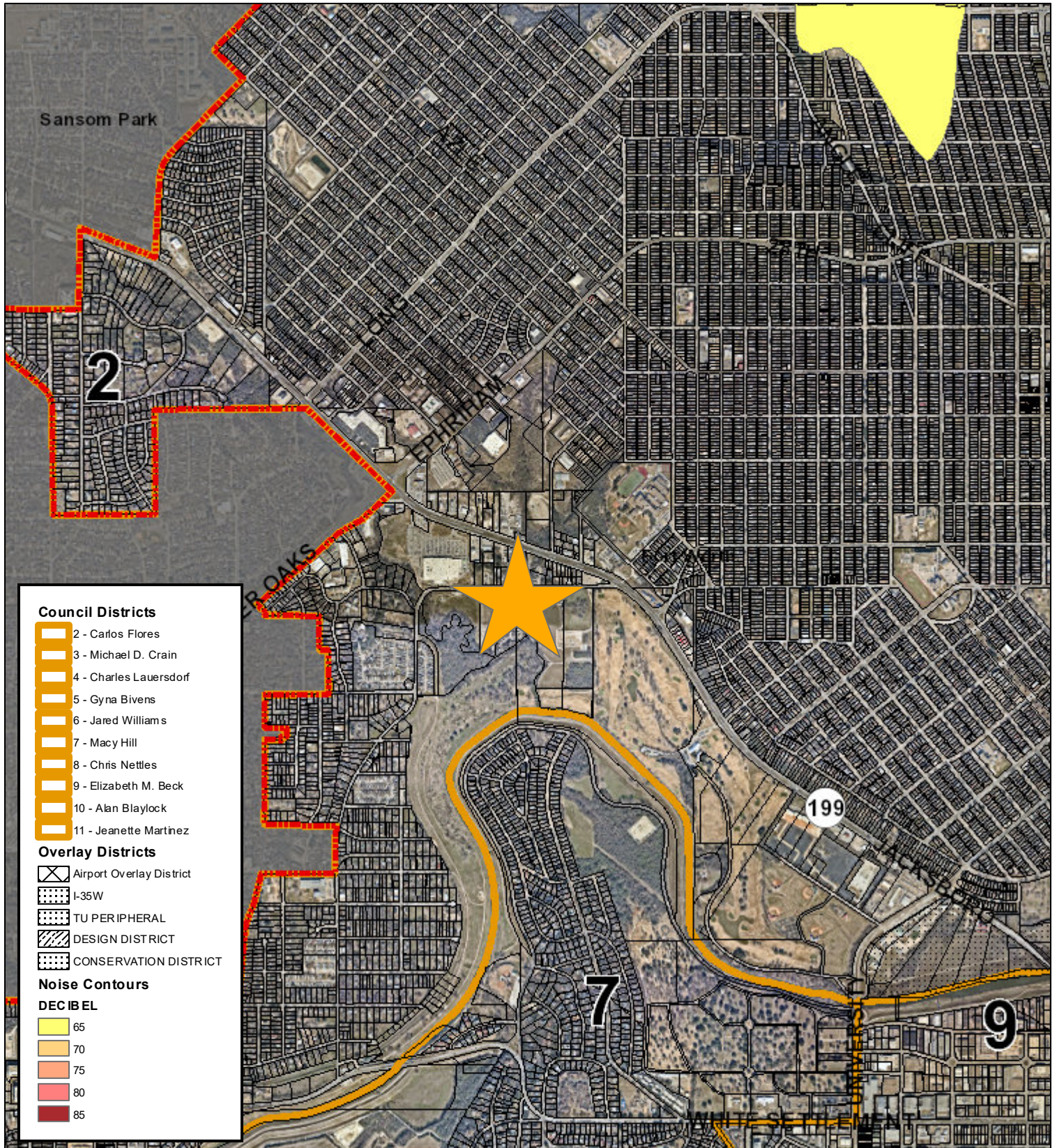
**Supplemental Information**

Site Photos





### Area Map



**Council Districts**

- 2 - Carlos Flores
- 3 - Michael D. Crain
- 4 - Charles Lauersdorf
- 5 - Gyna Bivens
- 6 - Jared Williams
- 7 - Macy Hill
- 8 - Chris Nettles
- 9 - Elizabeth M. Beck
- 10 - Alan Blaylock
- 11 - Jeanette Martinez

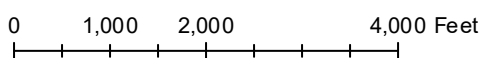
**Overlay Districts**

- Airport Overlay District
- I-35W
- TU PERIPHERAL
- DESIGN DISTRICT
- CONSERVATION DISTRICT

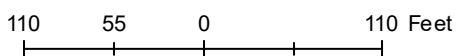
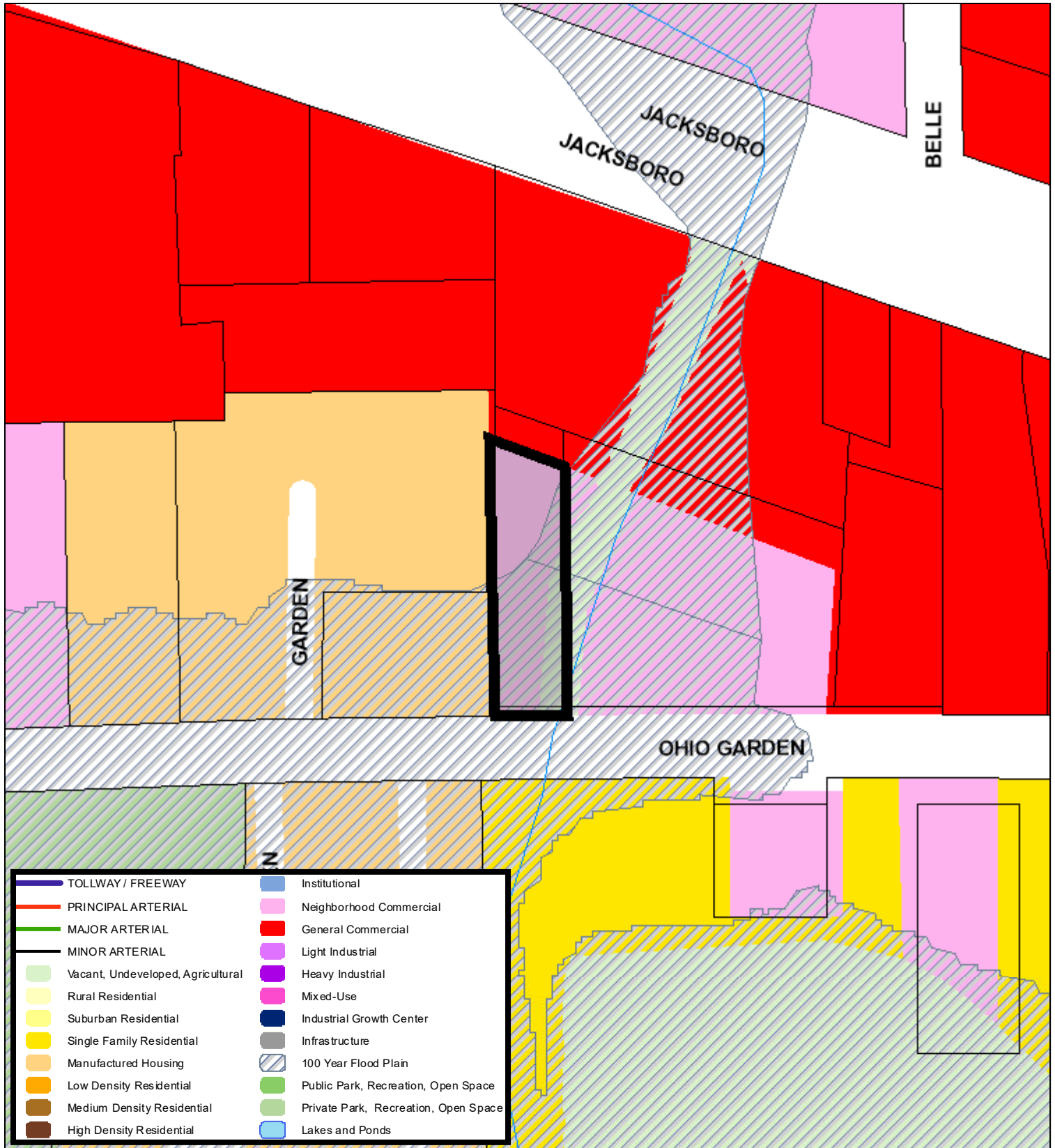
**Noise Contours**

**DECIBEL**

- 65
- 70
- 75
- 80
- 85



### Future Land Use



A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



**Aerial Photo Map**



0 75 150 300 Feet





# Zoning Staff Report

Date: November 13, 2024

Case Number: ZC-24-130

Council District: 3

## Zoning Map Amendment & Site Plan

Case Manager: [Sandy Michel](#)

Owner / Applicant: Paula Rae Conaway / Ray Oujesky

Site Location: 2520 Halloran Street

Acreeage: 0.546 acre

### Request

Proposed Use: Office Space

Request: From: "UR" Urban Residential  
To: "E" Neighborhood Commercial

### Recommendation

Land Use Compatibility: Requested change **is compatible**

Comprehensive Plan Map Consistency: Requested change **is not consistent**

Comprehensive Plan Policy Consistency: Requested change **is not consistent**

Staff Recommendation: **Denial "E" Neighborhood Commercial; or Approval for "ER" Neighborhood Commercial Restricted**

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  - b. [Comprehensive Plan Consistency](#)
6. Zoning Map with 300 ft. Notification Area
7. Area Map
8. Future Land Use Map
9. Aerial Photograph

## Project Description and Background

The subject property, covering 0.546 acres, is situated with frontage along Interstate Highway 35, directly north of the access road for Interstate Highway 30, nestled between Earl Lane and Halloran Street (**Figure 1**). Located just a block west of Horne Street, the property benefits from three frontages along public rights-of-way, enhancing its accessibility. Additionally, the site is positioned approximately one-third of a mile west of the intersection where Camp Bowie Boulevard passes under I-30.

The surrounding neighborhood is primarily residential, with nearby properties zoned as “B” Two-Family and featuring mostly single-family homes. The site itself was previously occupied by a residence until it was demolished in 2014 and has remained vacant since then. The block to the north includes eight other residential homes, further reinforcing the area’s residential character.

The applicant proposes constructing an 8,000-square-foot, two-story office building to serve as the headquarters for family business operations, as detailed in the zoning application. As this is a straightforward rezoning request, no site plan has been provided or is required at this stage. The proposed building is intended to fit into the broader context of the neighborhood while offering a functional, commercially viable space for business use.

The applicant has provided a detailed project description for the proposal:

*‘In 2022, the subject property was rezoned to UR for a small multifamily development. The applicant for the zoning change did not proceed with the proposed development. The new proposed use of the subject property is an office building to be used by the purchaser of the subject property for the family business operations. With frontage along I-30 westbound access road, the subject property is not conducive for residential use. E Neighborhood Commercial zoning is compatible with surrounding residential uses with frontage along I-30 westbound service road. Office use of the subject property will be less dense than a multifamily development.’*







Figure 1: Site Photos

## Surrounding Zoning and Land Uses

|       |                                    |
|-------|------------------------------------|
| North | “B” Two-Family / Residential       |
| East  | “B” Two-Family / Residential       |
| South | “B” Two-Family / 30 Interstate Hwy |
| West  | “B” Two-Family / Residential       |

## Recent Zoning History

- ZC-22-203; A rezoning request was to change the zoning “B” Two-Family to “UR” Urban Residential to allow for the build-for-sale townhomes in a rowhouse configuration. The ZC case was approved on 12/14/2022;

## Public Notification

300-foot Legal Notifications were mailed on November 1, 2024.  
 The following organizations were notified: (emailed November 1, 2024)

| Organizations Notified       |                         |
|------------------------------|-------------------------|
| Trinity Habitat for Humanity | Streams and Valleys Inc |

\* Located within a registered Neighborhood Organization

# Development Impact Analysis

## Land Use Compatibility

All adjacent parcels are currently zoned “B” Two-Family. The proposed zoning district, “E” Neighborhood Commercial, allows for low-intensity commercial uses typically serving as a transition to more intense commercial and higher-density areas. This parcel is located on the edge of an established neighborhood, and while “E” Neighborhood Commercial could serve as a buffer from Interstate 35, its permitted uses may introduce activities that are incompatible with the adjacent longstanding residential neighborhood.

To address these concerns, staff recommends “ER” Neighborhood Commercial Restricted zoning. This zoning designation would meet the applicant's needs while protecting the neighborhood from incompatible uses by prohibiting activities that could disrupt its residential character. Specifically, “ER” Neighborhood Commercial Restricted zoning would prevent uses such as:

- Alcohol sales
- Retail sales
- Banks
- Restaurants
- Gasoline sales
- Bakeries
- Vehicle sales and service
- Manufacturing
- Industrial activities

These activities could be disruptive and introduce nuisances that are unsuitable for the neighborhood context. Additionally, the applicant's intended use—a two-story office building—aligns well with the “ER” zoning, offering a low-impact, neighborhood-compatible option. This use is in keeping with the character of the surrounding area, helping to ensure that the requested land use integrates smoothly with the existing neighborhood fabric.

The proposed zoning is **not compatible** with surrounding land uses.

## Comprehensive Plan Consistency- FLU Map and Policies

The adopted Comprehensive Plan currently designates the subject property as a Single-Family Residential on the Future Land Use Map.

| RESIDENTIAL                |   |                                  |
|----------------------------|---|----------------------------------|
| Rural Residential          | 1+ acre single-family   | A-2.5, A-43                      |
| Suburban Residential       | 1/2+ acre single-family   | A-21                             |
| Single-Family Residential  | 3,500+ sq. ft. lot single-family  | A-10, A-7.5, A-5, AR             |
| Manufactured Housing       | Manufactured home parks and subdivisions  | MH                               |
| Low Density Residential    | 2,500+ sq. ft. lot single-family, two-family, patio homes, townhouses, cluster housing                                    | B, R1, R2                        |
| Medium Density Residential | Up to 36 units/acre multifamily   | CR, C, D                         |
| Urban Residential          | Medium to high density, residential only, pedestrian-oriented development for use between higher and lower intensity uses | UR                               |
| High Density Residential   | >36 units/acre multifamily, mixed-use multifamily and pedestrian-oriented development in growth centers                   | UR, MU-1, MU-2, Form-Based Codes |

The proposed property's designation does not align with the Single-Family Residential Future Land Use (FLU) category.

The Comprehensive Plan emphasizes creating vibrant, mixed-use communities that support both residential and commercial activities. Maintaining the Neighborhood Commercial zoning is in line with this vision, preserving the neighborhood's character and quality of life.

Therefore, the proposal for a CUP in this area is consistent with the established zoning intent and urban planning objectives. Adhering to the Neighborhood Commercial FLU category is essential for maintaining the planned development pattern, ensuring compatible land uses with the surrounding area, and supporting the long-term goals of creating cohesive, livable neighborhoods. This approach fosters a balanced environment that enhances community well-being and aligns with the city's broader urban development strategies.

Based on conformance with the policies stated above, the proposed zoning is **consistent** with the Comprehensive Plan FLU Map and Policies.

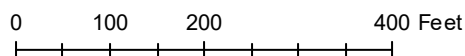
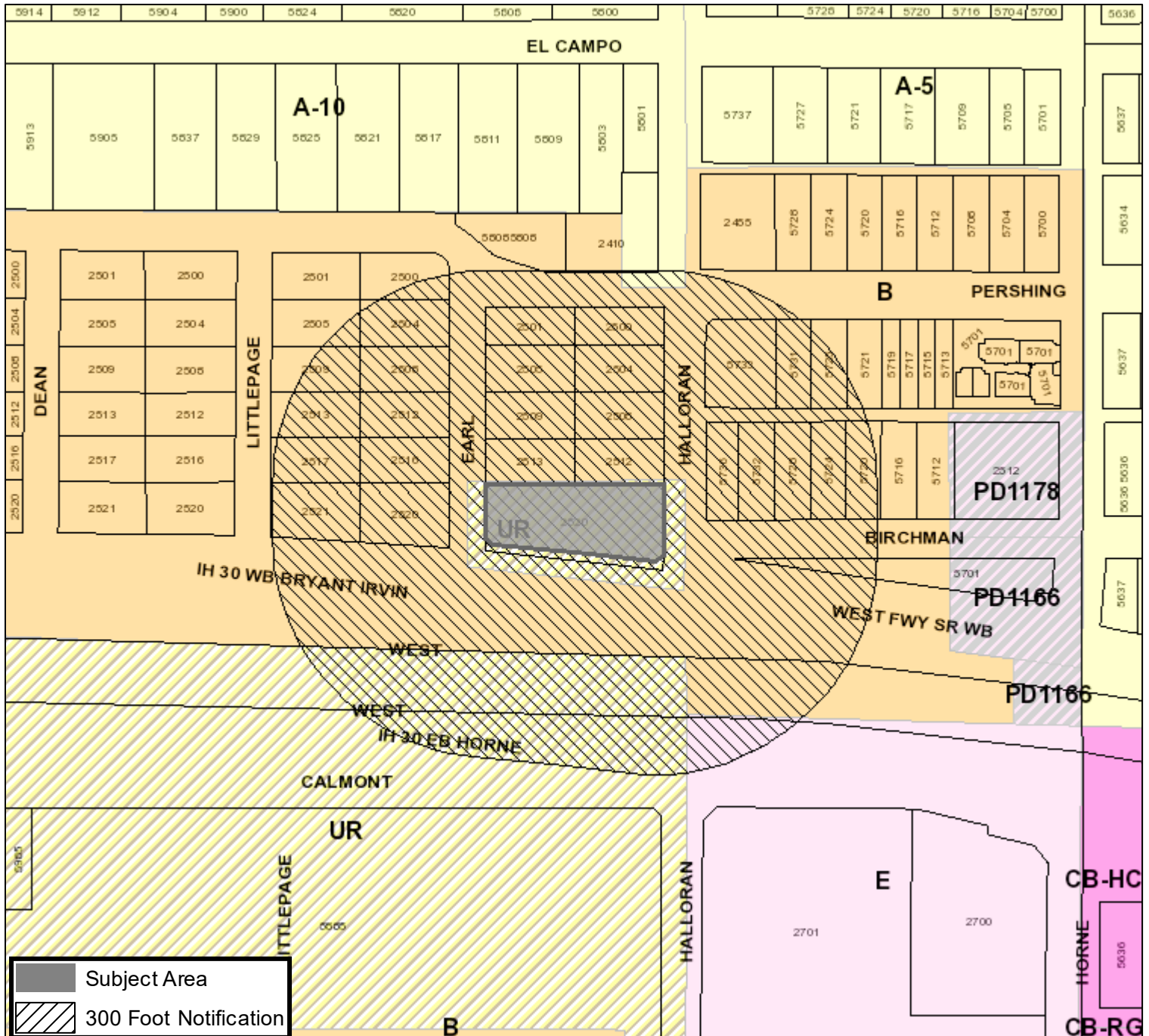
### Supplemental Information

#### Site Photos

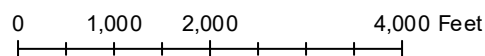
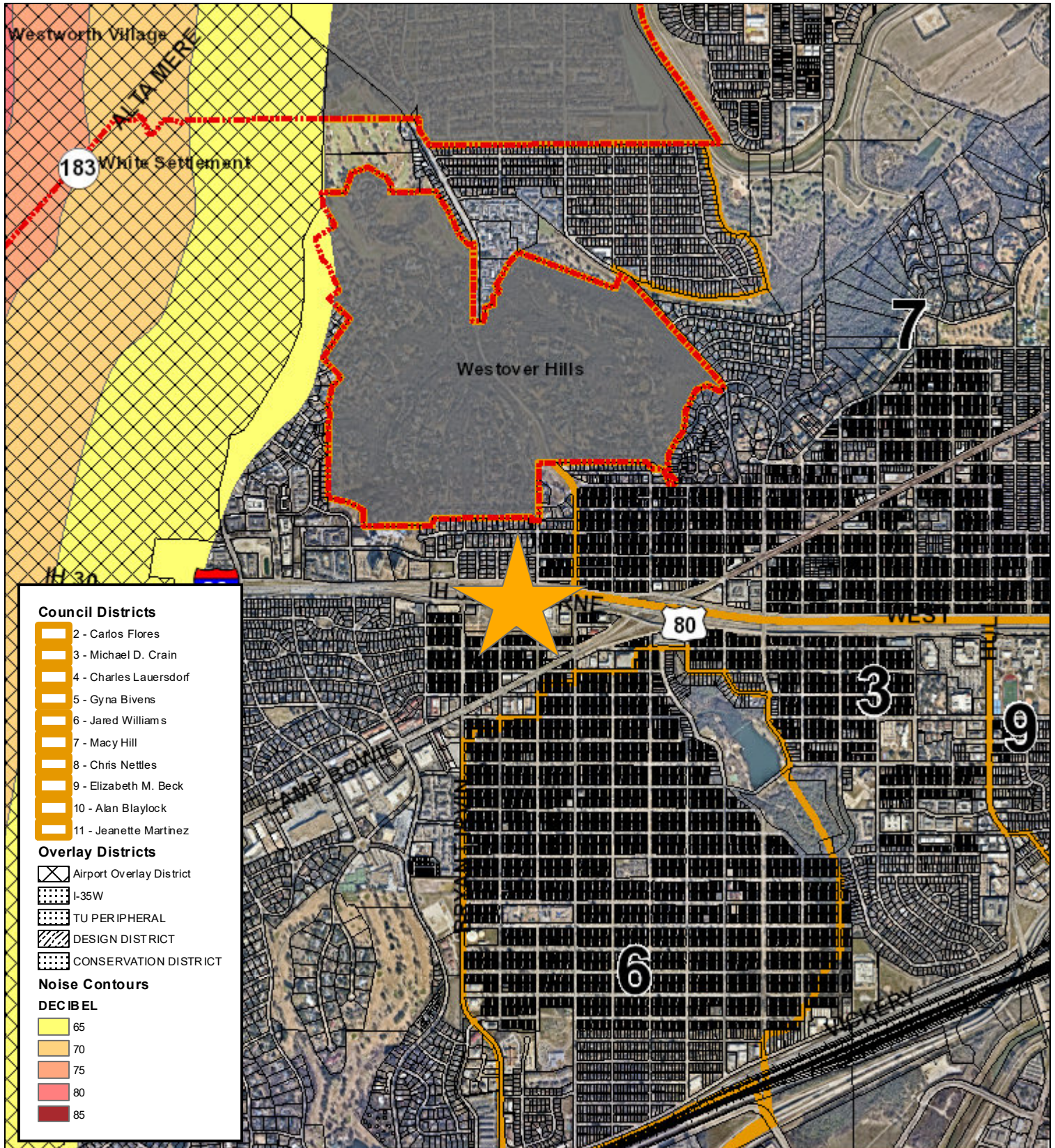


### Area Zoning Map

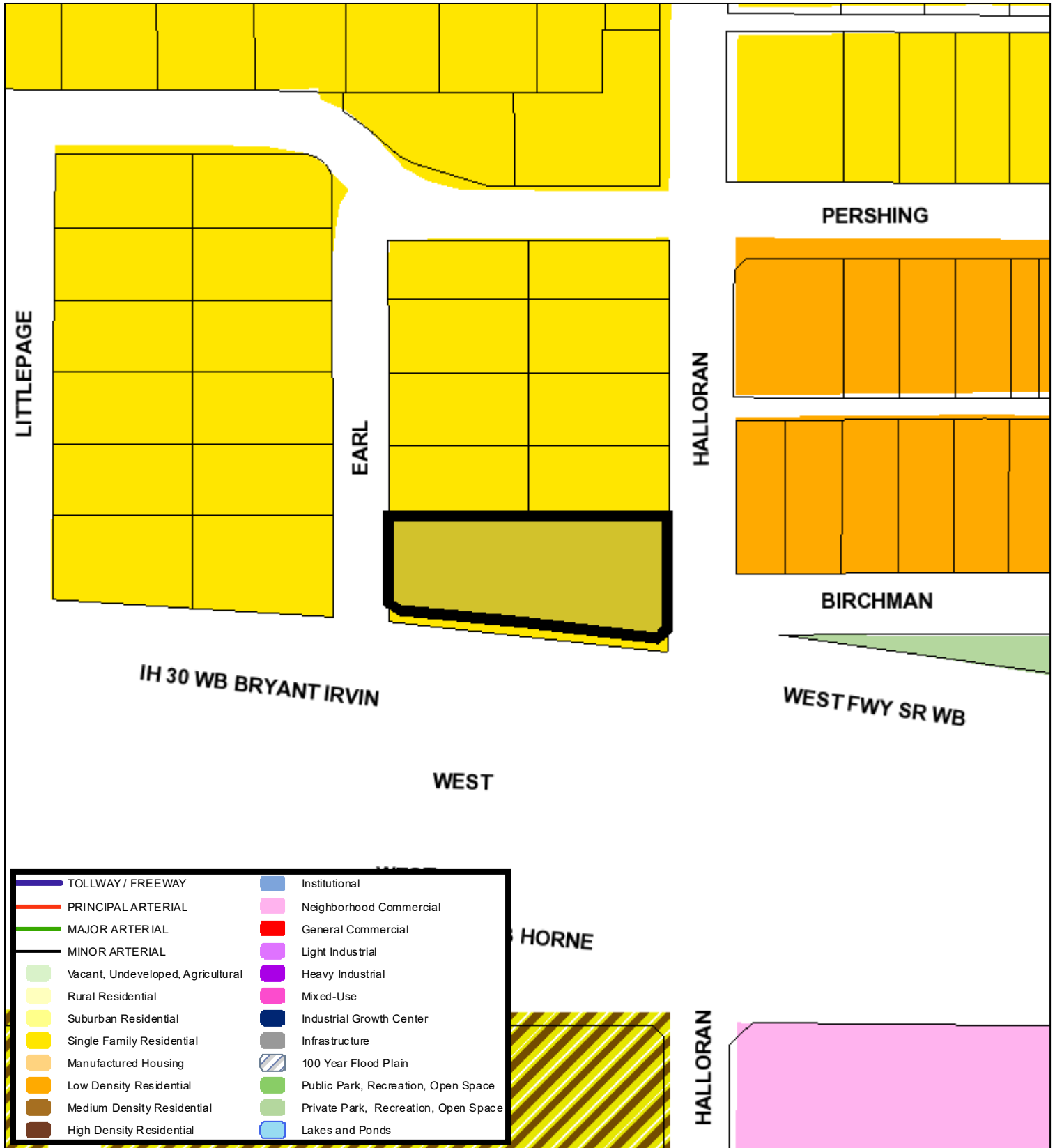
Applicant: Paula Rae Conaway/Ray Oujesky  
 Address: 2520 Halloran Street  
 Zoning From: null  
 Zoning To: null  
 Acres: 0.54607776  
 Mapsco: Text  
 Sector/District: Arlington\_Heights  
 Commission Date: 11/13/2024  
 Contact: 817-392-2806



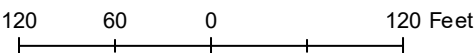
### Area Map



### Future Land Use



|  |                                   |  |                                      |
|--|-----------------------------------|--|--------------------------------------|
|  | TOLLWAY / FREEWAY                 |  | Institutional                        |
|  | PRINCIPAL ARTERIAL                |  | Neighborhood Commercial              |
|  | MAJOR ARTERIAL                    |  | General Commercial                   |
|  | MINOR ARTERIAL                    |  | Light Industrial                     |
|  | Vacant, Undeveloped, Agricultural |  | Heavy Industrial                     |
|  | Rural Residential                 |  | Mixed-Use                            |
|  | Suburban Residential              |  | Industrial Growth Center             |
|  | Single Family Residential         |  | Infrastructure                       |
|  | Manufactured Housing              |  | 100 Year Flood Plain                 |
|  | Low Density Residential           |  | Public Park, Recreation, Open Space  |
|  | Medium Density Residential        |  | Private Park, Recreation, Open Space |
|  | High Density Residential          |  | Lakes and Ponds                      |



A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



## Aerial Photo Map



0 75 150 300 Feet





# Zoning Staff Report

**Date:** November 13, 2024

**Case Number:** ZC-24-133

**Council District:** 9

## Zoning Map Amendment

**Case Manager:** [Stephen Murray](#)

**Owner / Applicant:** Thelin Land Holdings LLC / Skye Thibodeaux

**Site Location:** 5225 Thelin Street

**Acreage:** 18.9 acres

### Request

**Proposed Use:** Outdoor storage of materials and equipment without an associated structure

**Request:**

From: PD 204 "PD-SU" for recycling of roofing materials comprised of wood, composite asphalt, shingles, and commercial built-up roofing material including composting of organic materials (excluding malodorous material including manure) together with the wholesale and retail sales of recycled materials including including composting of organic materials, (excluding malodorous material including manure) together with the wholesale and retail sales of recycled materials including landscaping rock & wood derived products. Operation will comply with Texas Admin. Code Title 30, Part I, Chapter 332; composting as an operation that composts 'Source separated yard trimmings, clean wood material, vegetative material and paper' and is prohibited from accepting or recycling manure. Site Plan required

To: "PD/I" Planned Development for all uses in "I" Light Industrial plus machinery, heavy equipment, or truck sales, leasing and service; non-accessory outdoor sales and storage including yards, contractors, lumber or storage, storage yards building materials; truck transport storage; storage of materials and equipment without an associated structure; vehicle sales or rental and service, including automobiles, boats or trailers; excluding towing yard and truck stop with fuel and accessory structures; site plan waiver requested.





# Zoning Staff Report

## Recommendation

|   |   |
|---|---|
| <i>Land Use Compatibility:</i>                | Requested change <b>is compatible</b>     |
| <i>Comprehensive Plan Map Consistency:</i>    | Requested change <b>is not consistent</b> |
| <i>Comprehensive Plan Policy Consistency:</i> | Requested change <b>is consistent</b>     |
| <i>Staff Recommendation:</i>                  | <b>Approval</b>                           |

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  - c. [Economic Development Plan](#)
6. Zoning Map with 300 ft. Notification Area
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## Project Description and Background

The subject property is located on Hemphill Street just north of IH 20. The applicant is requesting to rezone the property from PD 204 "PD-SU" for recycling of roofing materials to "PD/I" Planned Development for all uses in "I" Light Industrial plus machinery, heavy equipment, or truck sales, leasing and service; non-accessory outdoor sales and storage including yards, contractors, lumber or storage, storage yards building materials; truck transport storage; storage of materials and equipment without an associated structure; vehicle sales or rental and service, including automobiles, boats or trailers; excluding towing yard and truck stop with fuel and accessory structures; site plan waiver requested. The area surrounding the proposed zoning is industrial in nature. The information below was provided by the applicant.

"This request is to propose additional land uses for the subject property along with introducing definitions associated with certain existing uses tied to the property. We are requesting a site plan waiver for this request as it is merely a requested text amendment to the existing PD. We would like to better position the property for potential future re-use or redevelopment."

## Surrounding Zoning and Land Uses

North "I" Light Industrial / Bob Bolen Police Complex

East "K" Heavy Industrial / warehouse, industrial

South "K" Heavy Industrial / industrial

West PD 967 "'PD/I" Planned Development for all uses in "I" Light Industrial for outdoor fire training center with 100 ft. tall burn tower; site plan waived. / Fire training center

## Recent Zoning History

- None

## Public Notification

300-foot Legal Notifications were mailed on November 1, 2024.

The following organizations were notified: (emailed November 1, 2024)

| Organizations Notified                      |                              |
|---|------------------------------|
| Streams and Valleys, Inc.                   | Trinity Habitat for Humanity |
| Hemphill Corridor Development Collaborative | Southeast Fort Worth Inc.    |
| FWISD                                       | Everman ISD                  |

*This property is located within this registered Neighborhood Organization.*

# Development Impact Analysis

## Land Use Compatibility

---

The applicant is proposing to change the zoning to “PD/I” Planned Development for all uses in “I” Light Industrial plus machinery, heavy equipment, or truck sales, leasing and service; non-accessory outdoor sales and storage including yards, contractors, lumber or storage, storage yards building materials; truck transport storage; storage of materials and equipment without an associated structure; vehicle sales or rental and service, including automobiles, boats or trailers; excluding towing yard and truck stop with fuel and accessory structures; site plan waiver requested.. Surrounding uses consist of the Bob Bolen Police Complex to the to the north, industrial uses to the south and east, and the Fire training facility to the west.

The proposed zoning is **compatible** with surrounding land uses.

## Comprehensive Plan Consistency –

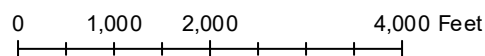
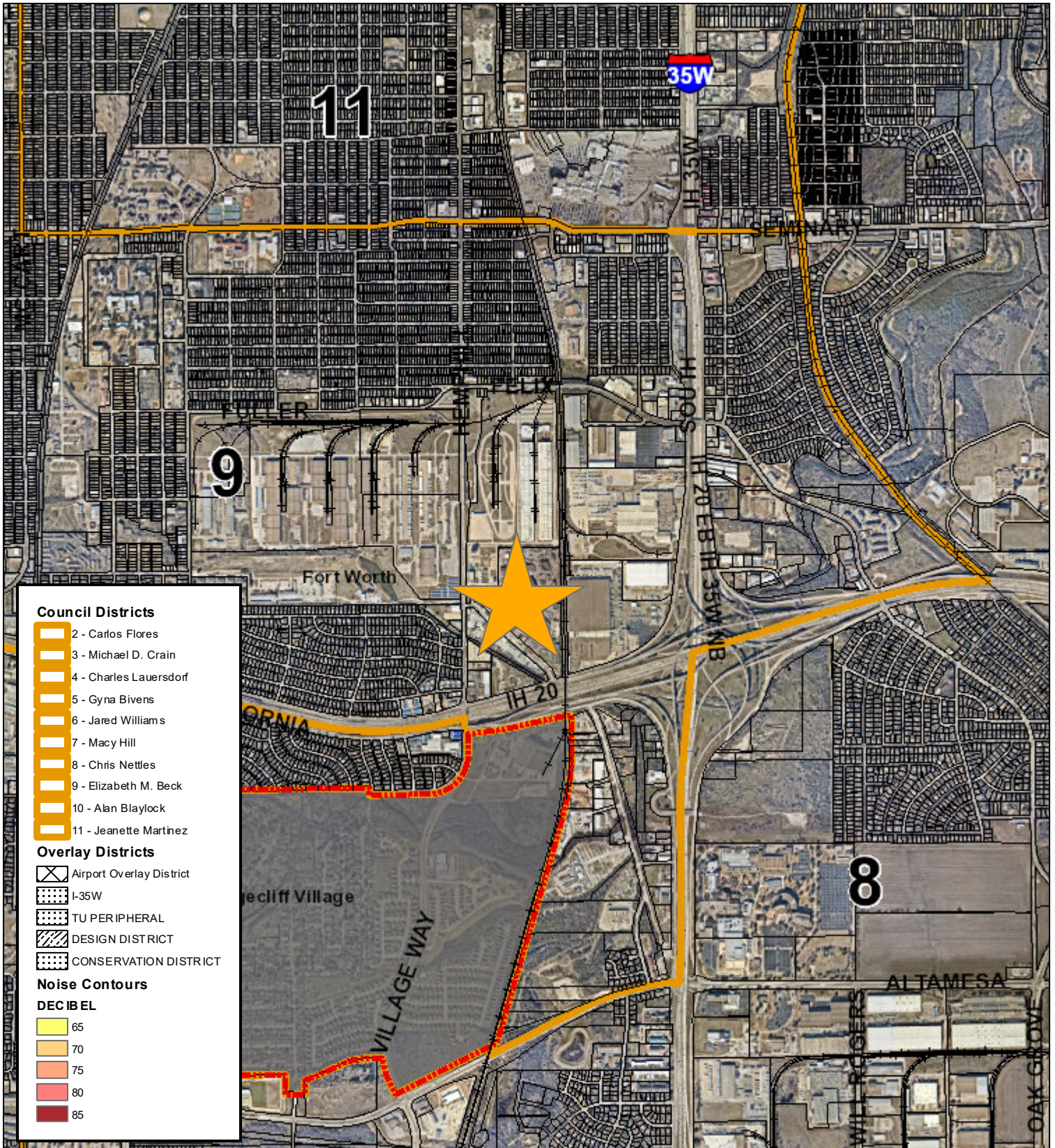
---

The adopted Comprehensive Plan currently designates the subject property as “institutional” on the Future Land Use Map. The base “I” Light Industrial zoning district **is not consistent** with this designation. However, the proposed zoning **is consistent** with the following Comprehensive Plan policies.

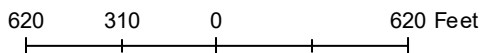
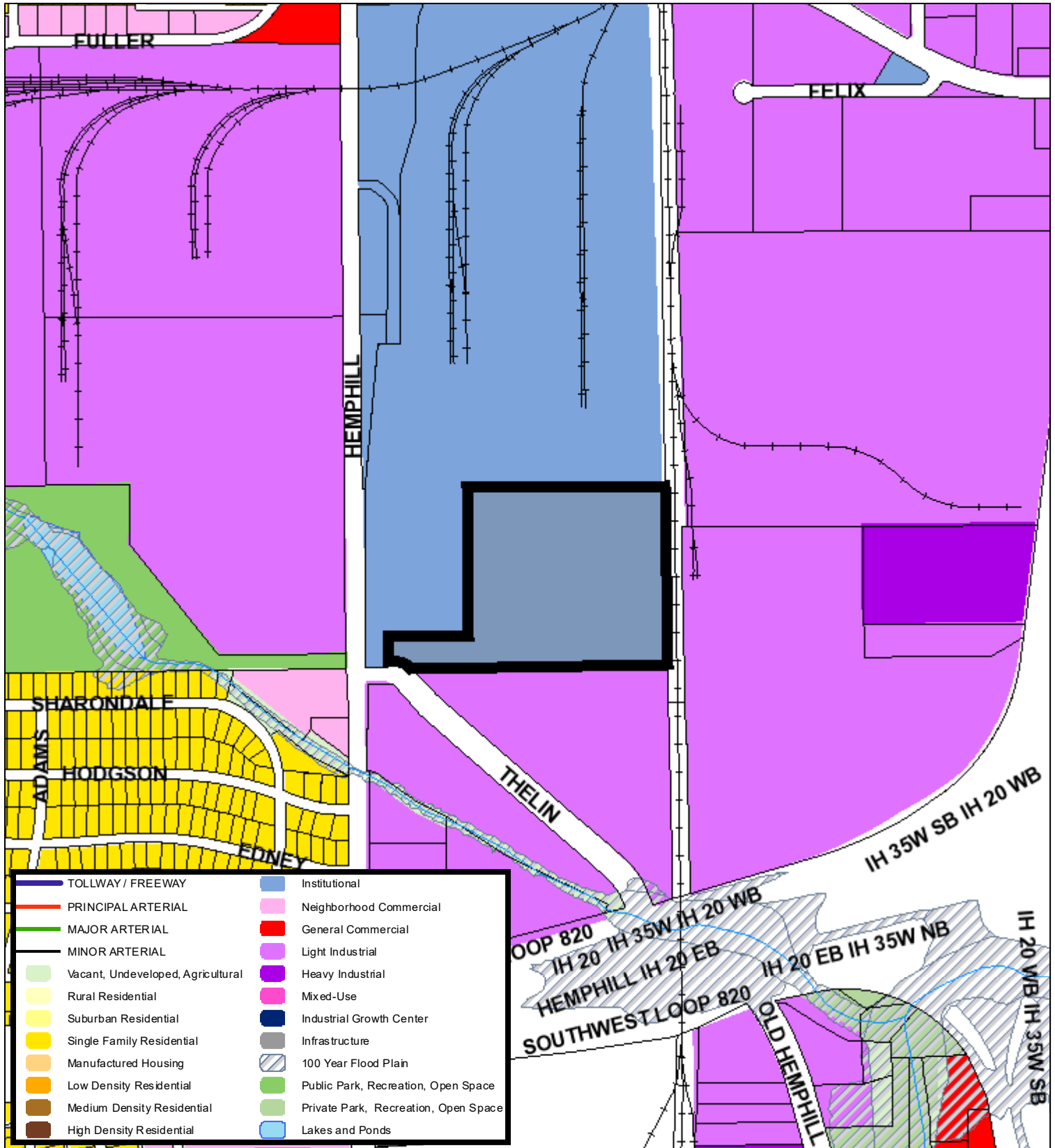
- Promote appropriate infill development of vacant lots, old commercial centers (greyfields), and contaminated sites (brownfields) within developed areas, particularly in the central city.
- Locate large industrial uses along freight rail lines, highways, or airports within industrial growth centers and other appropriate locations.
- Separate incompatible land uses with buffers or transitional uses. Some land uses have attributes such as height, proportion, scale, operational characteristics, traffic generated, or appearance that may not be compatible with the attributes of other uses.



### Area Map



### Future Land Use



A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



## Aerial Photo Map



0 387.5 775 1,550 Feet





# Zoning Staff Report

**Date:** November 13, 2024

**Case Number:** ZC-24-134

**Council District:** future 6

## Zoning Map Amendment

**Case Manager:** Brett Mangum

**Owner / Applicant:** Southwest Pasture Ltd / Westwood

**Location:** 6600 Oakmont Boulevard

**Acreage:** 101.743 acres

### Request

**Proposed Use:** Grocery and Commercial/Retail

**Request:** From: n/a (ETJ) City Council will consider concurrent zoning and annexation (AX-24-013) on December 10th

To: "G" Intensive Commercial

### Recommendation

**Land Use Compatibility:** Requested change **is compatible**

**Comprehensive Plan Map Consistency:** Requested change **is consistent**

**Comprehensive Plan Policy Consistency:** Requested change **is consistent**

**Staff Recommendation:** **Approval**

### Table of Contents

1. [Project Description and Background](#)
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9. Aerial Photograph

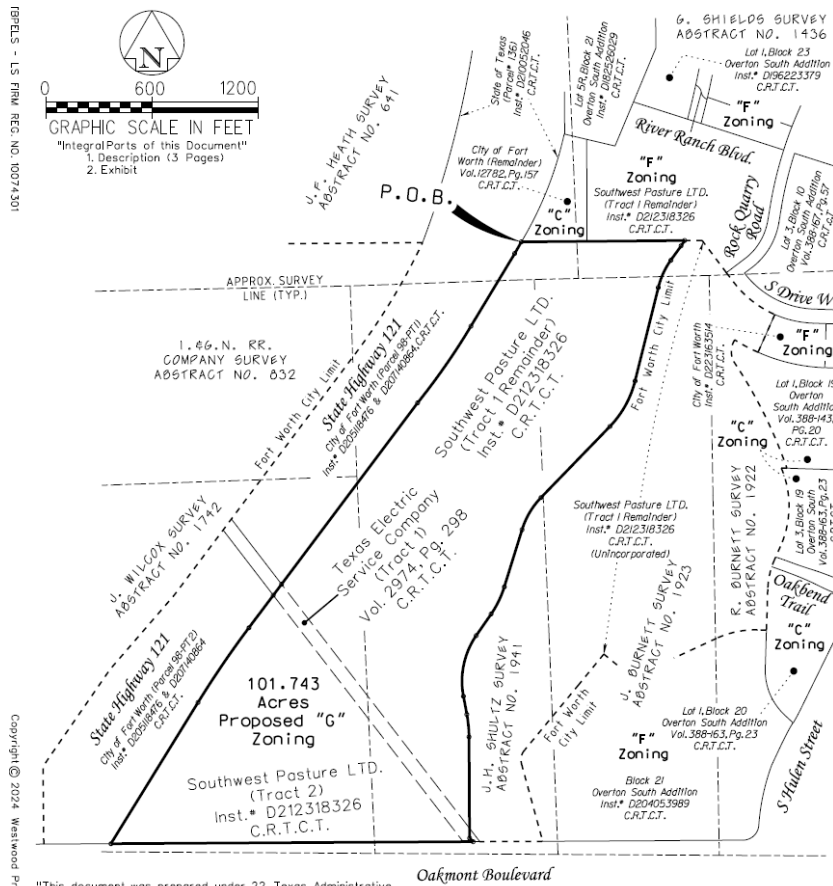


## Project Description and Background

The subject site is located just north of Oakmont Boulevard, adjacent to the intersection with Chisholm Trail Parkway, and is adjacent to Council District 6. Total acreage is just over 100 acres, and the site is currently undeveloped. The following narrative was included as part of the applicant's submittal package:

A request is currently being processed for this Site to be annexed into the City. Generally the Site is an enclave area with Fort Worth. The intent is to annex it into the City, and create the zoning on the Site.

The City's Comprehensive Plan designates this area as being Mixed Use and is in the Wedgewood Sector. One of the primary policies of this sector is to promote commercial, mixed use and urban residential uses. The Site is the first portion of this enclave that is being annexed and zoned. The proposed uses for this section include a grocery store and commercial/retail along the CTP. Future plans include residential components which create the mixed use elements desired. Generally the commercial is along the CTP acting as a buffer between the highway and future and existing residential. This new commercial development will contribute to the City's commercial tax base.



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"This document was prepared under 22 Texas Administrative Code 138.95(5), does not reflect the results of an on the ground survey, and is not to be used to convey or establish interests in real property except those rights and interests implied or established by the creation or reconfiguration of the boundary of the political subdivision for which it was prepared."

Exhibit for Zoning of  
101.743 Acres of Land

The property is located outside the city limits but within the City’s extra-territorial jurisdiction (ETJ). The property owner has requested voluntary annexation and case will be considered by City Council on December 10, 2024. The City Council will conduct a public hearing on the proposed annexation request. The public hearing is an opportunity for individuals who are interested in the annexation to be heard. Once the required public hearing is conducted, City Council can consider a vote to approve the request and authorize the execution of a Municipal Services Agreement and annex the property into the corporate limits of the City of Fort Worth.

## Surrounding Zoning and Land Uses

North "F" General Commercial / undeveloped  
East n/a (ETJ) / undeveloped  
South "G" Intensive Commercial / bowling alley, rehab clinic, medical offices  
West n/a (ETJ) / Chisholm Trail Parkway & undeveloped

## Recent Zoning History

- None

## Public Notification

300-foot Legal Notifications were mailed on November 1, 2024.  
The following organizations were emailed on November 1, 2024:

| Organizations Notified  |                              |
|-------------------------|------------------------------|
| Hulen Bend Estates HOA* | Overton South NA             |
| Crowley ISD             | District 6 Alliance          |
| Streams and Valleys Inc | Trinity Habitat for Humanity |

*\*Located closest to these registered Neighborhood Associations*

## Development Impact Analysis

### Land Use Compatibility

---

The larger ETJ enclave is by and large surrounded by development, however this segment of the enclave which includes the subject site is located on the interior of the property, so abuts mostly undeveloped land. The western border is the Chisholm Trail Parkway toll road, which does not provide access but would be more ideal for building commercial and other non-residential types of applications here. To the east and north is undeveloped land, with some gas wells, trees, and creeks. Access is limited to Oakmont Boulevard, which comprises the southern boundary of the tract.

The proposed zoning **is compatible** with surrounding land uses.



## Comprehensive Plan Consistency – Wedgwood Sector

---

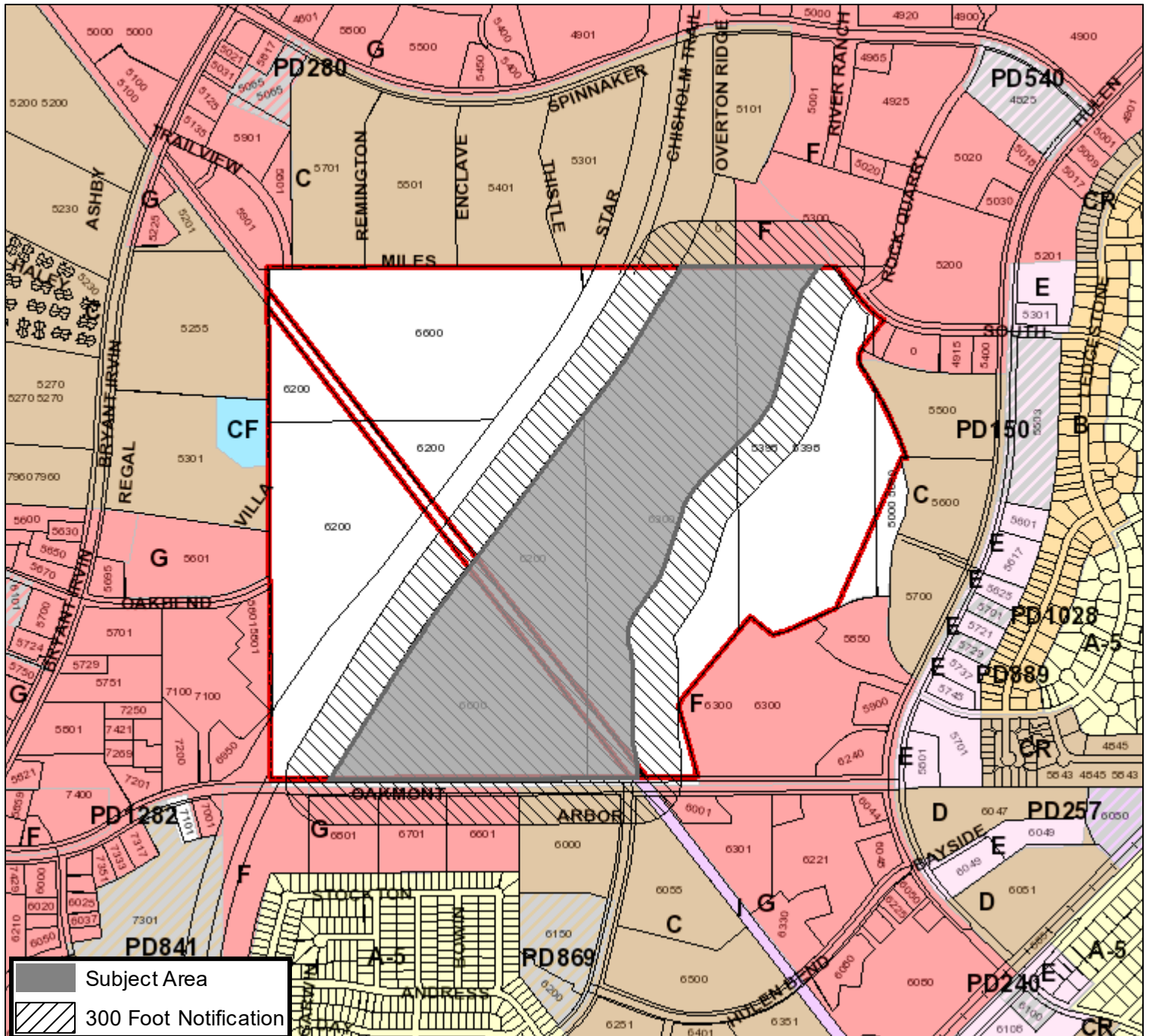
The 2023 Comprehensive Plan currently designates the subject property as *future mixed use*. The zoning types that would be in alignment with this future land use designation are “MU-1”, “MU-2” Mixed Use zones, and all commercial zoning districts. The proposed zoning **is consistent** with the future land use map portion of the Comprehensive Plan.

The proposed zoning **is consistent** with the following policies of the Comprehensive Plan:

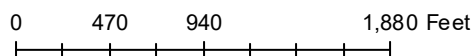
1. Promote fiscally sustainable growth on the periphery of the city by encouraging development adjacent to existing adequate infrastructure and discouraging leapfrog development.

## Area Zoning Map

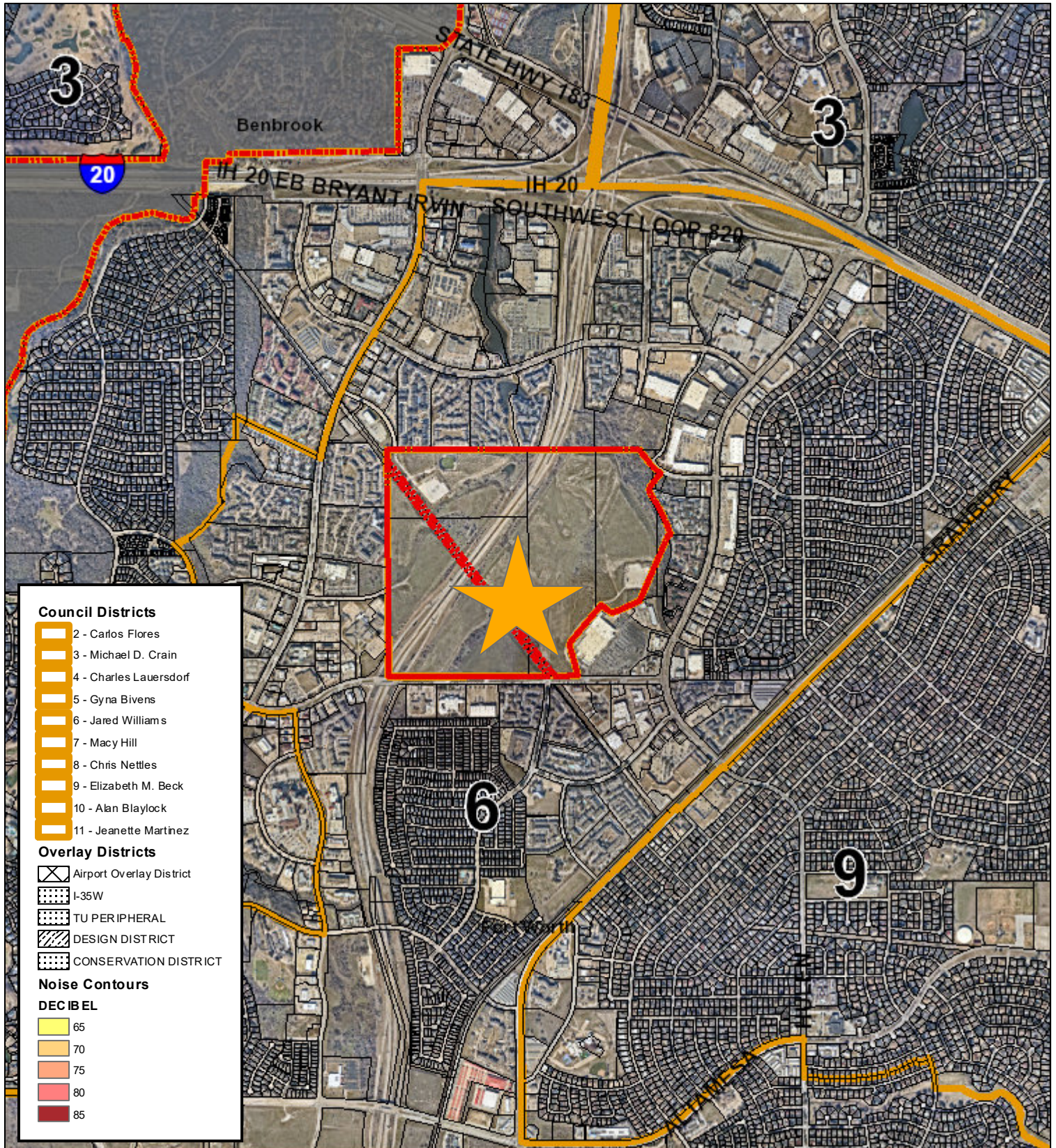
Applicant: Southwest Pasture Ltd/Paxton Motherall/Bo Trainor  
 Address: 6600 Oakmont Boulevard  
 Zoning From: Unzoned  
 Zoning To: G  
 Acres: 101.3846443  
 Mapsco: Text  
 Sector/District: Wedgwood  
 Commission Date: 11/13/2024  
 Contact: 817-392-8043



|  |                       |
|--|-----------------------|
|  | Subject Area          |
|  | 300 Foot Notification |



### Area Map



**Council Districts**

- 2 - Carlos Flores
- 3 - Michael D. Crain
- 4 - Charles Lauersdorf
- 5 - Gyna Bivens
- 6 - Jared Williams
- 7 - Macy Hill
- 8 - Chris Nettles
- 9 - Elizabeth M. Beck
- 10 - Alan Blaylock
- 11 - Jeanette Martinez

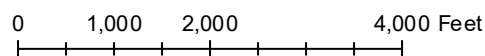
**Overlay Districts**

- Airport Overlay District
- I-35W
- TU PERIPHERAL
- DESIGN DISTRICT
- CONSERVATION DISTRICT

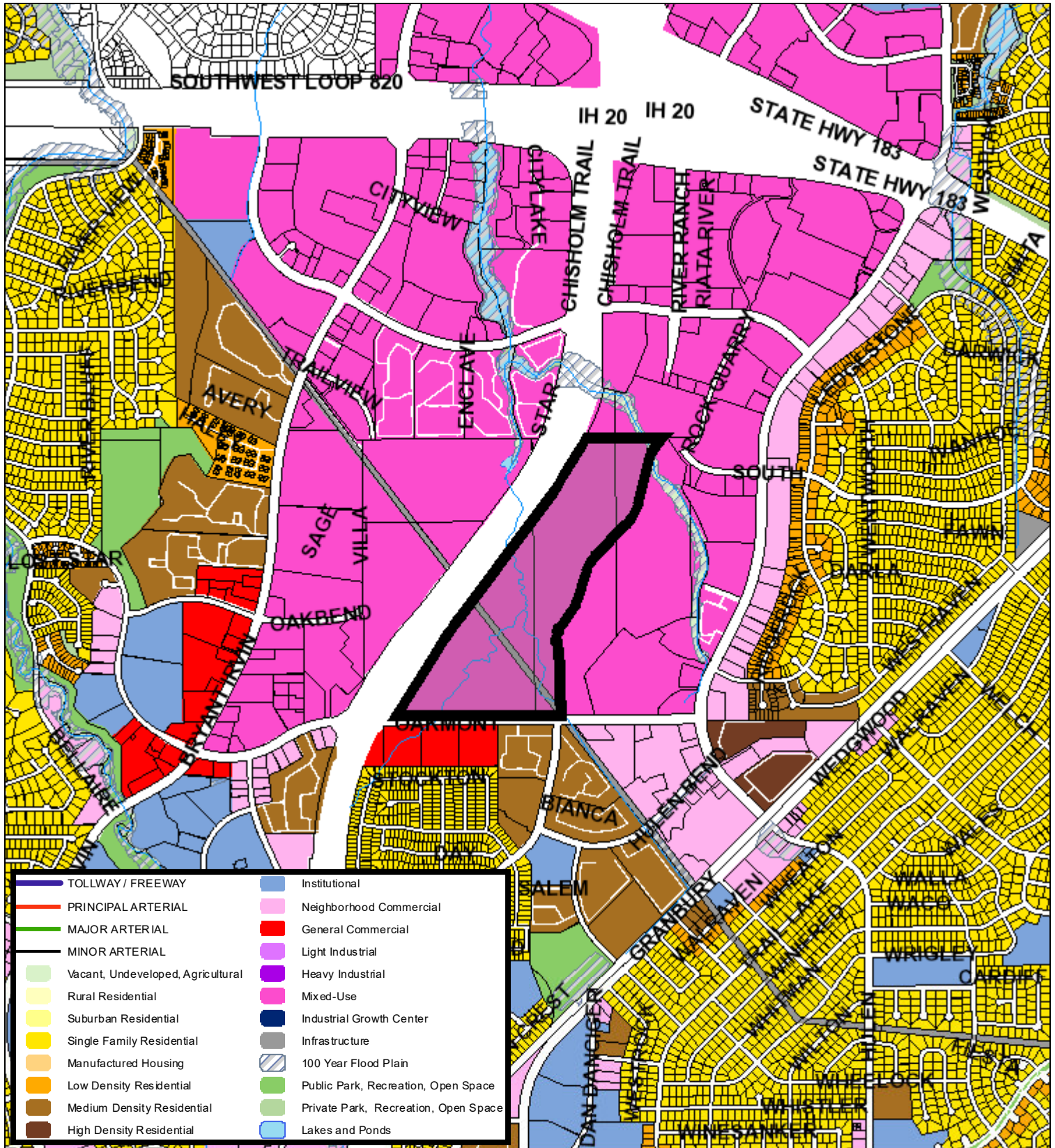
**Noise Contours**

**DECIBEL**

- 65
- 70
- 75
- 80
- 85



### Future Land Use



1,500 750 0 1,500 Feet

A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



## Aerial Photo Map



0 1,000 2,000 4,000 Feet





# Zoning Staff Report

**Date:** November 13, 2024

**Case Number:** ZC-24-135

**Council District:** 10

## Zoning Map Amendment & Site Plan

**Case Manager:** [Sandy Michel](#)

**Owner / Applicant:** Traditions Investors, LLC/ Ray Oujesky & Teddy Boschini, Kelly Hart & Hallman LLP

**Site Location:** 1101 Highway 114

**Acreage:** 2.48 acres

### Request

**Proposed Use:** Multi-family

**Request:** From: "A-5" One-family  
To: "PD/D" Planned Development for all uses in "D" High Density Multifamily for detached multifamily with development standards for reduced front yard setback, reduction in open space, fencing located between buildings and ROW; unit locations; MFD waiver requested; site plan required.

### Recommendation

**Land Use Compatibility:** Requested change **is compatible**

**Comprehensive Plan Map Consistency:** Requested change **is not consistent**

**Comprehensive Plan Policy Consistency:** Requested change **is not consistent**

**Staff Recommendation:** **Continuance**

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  - b. [Comprehensive Plan Consistency](#)
6. Zoning Map with 300 ft. Notification Area
7. Area Map
8. Future Land Use Map
9. Aerial Photograph



## Project Description and Background

The subject property, spanning approximately 2.67 acres, is located just north of Highway 114. The surrounding area consists of a mix of parcels outside the city limits, with nearby zoning classifications that include PD/D High-Density Multifamily and “A-5” One-Family residential (**refer to Figure 1-2 for details**).

The applicant is proposing the construction of multifamily residential buildings designed to accommodate a total of 204 units, which will consist of a mix of one- and two-bedroom apartments at one-story in height.

A site plan is included with this application since the currently approved site plan does not include the proposed additional 2.67 acres in the current Planned Development (PD) 1363 (**Figure 3**). Since the new site plan includes changes that go beyond the permitted modifications to the approved Tract 1 site plan, it cannot be accepted at this time. The applicant will need to update the necessary information and resubmit the site plan for future review.

PD 1363 was initially adopted on April 12, 2022, with specific development standards in place to guide construction and design within this zoning framework. The proposed expansion seeks to integrate additional changes to the current PD standards to accommodate the new multifamily structures.

### Approved at Zoning Commission on January 10, 2024 (ZC-23-190)

| Standard        | D Zoning   | Proposed PD/D  |
|-----------------|--|--|
| Building Height | 48 feet maximum, slab to top plate, beyond 250-foot setback to one- and two-family districts | Need additional information                                      |
| Fencing         | Not allowed in front of building line  | Located in front of the building (Development Standard Required) |
| Parking         | Parking not allowed in front of the building   | Located in front of the building (Development Standard Required) |
| Open Space      | 35% required   | 15% requested (Development Standard Required)                    |
| Density         | 32 units per acre  | 38 units per acre (Development Standard Required)                |

**This is a comparison of the currently requested waivers to those approved in the previous ZC case (ZC-23-190):**

| Standard             | Current PD/D 1363   | Proposed PD/D  |
|----------------------|---|--|
| Fencing              | Located in front of the building; A perimeter security fence will be provided, 5’ tall metal pickets.<br><b>(Development Standard Required)</b> | Fencing may be located between the buildings and the right-of-way.   |
| Building Orientation | Buildings located on public streets must face the street with the longest length of the building placed parallel/adjacent to the street.        | Units shall be allowed to front, side, or back a public right-of-way |
| Required Yards       | <b>Front yard</b><br>• <b>No front yard required. No public street frontage except drive.</b><br>Rear/side yard                                 | The minimum front yard setback requirement shall be 10'              |

|            |   |  |
|------------|---|--|
|            | <ul style="list-style-type: none"> <li>• 10' building setback provided along northwestern, western, and southern property line.</li> <li>• 30' building setback provided along eastern property line against E Zoning.</li> <li>• Fences may encroach upon</li> </ul> |  |
| Open Space | <p>Minimum 35%</p> <p>Applicant is meeting this percentage by revising the way open space is calculated – using the definition in Ch. 9 rather than the open space regulations within “D”. <b>(Requires Development Regulation Standard)</b></p>                      | The minimum open space required shall be 10% |

The applicant has provided a detailed project description of their intent down below:

The 2.67 acre tract is being rezoned to PD/D detached multifamily in order to incorporate the area into the existing area covered by Tract 1 of PD 1363 (see Case No. ZC-21-190 for Tract 1 zoning). Tract 1 of PD 1363 is zoned PD/D detached multifamily with development standards, site plan required. The site plan for the 2.67 acre tract includes the existing area covered by Tract 1 of PD 1363, and will also provide the site plan required for Tract 1 of PD 1363. Accordingly, PD/D rezoning for the 2.67 acre tract with site plan included and approval of site plan required for Tract 1 of PD 1363 is requested.

Requested waivers are as follows:

1. Fencing may be located between the buildings and right-of-way.
2. Units shall be allowed to front, side or back a public right-of-way.
3. The minimum front yard setback requirement shall be 10'.
4. The minimum open space required shall be 10%.
5. A MFD site plan shall not be required.

In summary, the applicant would like to add 2.67 acres to build a multifamily development north of Highway 114, near various residential zoning types. A new site plan is submitted to accommodate updates to Planned Development (PD) 1363, initially approved, with specific standards. Key updates include requests to modify requirements for fencing, building orientation, yard setbacks, and open space. Please review ‘*Site Plan Comments*’, to see comments from staff.



Figure 1: Aerial Site Map Exhibit A



## Surrounding Zoning and Land Uses

|            |   |
|------------|---|
| North-west | Incorporated Tarrant County   |
| North-east | “A-5” One Family / Residential  |
| East       | “A-5” One Family / Residential  |
| South-east | “A-5” One Family / Residential  |
| South-west | Incorporated Tarrant County   |
| West-south | “PD1363” “PD/D” Planned Development High-Density Multifamily for all uses in “D” High-Density Multifamily for detached multifamily with development standards for reduced front yard setback, reduction in open space, fencing located between buildings and ROW; unit locations; MFD waiver requested; site plan required/ Residential |

## Recent Zoning History

- N/A

## Public Notification

300-foot Legal Notifications were mailed on November 1, 2024.  
The following organizations were notified: (emailed November 1, 2024)

| Organizations Notified       |                     |
|------------------------------|---------------------|
| North Fort Worth Alliance    | Streams and Valleys |
| Trinity Habitat for Humanity |                     |

\* *Located within a registered Neighborhood Organization*

## Development Impact Analysis

### Land Use Compatibility

---

The applicant is proposing to construct multifamily residential buildings. Given the surrounding mix of both proposed and established land uses, this addition aligns well with the area's overall development pattern and land-use context. This compatibility ensures that the new multifamily residential component will integrate smoothly with the neighboring properties, fostering a harmonious and functional community layout.

The proposed zoning is **compatible** with surrounding land uses.

### Comprehensive Plan Consistency- FLU Map and Policies (Western Hills/Ridglea)

---

The adopted Comprehensive Plan currently designates the subject property as a Single-Family Residential on the Future Land Use Map.

| RESIDENTIAL                |   |                                  |
|----------------------------|---|----------------------------------|
| Rural Residential          | 1+ acre single-family   | A-2.5, A-43                      |
| Suburban Residential       | 1/2+ acre single-family   | A-21                             |
| Single-Family Residential  | 3,500+ sq. ft. lot single-family  | A-10, A-7.5, A-5, AR             |
| Manufactured Housing       | Manufactured home parks and subdivisions  | MH                               |
| Low Density Residential    | 2,500+ sq. ft. lot single-family, two-family, patio homes, townhouses, cluster housing                                    | B, R1, R2                        |
| Medium Density Residential | Up to 36 units/acre multifamily   | CR, C, D                         |
| Urban Residential          | Medium to high density, residential only, pedestrian-oriented development for use between higher and lower intensity uses | UR                               |
| High Density Residential   | >36 units/acre multifamily, mixed-use multifamily and pedestrian-oriented development in growth centers                   | UR, MU-1, MU-2, Form-Based Codes |

The proposed designation of this property does not align with the Single-Family Residential Future Land Use (FLU) category. However, discussions with FWLab staff have indicated that they are supportive of the change, particularly because the adjacent southern parcel is already designated as Medium-Density Multifamily. This neighboring land use suggests that the proposed modifications would be contextually appropriate for the area.

The Comprehensive Plan highlights the importance of creating vibrant, mixed-use neighborhoods that encouraging a well-integrated and lively community. Retaining the Neighborhood Commercial zoning aligns with this vision, helping to preserve the character and quality of life in the neighborhood.

However, the proposed waiver reducing the required open space to 10% conflicts with the following policies outlined in the Comprehensive Plan:

- *Maximize area of permeable surfaces in developments to reduce stormwater run-off.*
- *Encourage the provision of open space within new developments, with the goal of linking open spaces within adjoining subdivisions.*

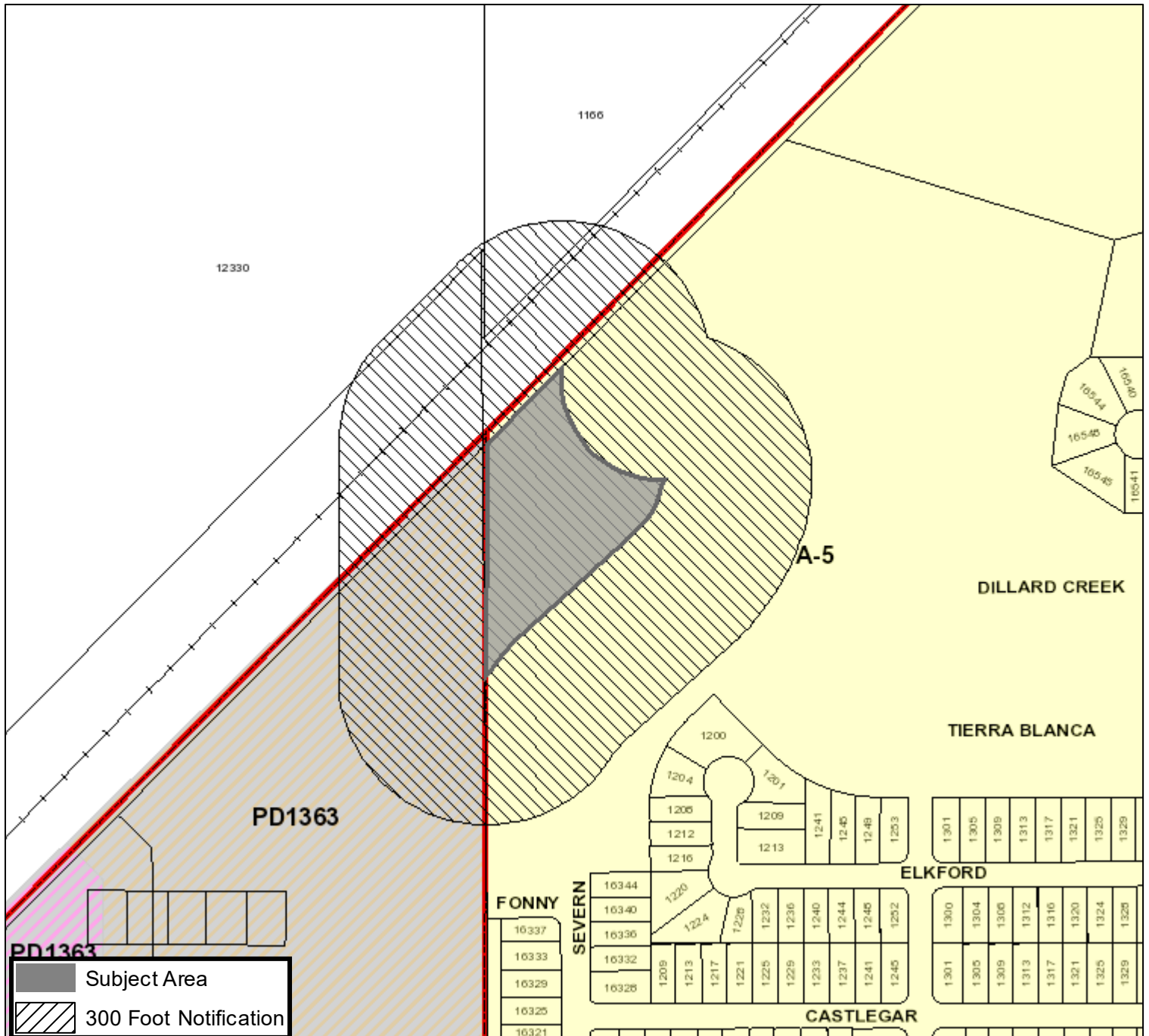
These policies highlight the Comprehensive Plan's commitment to open space and green areas as essential elements in sustainable, community-oriented developments. Reducing the open space requirement to 10% may compromise these objectives and warrants further consideration.



Based on conformance with the policies stated above, the proposed zoning is **not consistent** with the Comprehensive Plan FLU Map and Policies.

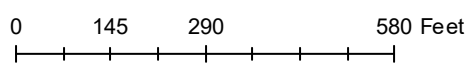


### Area Zoning Map

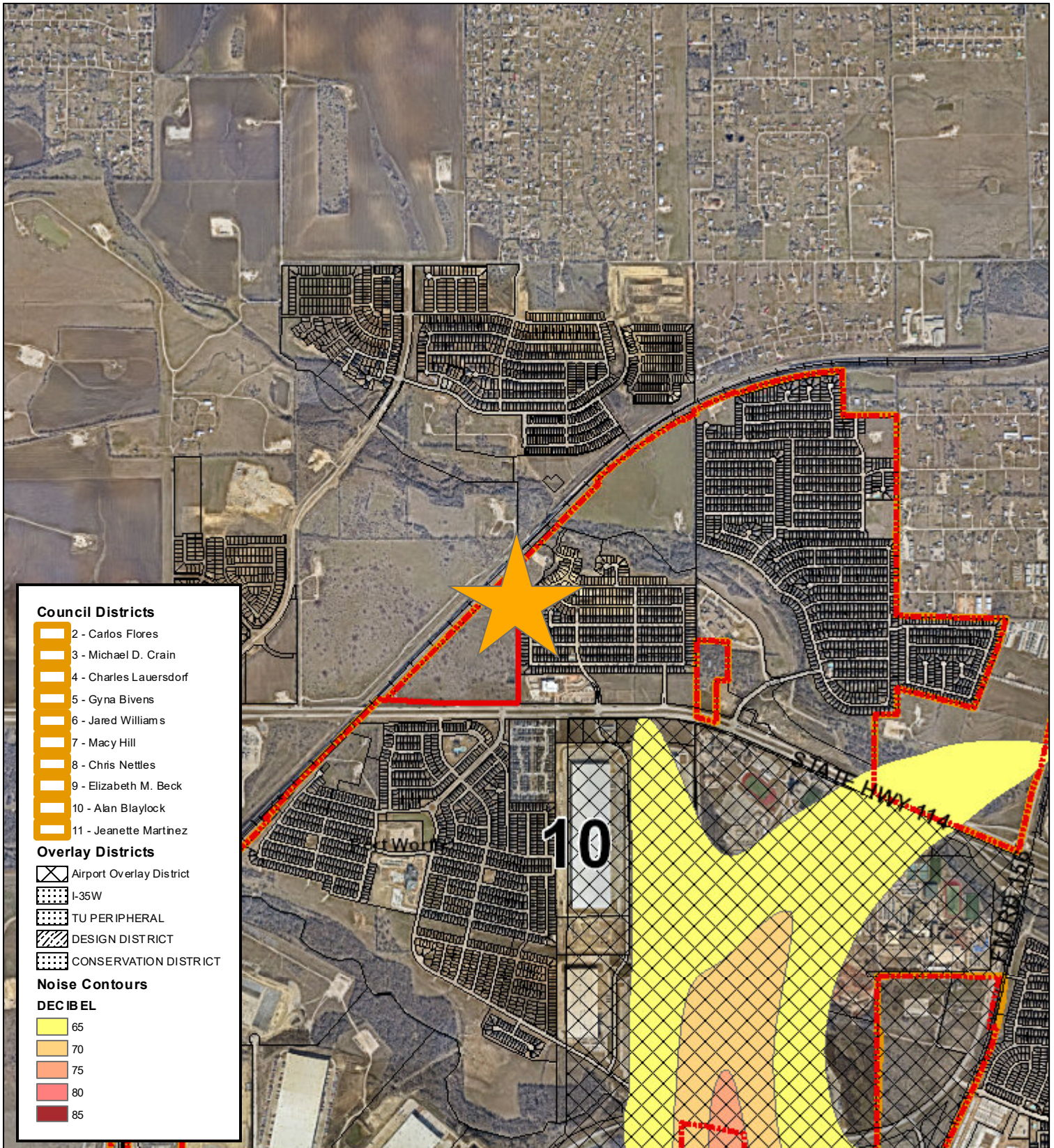
Applicant: Traditions Investors LLC, Ray Oujesky  
 Address: 1101 Highway 114  
 Zoning From: A-5  
 Zoning To: PD/D Detached Multifamily  
 Acres: 2.4878983  
 Mapsco: Text  
 Sector/District: Far\_North  
 Commission Date: 11/13/2024  
 Contact: 817-392-6226



|  |                       |
|--|-----------------------|
|  | Subject Area          |
|  | 300 Foot Notification |

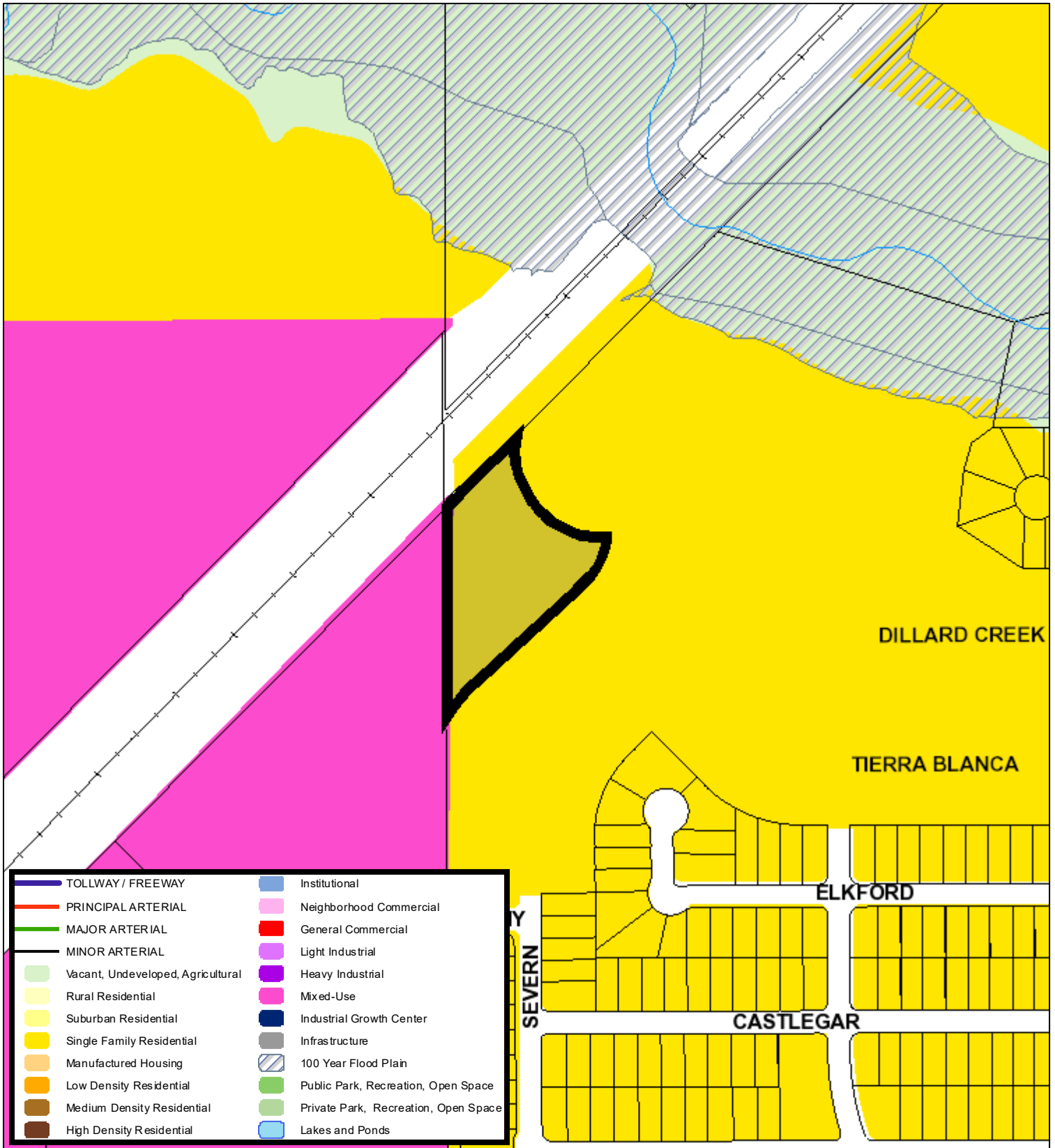


### Area Map



0 1,000 2,000 4,000 Feet

### Future Land Use



300 150 0 300 Feet

A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.





## Aerial Photo Map



0 190 380 760 Feet





# Zoning Staff Report

**Date:** November 13, 2024

**Case Number:** SP-24-015

**Council District:** 6

## Site Plan

**Case Manager:** Lynn Jordan

**Owner / Applicant:** Walton Texas LP, et al / Ray Oujesky & Teddy Boschini, Kelly Hart & Hallman LLP

**Site Location:** 10440 Chisholm Trail Parkway

**Acres:** 36.40 acres

## Request

**Proposed Use:** Multi-Family

**Request:** Site Plan for PD 1090 Planned Development for all uses in "D" High Density Multifamily

## Recommendation

**Staff Recommendation:**

**Continuance**

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6. Zoning Map with 300 ft. Notification Area
7. Area Map
8. Future Land Use Map
9. Aerial Photograph

Staff is recommending a continuance so the applicant can submit a zoning application for the associated waivers.

## Project Description and Background

This tract of land consists of 36.40 acres located in Council District 6. The land is zoned PD/D, which means it can be used for all purposes under the D category, but being a planned development, a site plan is required.

The site is currently vacant. The applicant intends to construct a 648-unit multifamily development, in two phases. The applicant is submitting the required site plan for PD1090 and will require waivers to the following:

\*Carports between the building face and street in phase 2.

\*Parking in front of the building in both phases.

## Surrounding Zoning and Land Uses

North "A-5" One Family Residential / vacant and "PD/D" Planned Development for all uses in "D" High Density Multifamily; site plan required / vacant  
East "PD1091" PD for all uses in F, site plan required / vacant  
South "PD1091" PD for all uses in F, site plan required / vacant  
West "A-5" One Family Residential / vacant

## Recent Zoning History

- ZC-16-085 :
  - From: Unzoned, "A-43" One-Family, "A-5" One-Family, "R2" Townhouse/Cluster, "C" Medium Density Multifamily, "E" Neighborhood Commercial, "G" Intensive Commercial and "I" Light Industrial To: "A-5" One-Family, "PD/D" High Density Multifamily, "CF" Community Facility, "E" Neighborhood Commercial, "PD/F" General Commercial, "G" Intensive Commercial, and "PD/MU-2" High Intensity Mixed-Use; site plan required for the PD's

## Public Notification

300-foot Legal Notifications were mailed on October 31, 2024.

The following organizations were notified(email) on October 31, 2024

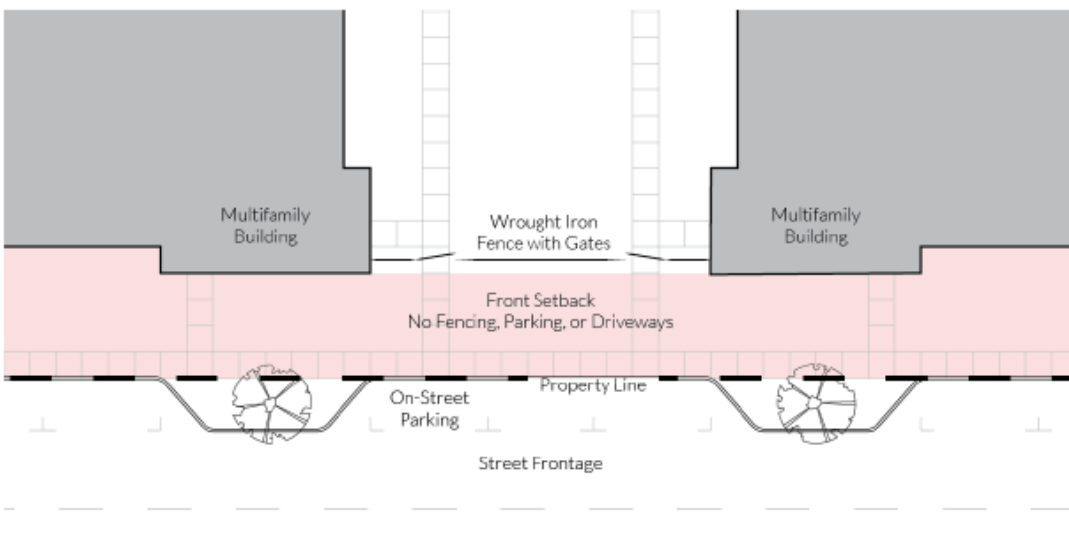
| Organizations Notified       |  |
|------------------------------|--|
| Panther Heights NA           | Chisholm Trail Ranch Residential Community HOA |
| District 6 Alliance          | Streams And Valleys Inc                        |
| Trinity Habitat for Humanity | Crowley ISD                                    |

\* *Not located within a registered Neighborhood Association*

## Site Plan Comments

### Zoning & Land Use

1. Front yard fence needs to be behind the front wall of the front yard building (otherwise a development standard will be needed for the PD)
  - b. Multifamily development. Fences shall not be located in the area between building facades and the property line. Frontage on a controlled access highway shall not be considered a street for purposes of this section. Perimeter security fencing is prohibited; however, security fencing is permitted on interior property lines. Solid screening fences are required when adjacent to a one or two family district unless adjacent to a public park or controlled access highway when a solid screening fence is not permitted and an open design fence shall be installed, if a fence is installed.



2. The maximum height setback from single-family is measured at the property line, indicate on the site plan where the measurement is less than 250 (a development standard would be needed for the PD).
3. Add the following notes to the site plan: Building façade and materials will comply with MFD standards
4. Phase 1 has no dumpster enclosure is one proposed please show on the site plan.
5. Carports are not permitted between building face and street (a development standard would be needed for the PD)
6. How are the shared streets classified, access easements? They need to be identified on the site plan.
7. Friendly reminder regarding open space, please make sure site complies

#### Open space is:

- open to the sky
- green space
- a minimum of 25x25 area
- clustered areas to provide recreation/gathering amenities for residents and guests (pools, dog parks, playgrounds)
- patios adjacent to a unit (not enclosed)
- accessible floodplain
- required front yard

Open space is NOT:

- areas that are not accessible
- enclosed patios
- drainage easements as these are typically enclosed by fencing, retaining walls
- required front yard with security/perimeter fencing

**Fire**

FWFD - (Lt. Adam Thornton, FirePlatting@fortworthtexas.gov)

Internal Emergency Access Easements will need to be named. The Fire Department will assist you with that during the platting phase. I attached the standards for street names. Email Fireplatting@fortworthtexas.gov to request approval for street names prior to FINAL PLATTING. Please include the subdivision name and plat number in the subject line.

Two points of access are required from projects having more than 100 units.

Fire lanes must be a minimum of 26' wide and provide hose lay to the exterior of each structure within 150', measured in a 5' wide unobstructed path from the edge of a marked fire lane or public street. That distance MAY be increased to 300' if the building is equipped with a fire sprinkler system.

Where divided by a median, fire lanes must be a minimum of 20' on either side of the median.

Vehicle gates are required to be a minimum of 20' wide when fully opened and equipped with Knox Locks. Permits are required.

Hydrant requirements:

? 600 ft. (300 ft. radius) of space between hydrants along a direct horizontal line.

? 500 ft. hose lay distance to all points of building.

FDC's for sprinkler and standpipe systems shall be located within 50 ft. of a dedicated street or fire apparatus access road and shall be within 150 ft. hose lay distance of the nearest fire hydrant. Each building shall be equipped with its own FDC, unless otherwise approved by the fire code official.

Addresses will be verified on platted lots on permit applications. If platting, addresses will be assigned after the final plat is recorded. Please do not self-address for permit applications.

General information:

Failure to recognize violations of the fire code by the fire code official does not waive the requirement of meeting minimum requirements of the fire code in the future.

It is the applicant's and the owner's responsibility to meet all minimum fire code requirements at all times.

The City of Fort Worth has adopted the 2021 International Fire Code as its current fire code at the time of this review. The City of Fort Worth has also adopted Amendments that are available at the City Secretary's site for Ordinance #25388-03-2022.

**TPW**

TDS (Michael Arthaud, 817-392-6597, Michael.Arthaud@fortworthtexas.gov)

TDS (Stu Burzette, 817-392-2593, stuart.burzette@fortworthtexas.gov)

TDS has no corrections.

FYI/Reminders:

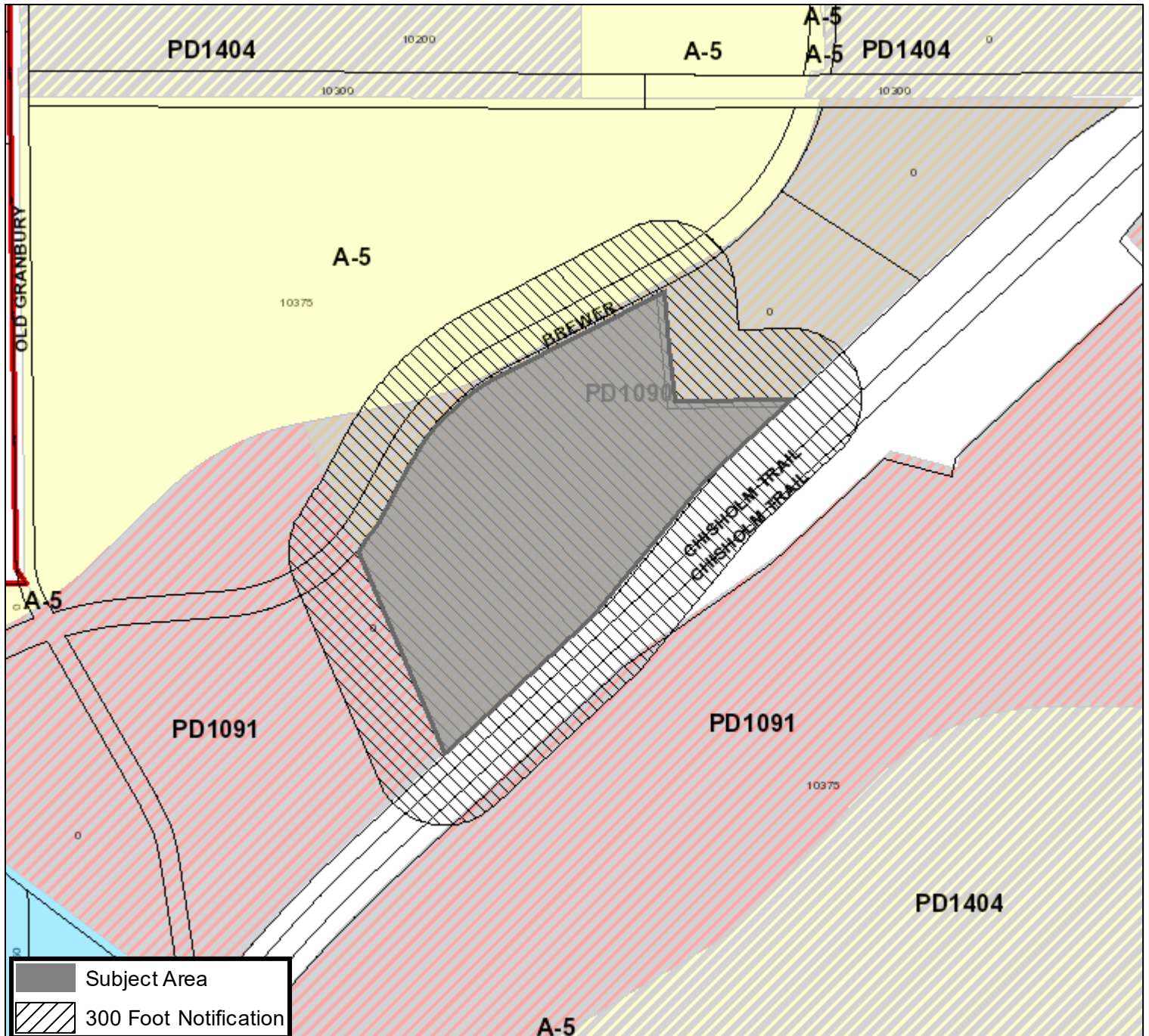
1. CFA will need to be executed per plat comments prior to final platting
2. Secondary ingress and egress to subdivisions. Multi-family developments of 100 dwelling units or more shall have a platted and constructed secondary ingress and egress to a public street. Ch. 31-101(c)(1) and (3)
3. Sidewalk connections throughout the development and from the development to Brewer are recommended



**Water**

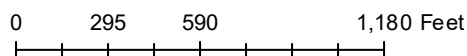
No comments submitted at the time of the report.


## Area Zoning Map

Applicant: Walton Texas LP/Ray Oujesky  
 Address: Bounded by Chisholm Trail Parkway to the south, Old Granbury Road to the west and Brewer  
 Zoning From: null  
 Zoning To: Add the required site plan to portion of PD 1090  
 Acres: 36.45292689  
 Mapsco: Text  
 Sector/District: Far\_Southwest  
 Commission Date: 11/13/2024  
 Contact: 817-392-6226



|  |                       |
|--|-----------------------|
|  | Subject Area          |
|  | 300 Foot Notification |



|   |   |
|---|---|
|  | <b>Zoning Summary</b>   |
| Existing Zoning:  | PD 1030   |
| Base Zoning:  | D District (High Density MF)  |
| Density   | Max. 32 units/acre  |
| Front yard  | Min. 20'  |
| Rear yard   | Min. 5'   |
| Side yard (Interior Lot)  | Min. 5'   |
| Side yard (Corner)  | Min. 10'  |
| Setback Adjacent to SF  | * 3' for every 1' (3:1) as measured from slab to top of sill plate, or 2' for every 1(2:1) in overall height when measured from lowest finished grade to the peak of the roof, whichever is greater; 30 feet minimum  |
| Setbacks  | * 20' min. Setback for dumpster enclosures and one-story accessory structures<br>* A 5' buffer yard and min. 6' screen fence shall be placed on the property line and should be landscaped per point system<br>MAX. 36 (slab to top plate)  |
| Height  | Max. 48' (slab to top plate beyond 250' setback to SF)<br>Min. 35%  |
| Open Space  | Open space is the ratio of open space to net land area for the purposes of calculating open space for unified residential developments in accordance with § 6.506, the net land area includes all building footprints, parking areas, access drives and fenced patios. OPEN SPACE must be open to the sky and cannot be paved, except for necessary sidewalks, active recreation areas and patios that are adjacent to dwelling units and not enclosed by a fence.<br>*Except for required front yards, no space or area less than 25 feet in either dimension shall be counted as open space<br>1 sp/BR + 1 sps/250' of common areas, offices and recreation). |
| Required Parking  | Buildings located on public streets must face the street with the longest length of the building placed parallel/adjacent to the street.  |
| Bldg. Orientation   |   |

Zoning Reviewed By: zz

**Owner**  
**ZALE Properties**  
 8333 Douglas Ave, Ste. 1500  
 Dallas, Texas 75225  
 Telephone: (214) 231-3765

**Architect**  
**JHP Architecture/ Urban Design**  
 8340 Meadow Rd #150  
 Dallas, Texas 75231  
 Telephone: (214) 363-5687




Director of Development Services:

Date:

# Zale Rock Creek - Site Plan

Zoning Case No. TBD  
 Location: Fort Worth, Texas (No Address assigned)  
 Preparation Date: 10.03.2024

|                                       |   |
|---------------------------------------|---|
| <b>PROJECT DATA (PHASE 1 &amp; 2)</b> | <b>648 units</b><br>(55% A units, 39% B units & 6% C units) |
| Residential (900 sf avg)              | 36 Acres  |
| Total Site Area                       | 18 Units/Acre   |

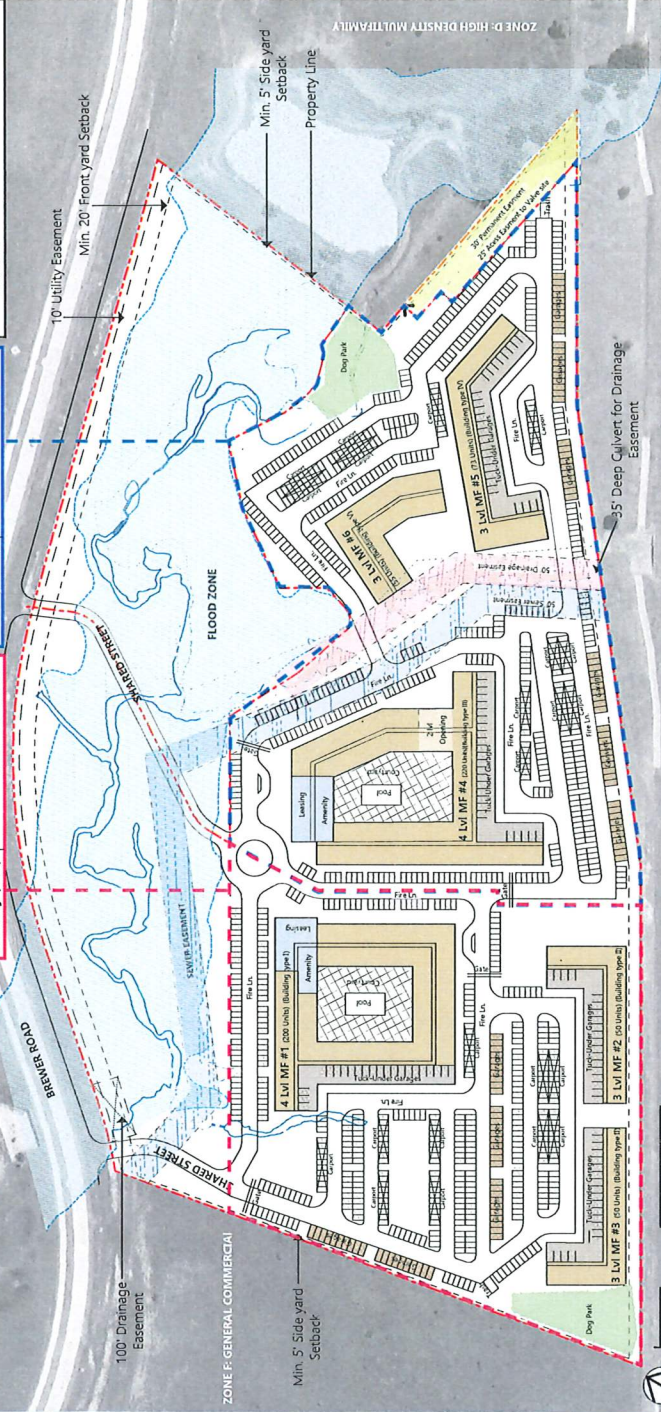
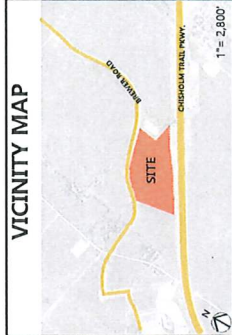
|  |
|--|
| <b>Legend</b>  |
|  Floodplain                 |
|  50' Wide Sewer Easement    |
|  50' Wide Drainage Easement |

|                                  |   |
|----------------------------------|---|
| <b>PHASE 1</b>                   | <b>300 units</b><br>(55% A units, 39% B units & 6% C units) |
| Residential (900 sf avg)         | 6,000 s.f.  |
| Leasing/Amenity Parking Required | 165 sps   |
| Parking Provided                 | 234 sps   |
|                                  | 54 sps  |
|                                  | 24 sps  |
| <b>Total</b>                     | <b>477 sps</b>  |
| Surface parking                  | 284 sps   |
| Carports                         | 98 sps  |
| Garages                          | 108 sps   |
| <b>Total</b>                     | <b>500 sps</b>  |
| Buildable Area                   | 10.4 Acres  |
| Density (Net)                    | 28.8 Units/Acre   |

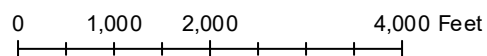
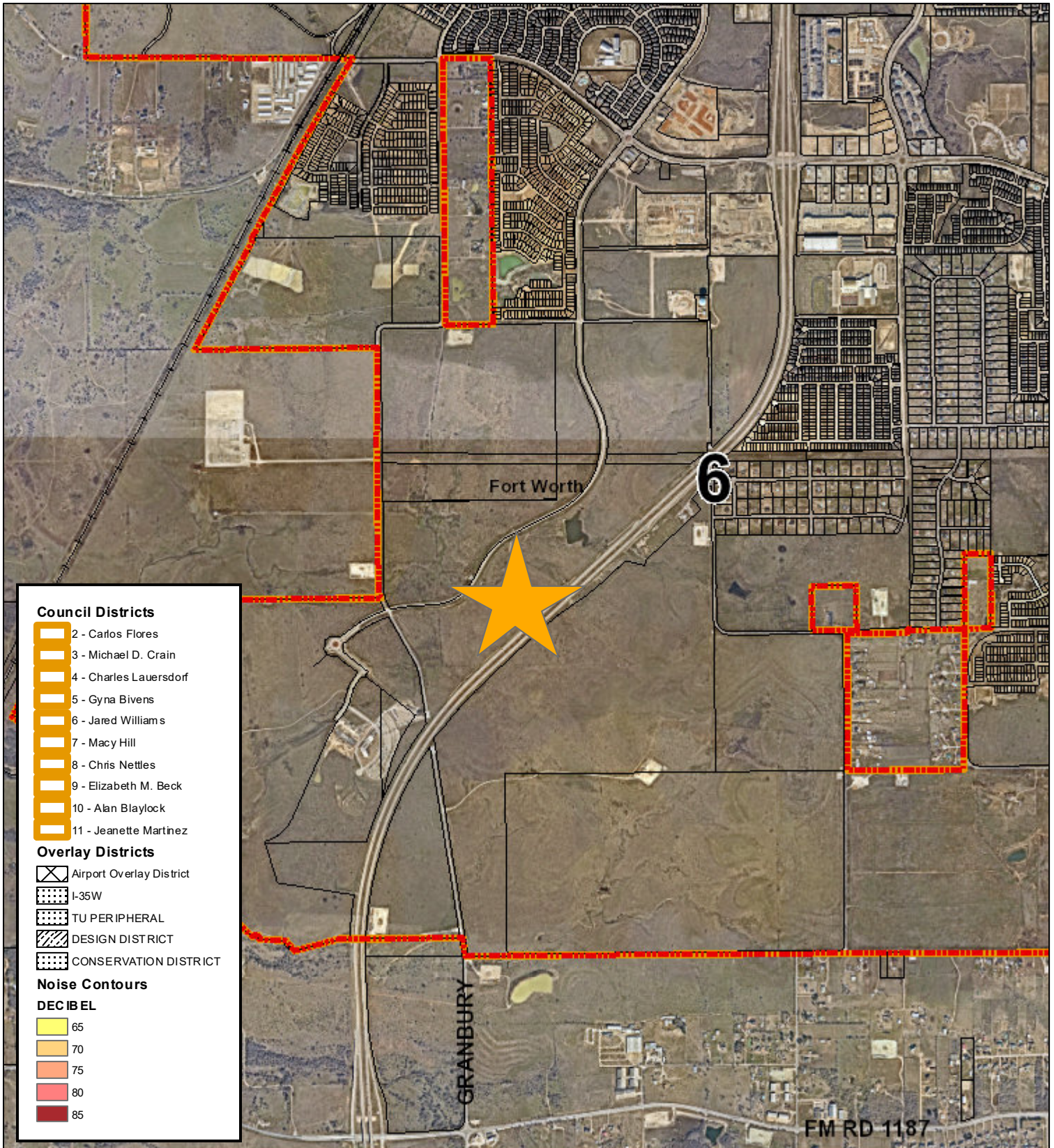
|                                  |   |
|----------------------------------|---|
| <b>PHASE 2</b>                   | <b>348 units</b><br>(55% A units, 39% B units & 6% C units) |
| Residential (900 sf avg)         | 6,000 s.f.  |
| Leasing/Amenity Parking Required | 192 sps   |
| Parking Provided                 | 270 sps   |
|                                  | 63 sps  |
|                                  | 24 sps  |
| <b>Total</b>                     | <b>549 sps</b>  |
| Surface parking                  | 371 sps   |
| Carports                         | 110 sps   |
| Garages                          | 109 sps   |
| <b>Total</b>                     | <b>590 sps</b>  |
| Buildable Area                   | 12.92 Acres   |
| Density (Net)                    | 27 Units/Acre   |

**General Notes:**

- This project will comply with Enhanced Landscaping Requirements for Section 4.712(d)(6).
- This project will comply with Section 6.302, Urban Forestry.
- All signage will conform to Article 4, Signs.
- All provided lighting will conform to the Lighting Code.
- This project will comply with the Multifamily Design Guidelines (MFD) and an MFD Site Plan shall be submitted.

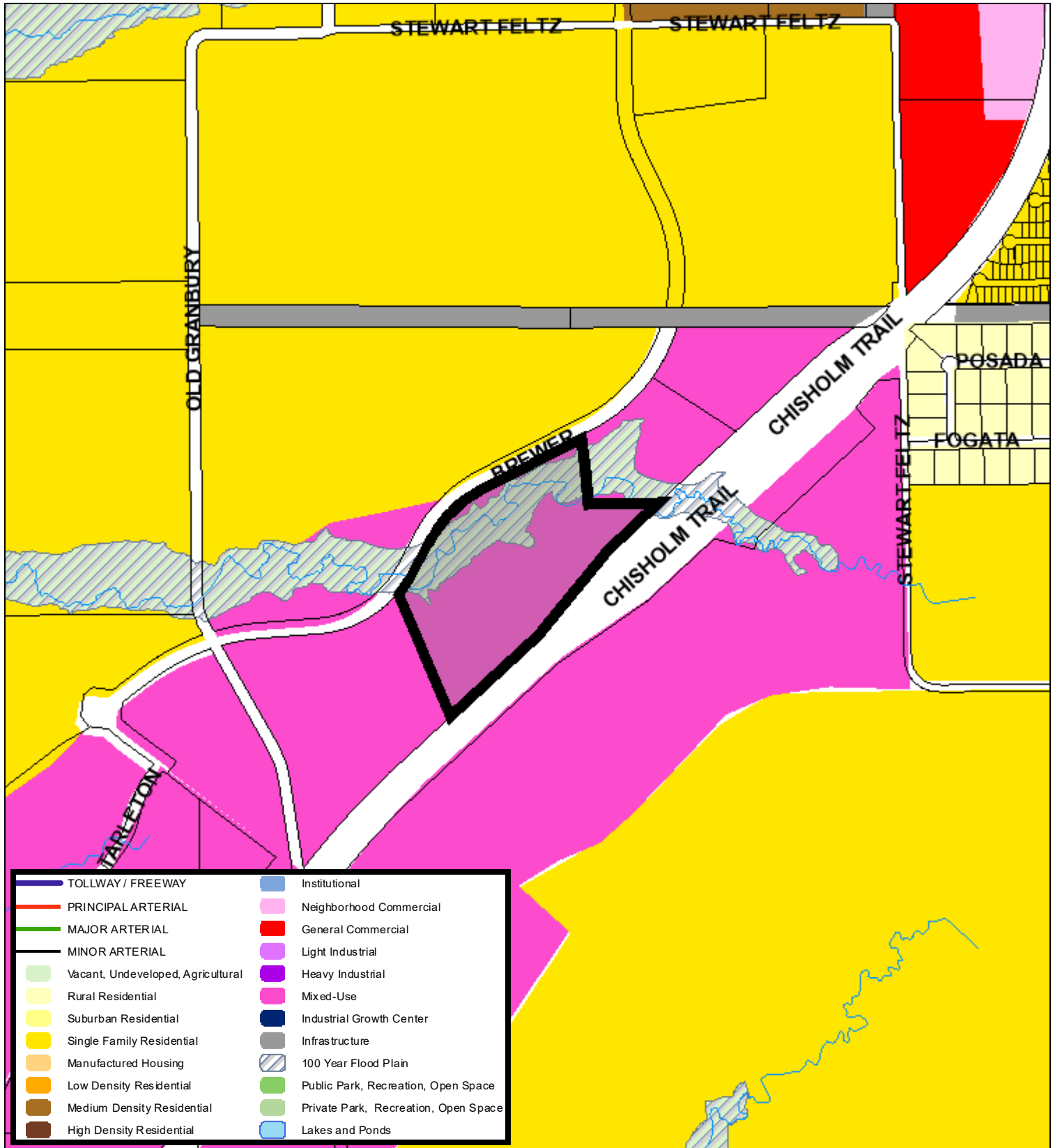


### Area Map





### Future Land Use

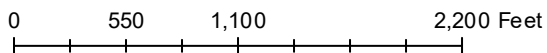


940 470 0 940 Feet

A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



## Aerial Photo Map





# Zoning Staff Report

**Date:** November 13, 2024

**Case Number:** ZC-24-136

**Council District:** 10

## Zoning Map Amendment & Site Plan

**Case Manager:** Brett Mangum

**Owner / Applicant:** Hunter Crossroads LP / Taylor Morrison & JBI Partners

**Site Location:** 2101-2200 Avondale Haslet Road

**Acreage:** 37.577 acres

### Request

**Proposed Use:** Multifamily (Apartment & Duplex cottages)

**Request:** From: "PD-830" Planned Development for "I" Light Industrial uses excluding certain uses. Outside storage is not allowed within 200 ft of the perimeter of the eastern property line. The maximum height for buildings within 50 ft of the eastern property line is 30 ft. Landscaping shall be provided along the eastern boundary as required by the Zoning Ordinance, Section 6.300. bufferyard and supplemental setback and with development standards, site plan waived.

To: "PD/CR" Planned Development with a base of "CR" Low Density Multifamily for detached multifamily with development standards for fences, parking, and driveways allowed in the front yard, reduced open space, reduced landscaping, and waivers to the MFD requirements; Site Plan included

### Recommendation

**Land Use Compatibility:** Requested change **is compatible**  
**Comprehensive Plan Map Consistency:** Requested change **is not consistent**  
**Comprehensive Plan Policy Consistency:** Requested change **is consistent**  
**Staff Recommendation:** **Approval**

### Table of Contents

1. [Project Description and Background](#)
2. [Surrounding Zoning and Land Uses](#)
3. [Recent Zoning History](#)
4. [Public Notification](#)
5. [Development Impact Analysis](#)
  - a. [Land Use Compatibility](#)
  - b. [Comprehensive Plan Consistency](#)
  - c. [Site Plan Comments](#)
6. Zoning Map with 300 ft. Notification Area
7. Site Plan & Elevations
8. Area Map
9. Future Land Use Map
10. Aerial Photograph

## Project Description and Background

This is a proposed detached multifamily development on an undeveloped site near Avondale Haslet Road and US Highway 287 in Council District 10 in far north Fort Worth. The total land area within the development is 37.577 acres. A total of 212 homes units are proposed, a mixture of 3- and 4-bedroom units, all two stories with attached two car garages. The typology will be closer to single family development, but since the land will be platted as a single lot of record rather than individual lots, the zoning is classified as multifamily, however this is not a traditional multifamily garden style apartment development. For additional details, see narrative provided by developer in the application below:

The property is located at approximately 2200 Avondale-Haslet Road. The proposed use is "C" multifamily to allow for detached multi-family dwelling units, specifically within PD 830. The current zoning on the property allows by right Light Industrial ("I") uses. Our proposed development exhibits show you the detached multi-family dwelling units' elevations and how they differentiate from a traditional multi-family project and are more akin to single-family in design and function.

The proposed use is in the "Multifamily" designation since the detached multi-family dwelling units will be located on one (1) lot versus individual lots like a single-family neighborhood. The proposed use is consistent with the area and will allow for a buffer to be created between the non-residential uses and apartment complex to the west from the single-family residential uses that are located outside of the city limits to the east. If approved the proposed use will be less intense than the permitted uses by right in PD-830 (existing zoning classification).





## Surrounding Zoning and Land Uses

- North “PD-827” & “PD-829” Intensive Commercial / undeveloped & retail
- East “I” Light Industrial & n/a (ETJ) – undeveloped & single family residential with a railroad track as a buffer
- South “G” Intensive Commercial & “AG” Agricultural / undeveloped and construction office
- West “PD-828” Planned Development / apartments

## Recent Zoning History

- ZC-08-121, A-5 to PD (Tracts 1 & 2, “E” Neighborhood Commercial, Tract 3, “C” Medium Density Multifamily, Tract 4 “F” General Commercial, and **Tract 5 [subject site], “I” Light Industrial**) Approved by City Council on October 7, 2008

## Public Notification

300-foot Legal Notifications were mailed on November 1, 2024.  
 The following organizations were emailed on November 1, 2024:

| Organizations Notified  |                              |
|-------------------------|------------------------------|
| Northwest ISD           |                              |
| Streams and Valleys Inc | Trinity Habitat for Humanity |

## Development Impact Analysis

### Land Use Compatibility

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The land is currently undeveloped. There is no direct adjacency with any residential areas. Two multifamily complexes are located across Avondale Farms Drive which provides a buffer on the west. A single family neighborhood is located across the railroad tracks (100-foot right of way) to the east, which is outside of the City limits. The distance between the existing residential structures to the subject site’s eastern boundary is between 360 and 450 feet, with an additional 20 feet before structures are proposed to be built. The areas to the north are beginning to fill in with occasional retail and commercial developments, on a parcel by parcel basis.

This change of zoning would have the effect of downzoning the area from a more intensive classification (light industrial) to a less intensive classification (low density residential). Industrial permits a far greater range of potentially harmful or disruptive uses than a residential zone, so staff is supportive of the change in this regard. In addition, the application has a site plan attached that should provide an additional level of assurance to the surrounding communities that the development will be in strict accordance with what is seen by Zoning Commission and City Council.

The proposed rezoning to “PD-CR” is **compatible** with the surrounding land uses.

### Comprehensive Plan Consistency – Far North Sector

The 2023 Comprehensive Plan designates the rezoning area as *future light industrial*, matching the zoning classification. In order to be considered in alignment with the future land use map, the designation would need to be future medium density residential. The change is **not consistent** with the Comprehensive Plan map designation. If the change is approved by City Council, staff recommends updating the future land use map designation to reflect the changes.

#### FUTURE LAND USE AND ZONING CLASSIFICATIONS

Zoning implements the Future Land Use Map, which guides the location of appropriate places to live, play, and conduct business. The future land use maps and policies are used by staff, appointed commissioners, and elected officials when making decisions regarding zoning, annexation, budgeting, and major public facilities expenditures.

#### APPENDIX C: FUTURE LAND USE BY SECTOR

| FUTURE LAND USE            | DESCRIPTION   | IMPLEMENTING ZONING               |
|----------------------------|---|-----------------------------------|
| <b>INDUSTRIAL</b>          |   |                                   |
| Light Industrial           | Warehousing, transportation, light assembly, outside storage  | MU-2, I, All Commercial           |
| Heavy Industrial           | Heavy manufacturing, outside storage, recycling centers, concrete batch plants  | All Commercial & Industrial       |
| Industrial Growth Center   | Industrial and commercial uses serving a large region   | MU-2, All Commercial & Industrial |
| <b>RESIDENTIAL</b>         |   |                                   |
| Rural Residential          | 1+ acre single-family   | A-2.5, A-43                       |
| Suburban Residential       | 1/2+ acre single-family   | A-21                              |
| Single-Family Residential  | 3,500+ sq. ft. lot single-family  | A-10, A-7.5, A-5, AR              |
| Manufactured Housing       | Manufactured home parks and subdivisions  | MH                                |
| Low Density Residential    | 2,500+ sq. ft. lot single-family, two-family, patio homes, townhouses, cluster housing                                    | B, R1, R2                         |
| Medium Density Residential | Up to 36 units/acre multifamily   | CR, C, D                          |
| Urban Residential          | Medium to high density, residential only, pedestrian-oriented development for use between higher and lower intensity uses | UR                                |
| High Density Residential   | >36 units/acre multifamily, mixed-use multifamily and pedestrian-oriented development in growth centers                   | UR, MU-1, MU-2, Form-Based Codes  |

However, the proposed rezoning is **consistent** at a policy level. One policy that supports the development is a land use policy for the Far North sector, number 1, shown below. Avondale Haslet Road has been expanded to a four lane facility with center turn lane and sidewalks, while Avondale Farms Drive supports two additional housing complexes, and will likely be extended in the future to provide connectivity to the Highway 287 northbound frontage road once improvements to that corridor are completed by TxDOT.

# FAR NORTH SECTOR FUTURE LAND USE

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## ***Sector Land Use Policies***

1. Promote fiscally sustainable growth on the periphery of the city by encouraging development adjacent to existing adequate infrastructure and discouraging leapfrog development.

Additionally, the development is supported by the City's Neighborhood Conservation Plan and Housing Affordability Strategy, which suggests providing a continuum of different housing types in order to combat the housing crisis, create more dwelling units to keep paces with the growth of jobs in Fort Worth, and lastly to promote affordability.

## Site Plan Comments

---

### **Zoning and Land Use**

(All comments outstanding as of 11/04/2024)

#### Application:

- o Proposed zoning district should be "PD/CR" not "PD-830"
- o Proposed use of property should be "Detached Multifamily (Cottage Community)" not "Multi-family"
- o Base zoning district proposed should be "CR" Low Density Multifamily not "I and CR"
- o Land uses being added or removed should be "adding cottage community" instead of "adding multi-family"
- o Check yes and add listing of all waivers to "CR" development standards
- o Amend narrative on to "The proposed use is "CR" (not "C")
- o Strike last sentence on narrative - base "I" zoning and uses would be replaced with base "CR" zoning and uses

#### Site Plan:

- o Add case reference ZC-24-136
- o Strike note 4 and incorporate into waiver list
- o Revise note 1 from "Site Plan Requirements" to "Site Plan Required"
- o Remove waiver references in note 1 and list in a separate note just below
- o Relocate note 2 to the end (note 12)
- o List all waivers under note 1
- o Remove references to artificial lot for leasing center
- o Relocate dumpsters out of view of public right of way
- o Provide height information (max 36' slab to top plate, or add waiver for additional height)
- o Specify the type of fencing intended along all boundaries (single or double sided, wood or masonry), and add definitive height of proposed fencing

Provide Open Space exhibit with green shading for areas counted towards open space. Open space should meet the following criteria in order to be counted

### **Fire Department**

FWFD - (Lt. Donna York, donna.york@fortworthtexas.gov or fireplating@fortworthtexas.gov)

Gas Well Pad Site on northeast corner of survey has a multi-pad site permit. By rough estimate, the buildings closest are very close to the minimum of 225' from the edge of the pad site. The tank batteries will not impact the buildings shown. Building permit review will determine the exact placement.

225' Building Setback measured from the edge of the pad site for Protected Use & Public Building structures.

125' Building Setback from the edge of the Multi Well Permitted gas well site for 125' Habitable Structures.

Tank battery and Equipment Setbacks: 200' from the tank battery for Protected, Public, and Habitable uses.

Section 5706.3.1.3.3 Existing Gas Wells

Secondary access and appropriate fire lane width are provided, as required.

Section 503.1.2 Secondary Access

Section 503.2.1 Fire Lane Dimensions

Fire lanes that are divided by a median are required to have 20' width on either side of the median.  
Section 503.2.1 Fire Lane Dimensions

Vehicle gates are required to be a minimum of 20' clear width when fully opened.  
Section 503.6 Security Gates

Additional hydrants will be required to accommodate the following:  
Maximum of 600 ft. (300 ft. radius) of space between hydrants along a direct horizontal line, and  
Maximum of 500 ft. hose lay distance to all points of building.  
Maximum distance from Fire Department Connection (FDC); if sprinkler systems or standpipes provided:  
150 ft. for a standpipe system, and/or a sprinkler system.  
Sections 507.5.1 (2) and (3)

Internal roads must be platted or recorded as named Emergency Access Easements for addressing purposes. Each unit will have its own address. There are not enough address numbers available to accommodate un-named fire lanes only.

General information:

Failure to recognize violations of the fire code by the fire code official does not waive the requirement of meeting minimum requirements of the fire code in the future.

It is the applicant's and the owner's responsibility to meet all minimum fire code requirements at all times.

The City of Fort Worth has adopted the 2021 International Fire Code as its current fire code at the time of this review. The City of Fort Worth has also adopted Amendments #25388-03-2022.  
<https://www.fortworthtexas.gov/departments/fire/services/bureau>

### **Water**

1. HOLD - 10/30/24 - Need an overall utility site plan that includes easements for all large meters and service lines.

### **Stormwater**

Drainage study required prior to infrastructure plan acceptance, platting, grading permit & building permit issuance.

No CFRA or FEMA Floodplain on or around the site. Potential high water is present on site and may reach up to 5 ft in depth.

Storm infrastructure is present on site per TPW Plan Set K-2374.

### **Transportation/Public Works**

Workflow in Accela cleared by Stu Burzette, but no comments provided

### **Platting**

No response provided

### **Park & Recreation**

No response provided

### **Building Plan Review**

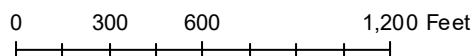
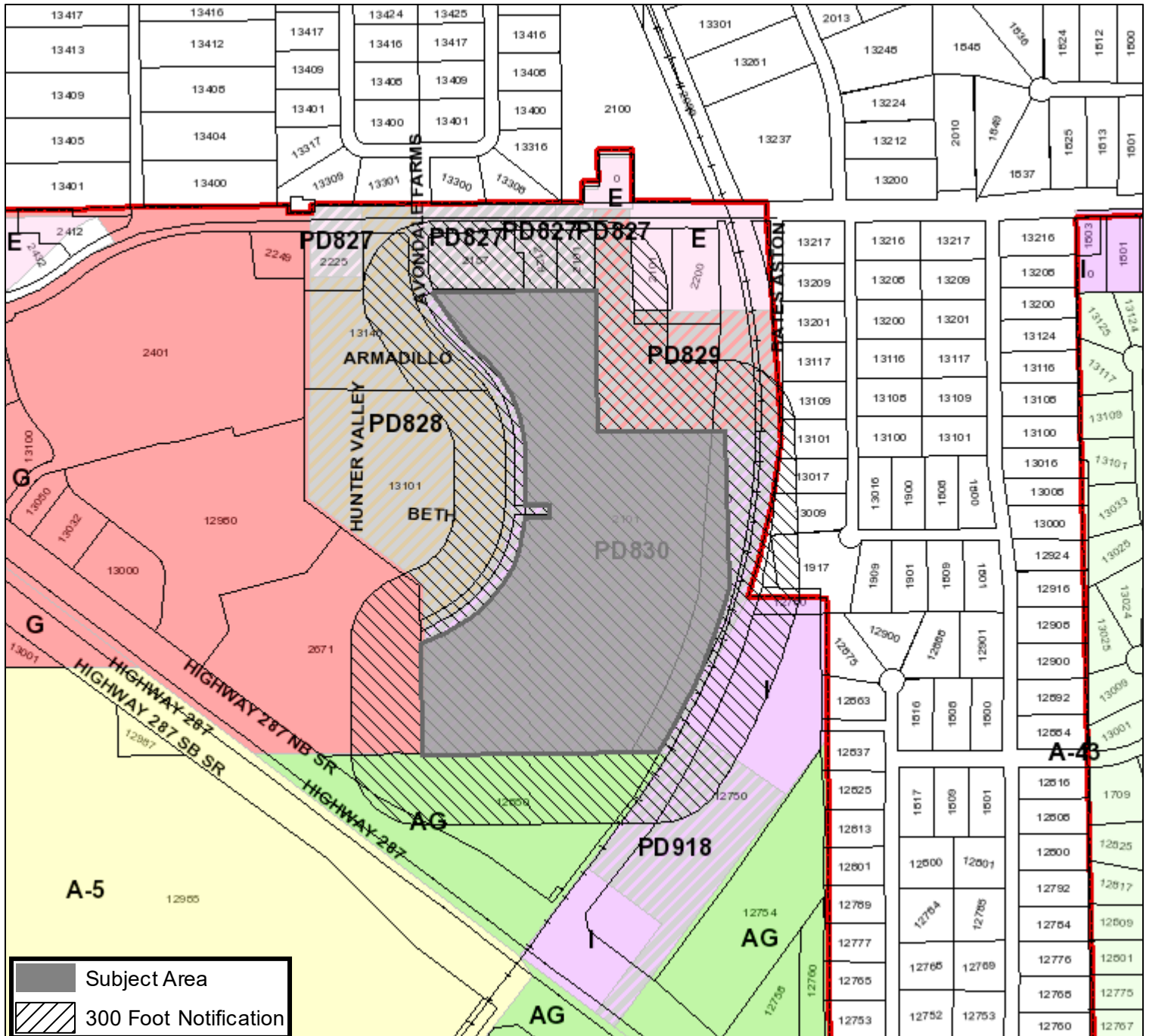
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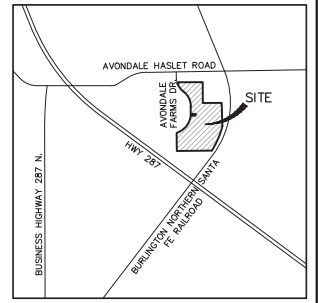
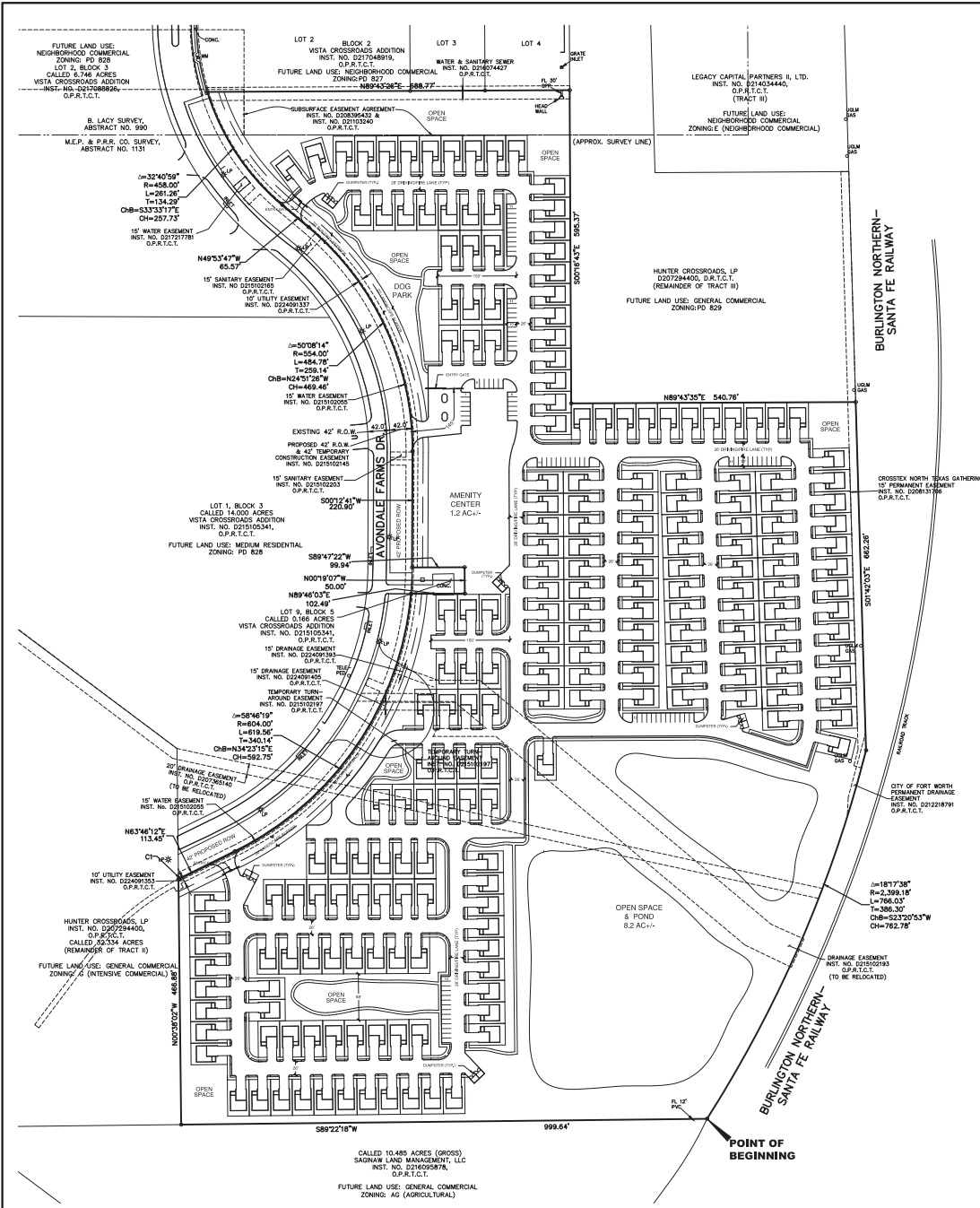
*(Comments made by Platting (Subdivision Ordinance), Transportation/Public Works, Fire, Park & Recreation, and Water Department staff cannot be waived through the Zoning Commission and City Council. Approval of the zoning site plan does not constitute the acceptance of conditions.)*



### Area Zoning Map

Applicant: Hunter Crossroads LP  
 Address: 2101 AVONDALE HASLET RD  
 Zoning From: PD830  
 Zoning To: null  
 Acres: 37.53944978  
 Mapsco: Text  
 Sector/District: Far\_North  
 Commission Date: 11/13/2024  
 Contact: 817-392-8043





VICINITY MAP  
N.T.S.

- NOTES:
1. ABSTRACT LINES SHOWN HEREON ARE APPROXIMATE.
  2. FLOOD STATEMENT: ACCORDING TO COMMUNITY PLAN NO. 484392003L, DATED MARCH 21, 2019 OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY, NATIONAL FLOOD INSURANCE MAP, THIS PROPERTY IS WITHIN UNSHADED ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN), WHICH IS NOT A SPECIAL FLOOD HAZARD AREA. IF THIS SITE IS NOT WITHIN AN IDENTIFIED SPECIAL FLOOD HAZARD AREA, THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR THE STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. ON RARE OCCASIONS, GREATER FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES. THIS STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.
  3. BASIS OF BEARING: THE BASIS OF BEARING IS BASED ON THE COORDINATE SYSTEM (NORTH CENTRAL ZONE 4202 STATE PLANE COORDINATES NAD83). DISTANCES SHOWN HEREON ARE GRID DISTANCE VALUES.

- GENERAL NOTES & LEGEND:
1. PD/CR PLANNED DEVELOPMENT FOR ALL USES IN "CR" LOW DENSITY MULTI-FAMILY PLUS COTTAGE COMMUNITY; SITE PLAN REQUIREMENTS, WAIVERS TO UNIFIED RESIDENTIAL DEVELOPMENT SUBMISSION, AND DEVELOPMENT STANDARDS APPLY TO COTTAGE COMMUNITY ONLY.
  2. VARIATION OF ROOF ELEVATIONS AND EXTERIOR WALL MATERIALS AND COLORS SHALL BE INCORPORATED TO PROVIDE ARCHITECTURAL VARIETY. ALLOWABLE MATERIALS TO INCLUDE BRICK, STONE, SYNTHETIC STONE, STUCCO, AND FIBER CEMENT SIDING.
  3. THIS REQUEST FOR A PLANNED DEVELOPMENT IS IN ACCORDANCE WITH THE "CR" DISTRICT STANDARDS, WITH THE FOLLOWING EXCEPTIONS:  
 \*\*FENCES, GATES, PARKING, AND ACCESS EASEMENTS/ACCESS DRIVES SHALL BE ALLOWED IN FRONT, SIDE, & REAR YARD SETBACKS AND WITHIN THE AREA BETWEEN BUILDING FACADES AND PROPERTY LINE.  
 \*\*THE MINIMUM LANDSCAPE AREA AS REQUIRED BY SECTION 6.301 SUBSECTION 1C SHALL APPLY ONLY TO THE LIMITS OF THE LEASING CENTER ARTIFICIAL LOT, AS SHOWN ON THIS PLAN.
  4. A URD SITE PLAN WILL NOT BE REQUIRED FOR A COTTAGE COMMUNITY DEVELOPMENT.
  5. ALL PROVIDED LIGHTING WILL CONFORM TO LIGHTING CODE.
  6. ALL SIGNS WILL CONFORM TO ARTICLE 4. SIGNS MAY BE LOCATED IN THE FRONT SETBACK AS SHOWN ON THE SITE PLAN.
  7. THIS PROJECT WILL COMPLY WITH ENHANCED LANDSCAPING POINT SYSTEM REQUIREMENTS FOR SECTION 4.710 LOW DENSITY MULTIFAMILY ("CR") DISTRICT.
  8. THIS PROJECT WILL COMPLY WITH SECTION 6.302, URBAN FORESTRY.
  9. DUMPSTERS WILL BE SCREENED IN WITH A MASONRY WALL ON THREE SIDES AND CONTAIN A GATE.
  10. ALL RESIDENCES SHALL HAVE TYPE 13D FIRE SPRINKLERS.
  11. BUILDING SEPARATION SHALL BE A MINIMUM SPACING BETWEEN UNITS OF 8 FEET (FOUNDATION TO FOUNDATION).

CURRENT ZONING: PD 830  
 PROPOSED ZONING: PD CR (LOW DENSITY MULTIFAMILY)

DIRECTOR OF DEVELOPMENT SERVICES \_\_\_\_\_ DATE \_\_\_\_\_

OPEN SPACE PROVIDED: 12.7 AC +/-

| RESIDENTIAL SUMMARY |            |                     |                   |       |
|---------------------|------------|---------------------|-------------------|-------|
| BUILDING TYPE       | FLOOR AREA | MAX UNIT DIMENSIONS | NUMBER OF STORIES | HOMES |
| 3/4 BEDROOM         | 1767       | 41' X 77'           | TWO STORY         | 212   |

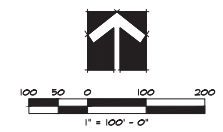
PARKING REQUIRED

RESIDENTIAL:  
 GARAGE AND TANDEM:  
 212 (ASSUME ALL 4 BR HOMES) = 848 SPACES

NON-RESIDENTIAL:  
 AMENITY CENTER 1SP/250 SF = 16 SPACES

TOTAL = 864 SPACES

| PARKING PROVIDED - SUMMARY |            |        |
|----------------------------|------------|--------|
| PARKING TYPE               | DIMENSIONS | SPACES |
| GARAGE                     | 9' X 18'   | 424    |
| TANDEM                     | 9' X 18'   | 424    |
| AMENITY CENTER             | 9' X 18'   | 19     |
| OTHER                      | 9' X 18'   | 71     |
| TOTAL                      |            | 938    |



PD SITE PLAN  
 ZONING CASE # \_\_\_\_\_

**YARDLY HUNTER CROSSROADS**  
 37.577 ACRES OUT OF  
 M.E.P. & P.R.R. CO. SURVEY, ABSTRACT NO. 1131,  
 B. LACY SURVEY, ABSTRACT NO. 990  
 CITY OF FORT WORTH, TARRANT COUNTY, TEXAS

212 LOTS

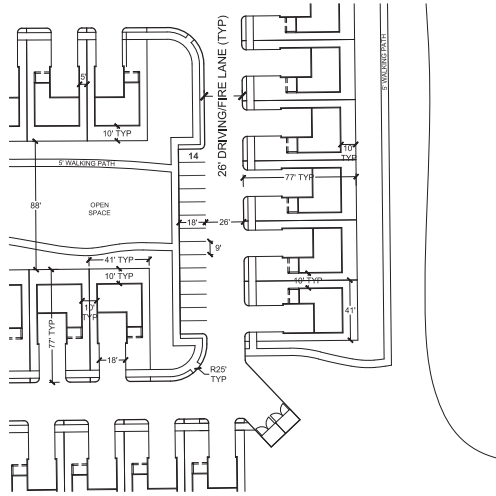
**HUNTER CROSSROADS LP** OWNER  
 3890 W Northwest Hwy, Suite 100 (214) 244-8809  
 Dallas, Texas 75220  
 Contact: Tony Shaw  
 tshaw@tonyshawproperties.com

**TAYLOR MORRISON** APPLICANT/DEVELOPER  
 6735 Salt Cedar Way Building 1, Suite 200 (469) 252-2199  
 Frisco, Texas 75034  
 Contact: Sunny Patel  
 supatel@toyormorrison.com

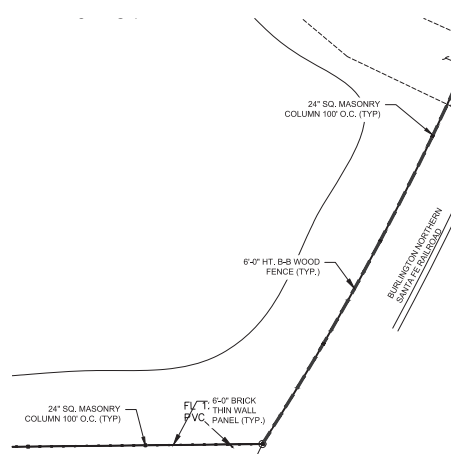
**JBI PARTNERS, INC.** SURVEYOR/ENGINEER  
 2121 Midway Road, Suite 300 (972) 248-7676  
 Carrollton, Texas 75006  
 Contact: Jerry Sylo  
 jsylo@jbipartners.com  
 TSP# No. F-438 TPL# No. 10076600

Submitted: October 7, 2024

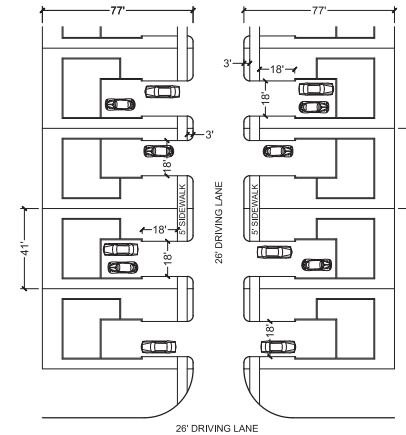
Sheet 1 of 1



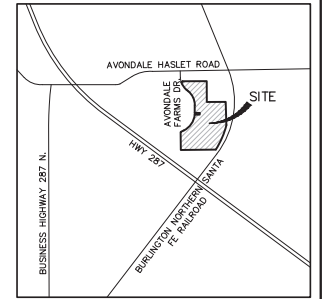
**TYPICAL HOME LAYOUT**  
SCALE: 1" = 40'



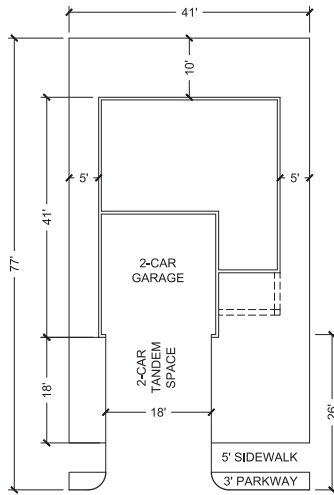
**TYPICAL FENCE DETAIL**  
SCALE: 1" = 50'



**TYPICAL "STREET" PLAN VIEW**  
SCALE: 1" = 30'



**VICINITY MAP**  
N.T.S.



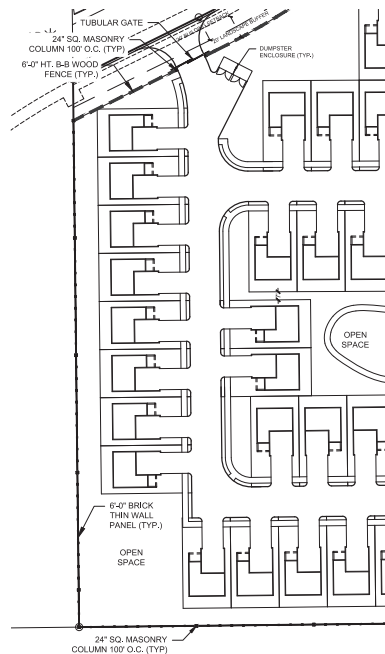
26' DRIVING LANE

FIRST FLOOR LIVABLE AREA: 682 SF  
 SECOND FLOOR LIVABLE AREA: 1085 SF  
 TOTAL LIVABLE: 1767 SF

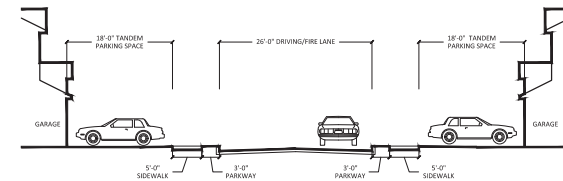
2-CAR GARAGE: 408 SF  
 PORCH: 80 SF

AREA UNDER ROOF: 2255 SF

**3/4 BEDROOM HOUSE**  
SCALE: 1" = 10'



**TYPICAL FENCE DETAIL**  
SCALE: 1" = 50'



**TYPICAL "STREET" SECTION**  
SCALE: 1" = 10'

**DETAILS**  
**ZONING CASE # \_\_\_\_\_**  
**YARDLY HUNTER CROSSROADS**  
 37.577 ACRES OUT OF  
 M.E.P. & P.R.R. CO. SURVEY, ABSTRACT NO 1131,  
 B. LACY SURVEY, ABSTRACT NO 990  
 CITY OF FORT WORTH, TARRANT COUNTY, TEXAS

212 LOTS

|   |                            |
|---|----------------------------|
| <b>HUNTER CROSSROADS LP</b>   | <b>OWNER</b>               |
| 3890 W Northwest Hwy, Suite 100<br>Dallas, Texas 75220<br>Contact: Tony Shaw<br>tshaw@tonyshawproperties.com                              | (214) 244-8809             |
| <b>TAYLOR MORRISON</b>  | <b>APPLICANT/DEVELOPER</b> |
| 6735 Salt Cedar Way Building 1, Suite 200<br>Frisco, Texas 75034<br>Contact: Sunny Patel<br>supatel@toyormorrison.com                     | (214) 244-8809             |
| <b>JB PARTNERS, INC.</b>  | <b>SURVEYOR/ENGINEER</b>   |
| 2121 Midway Road, Suite 300<br>Carrollton, Texas 75006<br>Contact: Jerry Sylo<br>jsylo@jbparters.com<br>TRF# No. F-438 TRPLS No. 10076000 | (972) 248-7676             |



**FRONT ELEVATION**

CHAMBRAY 1/4" = 1'-0"



**FRONT ELEVATION**

COASTAL 1/4" = 1'-0"

NOTE: BUILDING COLORS ARE CONCEPTUAL AND FOR GRAPHIC PURPOSES ONLY.  
 ACTUAL BUILDING COLOR SCHEME MAY VARY FROM WHAT IS SHOWN.

FELTENGROUP

**YARDLY HUNTER CROSSROADS**

DETACHED HOME ELEVATIONS **JBI**  
 FT WORTH, TEXAS PARTNERS



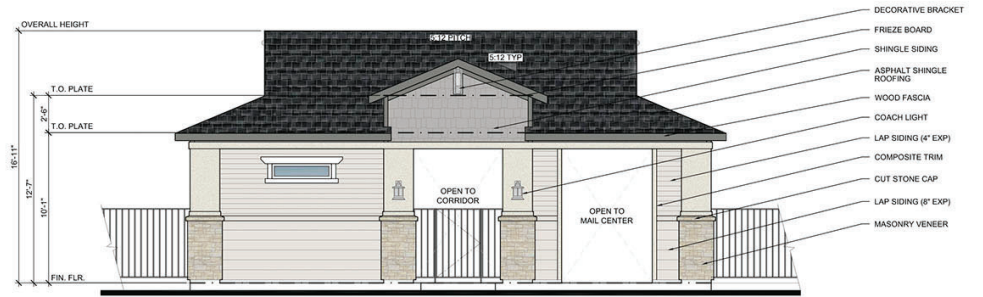
AMENITY BUILDING

FRONT ELEVATION  
HILL COUNTRY 1/4" = 1'-0"



AMENITY BUILDING

RIGHT ELEVATION  
HILL COUNTRY 1/4" = 1'-0"



BATH/MAILBOX BUILDING

FRONT ELEVATION  
CRAFTSMAN 1/4" = 1'-0"

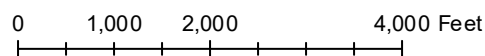
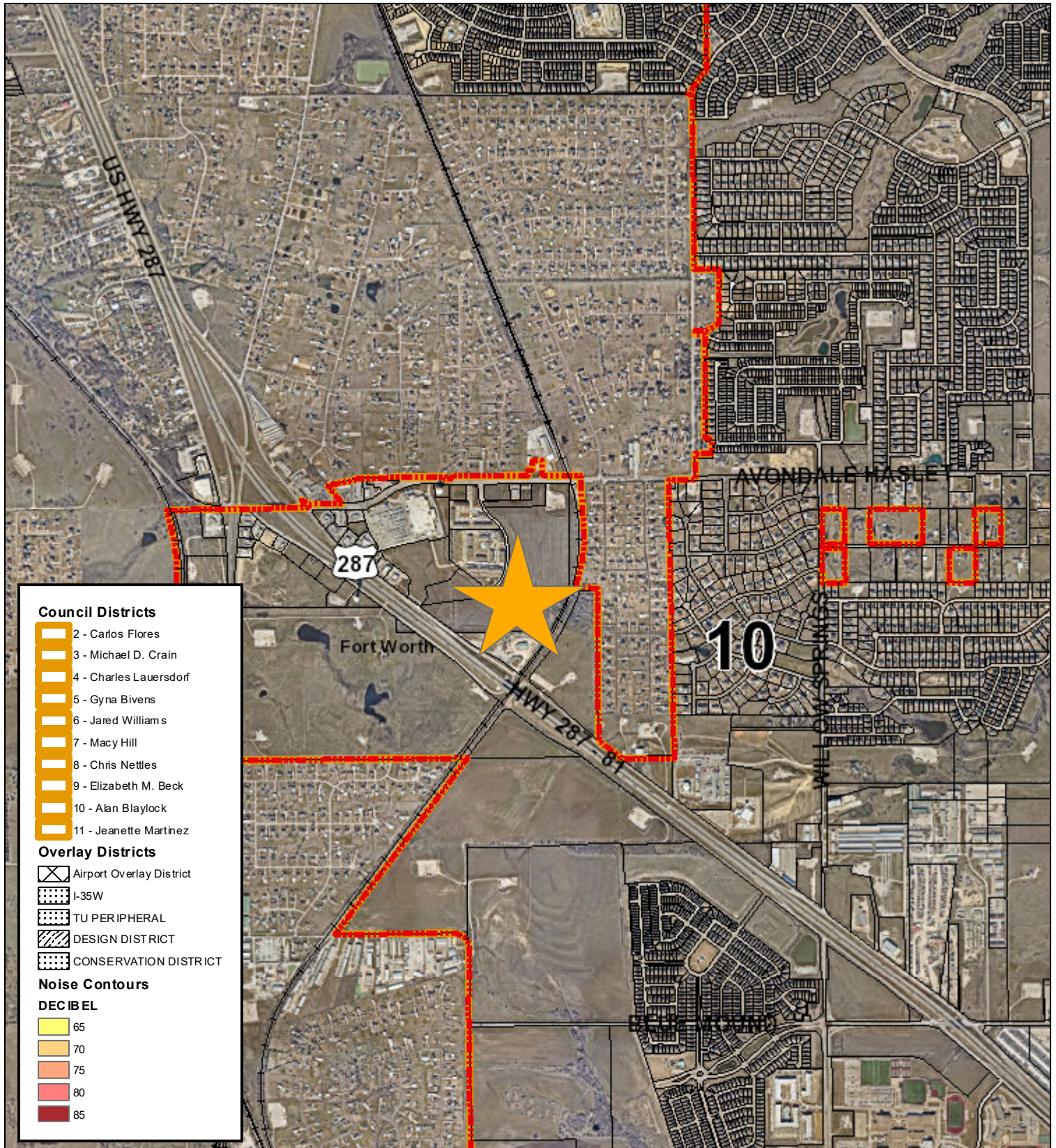
NOTE: BUILDING COLORS ARE CONCEPTUAL AND FOR GRAPHIC PURPOSES ONLY.  
ACTUAL BUILDING COLOR SCHEME MAY VARY FROM WHAT IS SHOWN.

FELTENGROUP

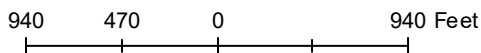
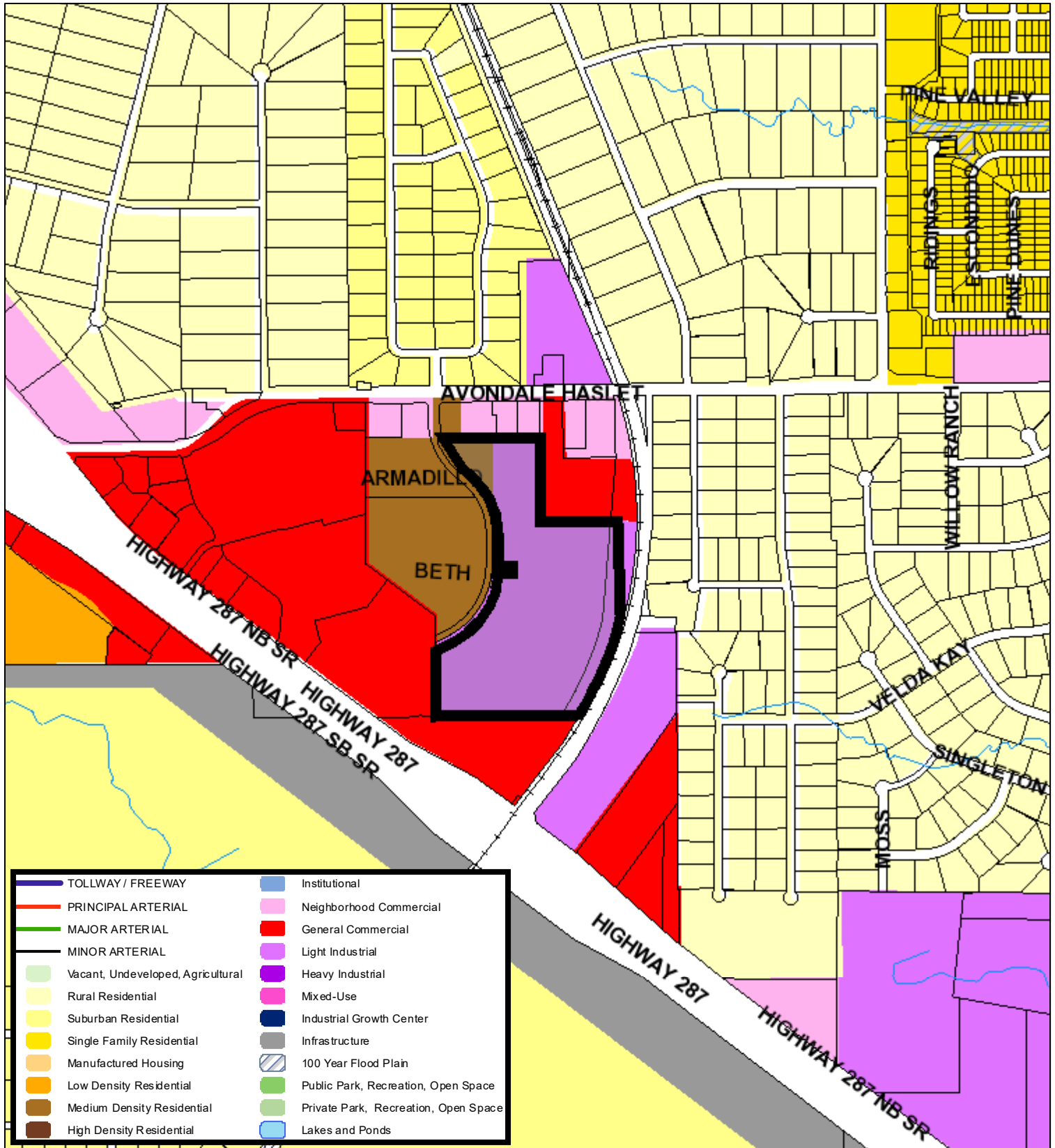
YARDLY HUNTER CROSSROADS

NEIGHBORHOOD BUILDINGS JBI  
FT WORTH, TEXAS PARTNERS

### Area Map



### Future Land Use



A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



## Aerial Photo Map



0 550 1,100 2,200 Feet







# Zoning Staff Report

**Date:** November 13, 2024

**Case Number:** ZC-24-137

**Council District:** 6

## Zoning Map Amendment & Site Plan

**Case Manager:** Brett Mangum

**Owner / Applicant:** Arlington Harris Road Minis Ltd. / Kimley Horn, Brandon Middleton

**Site Location:** 9300 & 9321 W Cleburne Road

**Acreage:** 5 acres

### Request

**Proposed Use:** Tract 1-Neighborhood Commercial, Tract 2-self storage (mini-warehouse)

**Request:** From: "AG" Agricultural

**To:** Tract 1: "E" Neighborhood Commercial (1.82 acres)

Tract 2: "PD-E" Planned Development for all uses in Neighborhood Commercial plus mini-warehouse, Site Plan included (3.18 acres)

### Recommendation

**Land Use Compatibility:**

Tract 1: Requested change **is compatible**

Tract 2: Requested change **is not compatible**

**Comprehensive Plan Map Consistency:**

Tract 1: Requested change **is not consistent**

Tract 2: Requested change **is not consistent**

**Comprehensive Plan Policy Consistency:**

Tract 1: Requested change **is consistent**

Tract 2: Requested change **is consistent**

**Staff Recommendation:**

Tract 1: **Approval**

Tract 2: **Denial**

### Table of Contents

- |   |  |
|---|--|
| 1. <a href="#">Project Description and Background</a> | 6. Zoning Map with 300 ft. Notification Area |
| 2. <a href="#">Surrounding Zoning and Land Uses</a>   | 7. Site Plan                                 |
| 3. <a href="#">Recent Zoning History</a>              | 8. Area Map                                  |
| 4. <a href="#">Public Notification</a>                | 9. Future Land Use Map                       |
| 5. <a href="#">Development Impact Analysis</a>        | 10. Aerial Photograph                        |

## Project Description and Background

The subject site is an undeveloped 5-acre tract located at the intersection of W. Cleburne Road and N. Crowley Cleburne Road in Council District 6. The site is proposed to be zoned with two different classifications. The majority of the site at 3.18 acres would be zoned “PD-E” for development of a self storage facility with office and commercial space along the Cleburne Road frontage, while the remainder of the tract at 1.82 acres would be zoned straight “E” Neighborhood Commercial for future development.

The tract 2 portion for “PD-E” Planned Development will be based on “E” Neighborhood Commercial development standards, with the added land use allowance for mini-warehouse. No development standards or waivers are proposed at this time. Typically the mini-warehouse use requires industrial zoning, or a planned development. A Site Plan has been attached to this PD, ensuring any development will follow precisely what is approved by Zoning Commission & City Council, which would give the surrounding community an added level of assurance.





### Surrounding Zoning and Land Uses

- North "B" Two Family Residential / single family residential
- East "A-5" One Family Residential / single family residential
- South "A-5" One Family Residential / single family residential
- West "A-5" One Family Residential / single family residential

### Recent Zoning History

- None

## Public Notification

300-foot Legal Notifications were mailed on November 1, 2024.  
The following organizations were emailed on November 1, 2024:

| Organizations Notified  |                              |
|-------------------------|------------------------------|
| Wellington Point HOA*   | Crowley ISD                  |
| Summer Creek Ranch HOA  | District 6 Alliance          |
| Streams and Valleys Inc | Trinity Habitat for Humanity |

\*Located within this registered Neighborhood Association

## Development Impact Analysis

### Land Use Compatibility

Tract 1 proposed for neighborhood commercial would be appropriate at this location, which is located where two collector roads intersect, and has adequate rooftops in the vicinity to support small scale, walkable commercial, including restaurant, retail, and office space. Tract 1 rezoning to “E” **is compatible** with the surrounding land uses.

For Tract 2, the applicant is seeking to create a new Planned Development based on “E” Neighborhood Commercial that will accomplish the following:

- 1) Add ‘Mini-warehouse’ land use in “E”
- 2) Add Site Plan

With the southern portion of this property directly abutting an established single family residential neighborhood, development of a large two story, 90,000 square foot facility here would be out of scale with the existing surroundings, even with the required buffering measures taken into account. The standard neighborhood commercial uses, such as barber shops, bookstores, studios, offices, public and civic uses, retail, banks, restaurants, and small offices would be more conducive in this location and would fit in better with the established fabric of the community. The proposed rezoning to “PD-E” for Tract 2 to build mini-warehouses **is not compatible** with the surrounding land uses.

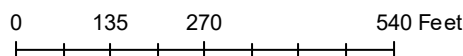
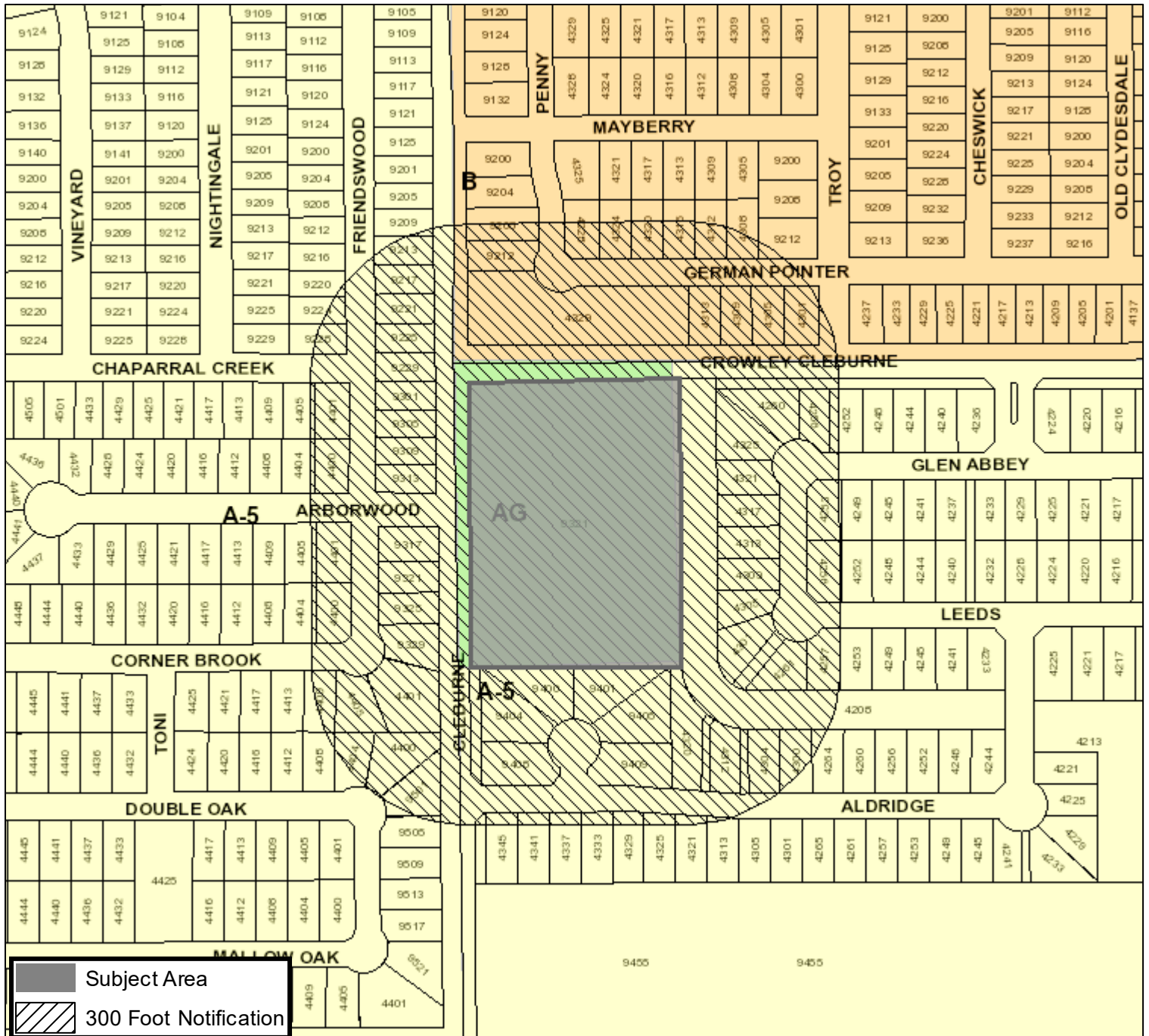
### Comprehensive Plan Consistency – Far South Sector

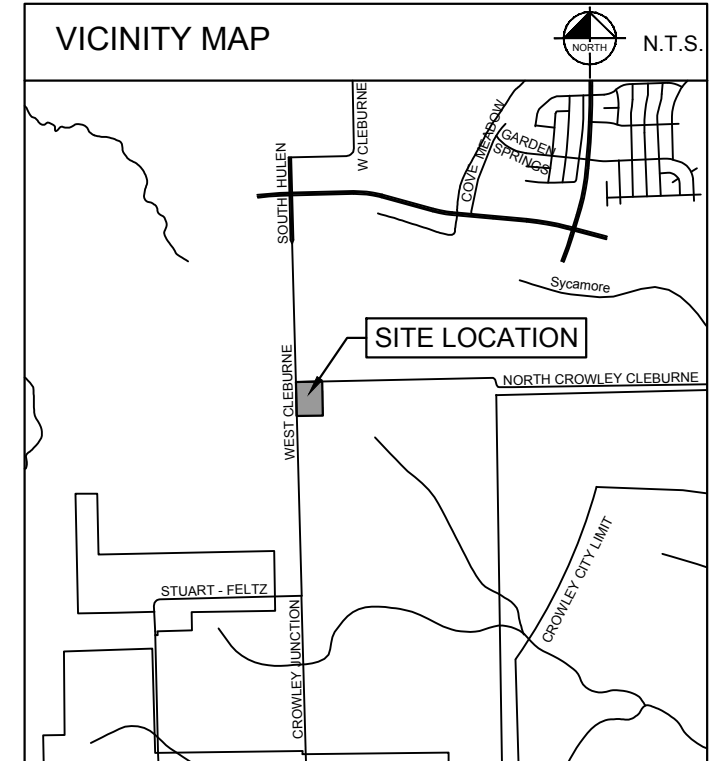
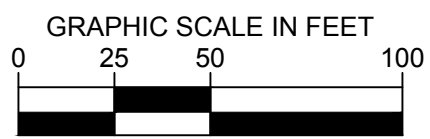
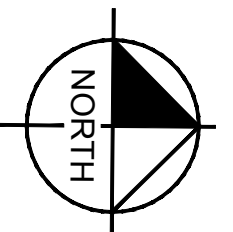
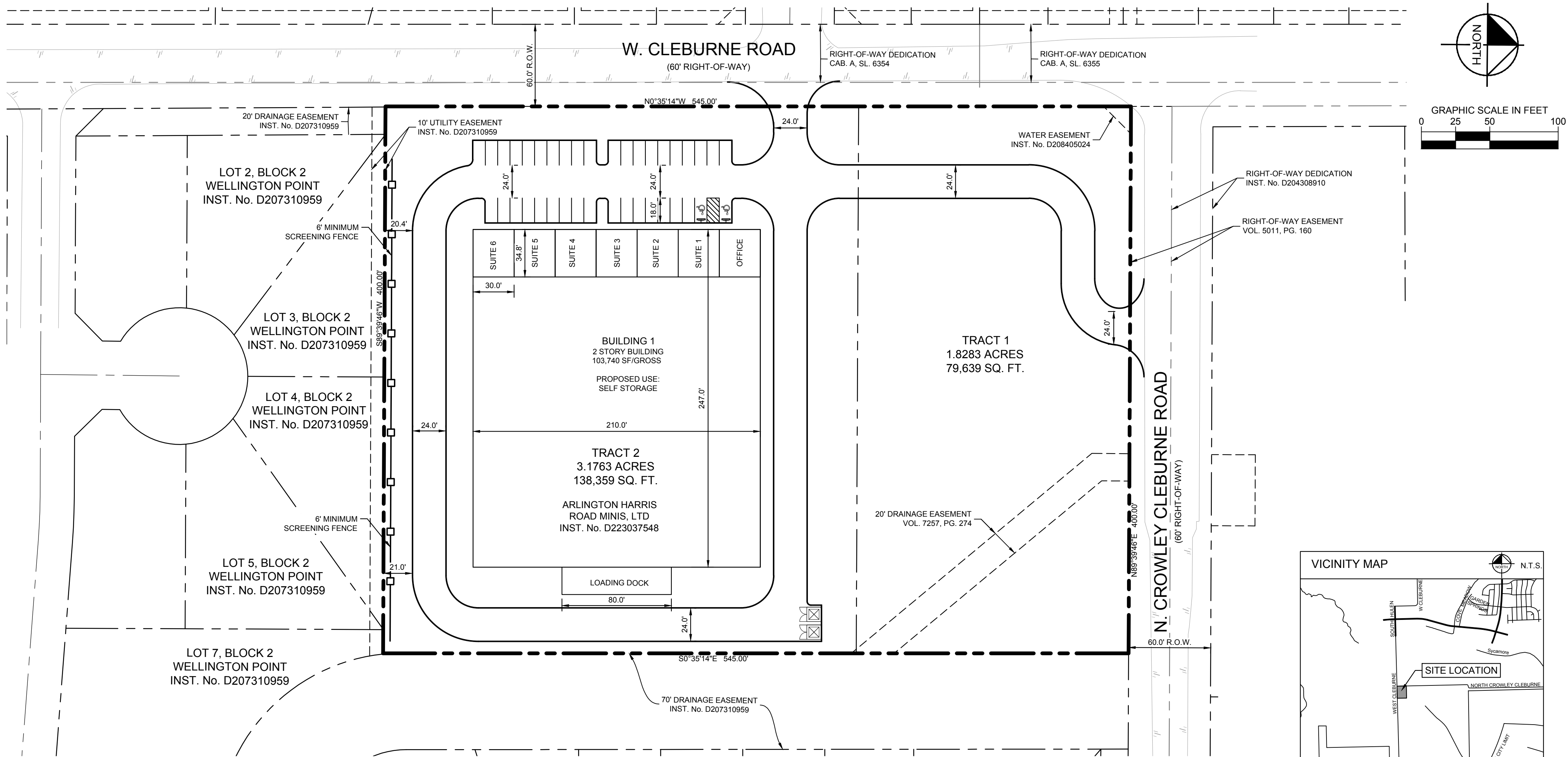
The proposed rezoning **is consistent** with the Comprehensive Plan policies.

The 2023 Comprehensive Plan designates the site as *future open space*. The proposal to rezone to “E” and “PD-E” **is not consistent** with the adopted Comprehensive Plan map designation. The Comprehensive Plan suggests that land with this designation be used for public or private recreation, or remain as passive land. “E” and “PD-E” zoning would require a designation of *future neighborhood commercial* in order to be judged as consistent with the Comprehensive Plan map. If this zoning change request is approved, staff recommends that the Future Land Use Map also be updated to reflect this change.

## Area Zoning Map

Applicant: Arlington Harris Road, Kimley-Horn and Associates  
 Address: 9300/9321 W. Cleburne Road  
 Zoning From: AG  
 Zoning To: null  
 Acres: 4.97200777  
 Mapsco: Text  
 Sector/District: Far\_South  
 Commission Date: 11/13/2024  
 Contact: 817-392-8043





**SITE PLAN NOTES**

- AREA LIGHTING:**
1. ALL PROVIDED LIGHTING WILL CONFORM TO THE LIGHTING CODE.
- SIGNS:**
2. ALL SIGNAGE WILL CONFORM TO ARTICLE 4, SIGNS.
- LANDSCAPING:**
3. PROJECT WILL COMPLY WITH SECTION 6.301, LANDSCAPING.
  4. PROJECT WILL COMPLY WITH SECTION 6.302, URBAN FORESTRY.

**GENERAL NOTES:**

MINI-WAREHOUSE HOURS OF OPERATION: OFFICE HOURS OF THE MINI-WAREHOUSES SHALL BE TYPICALLY FROM 7:00 AM UNTIL 7:00 PM DAILY. ACCESS TO THE PROPERTY THROUGH THE ELECTRONICALLY CONTROLLED GATES SHALL HAVE 24 HOUR ACCESS AS PROVIDED IN THE MUNICIPAL CODE OF THE CITY OF FORT WORTH, TX. ALL ROOFTOP EQUIPMENT WILL BE SCREENED BY CITY REQUIREMENTS.

RESTRICTED BUILDING MATERIALS:  
NO VISIBLE PORTION OF ANY BUILDING SHALL INCLUDE THE USE OF FLAT CINDERBLOCK, ONLY EARTH TONE COLORS SHALL BE USED FOR THE BASE COLORS AND ACCENT/BRANDING VISIBLE FOR ANY USE OTHER THAN ROOFING WHEN FACING AND ADJOINING RESIDENTIAL ZONED DISTRICT. FACADES, PARAPETS, AND EXTERNALLY VISIBLE WALLS ARE TO BE OF MASONRY OR E.I.F.S. EXTERIOR FINISHES ONLY.

| PARKING RATIO (FROM ZONING ORDINANCE)   | PARKING TABLE:    |                  |
|---|-------------------|------------------|
|   | MINI-WAREHOUSE    | MINIMUM 4 SPACES |
|   | COMMERCIAL        | 1 SPACE/250 SF   |
| OFFICE  | 2.5 SPACE/1000 SF |                  |
| REQUIRED PARKING 1050 SF OF OFFICE, 4 SPACES FOR MINI-WAREHOUSE, AND 6300 SF COMMERCIAL |                   | 33 SPACES        |
| PROVIDED PARKING  |                   | 38 SPACES        |
| ACCESSIBLE PARKING REQUIRED   |                   | 2 SPACES         |
| ACCESSIBLE PARKING PROVIDED   |                   | 2 SPACES         |

| BLDG. 1 SF TABLE: |                  |
|-------------------|------------------|
| AREA:             | SF:              |
| OFFICE            | 2,100            |
| SUITES            | 12,600           |
| MINI-WAREHOUSE    | 89,040           |
| TOTAL:            | 103,740 GROSS SF |

| SITE SUMMARY TABLE |  |
|--------------------|--|
| EXISTING ZONING:   | "AG" - AGRICULTURAL                    |
| PROPOSED USE:      | NEIGHBORHOOD COMMERCIAL & SELF STORAGE |
| LOT AREA:          | 5.0045 AC / 217,997 SF                 |



801 Cherry Street, Unit 11, Suite 1300  
Fort Worth, TX 76102  
817-335-6511  
State of Texas Registration No. F-928

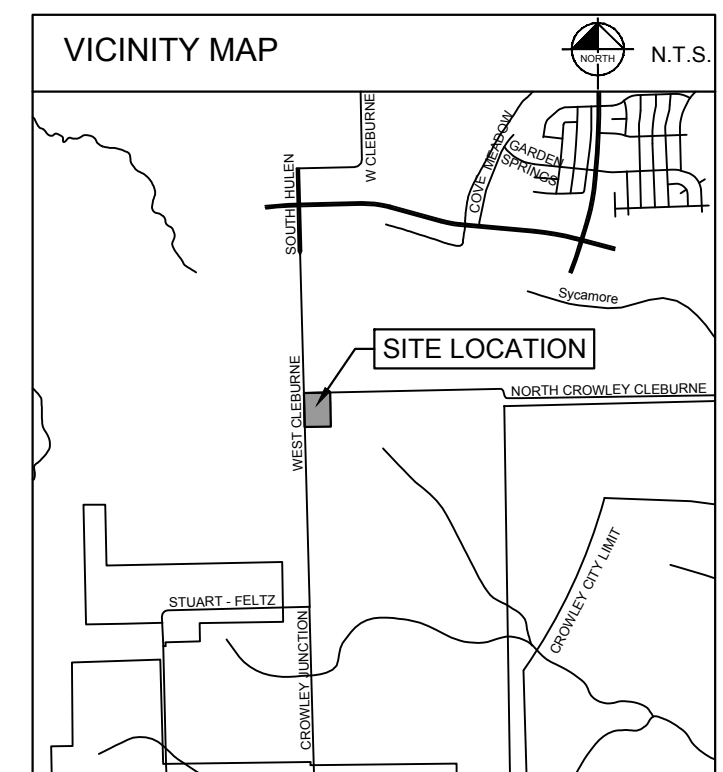
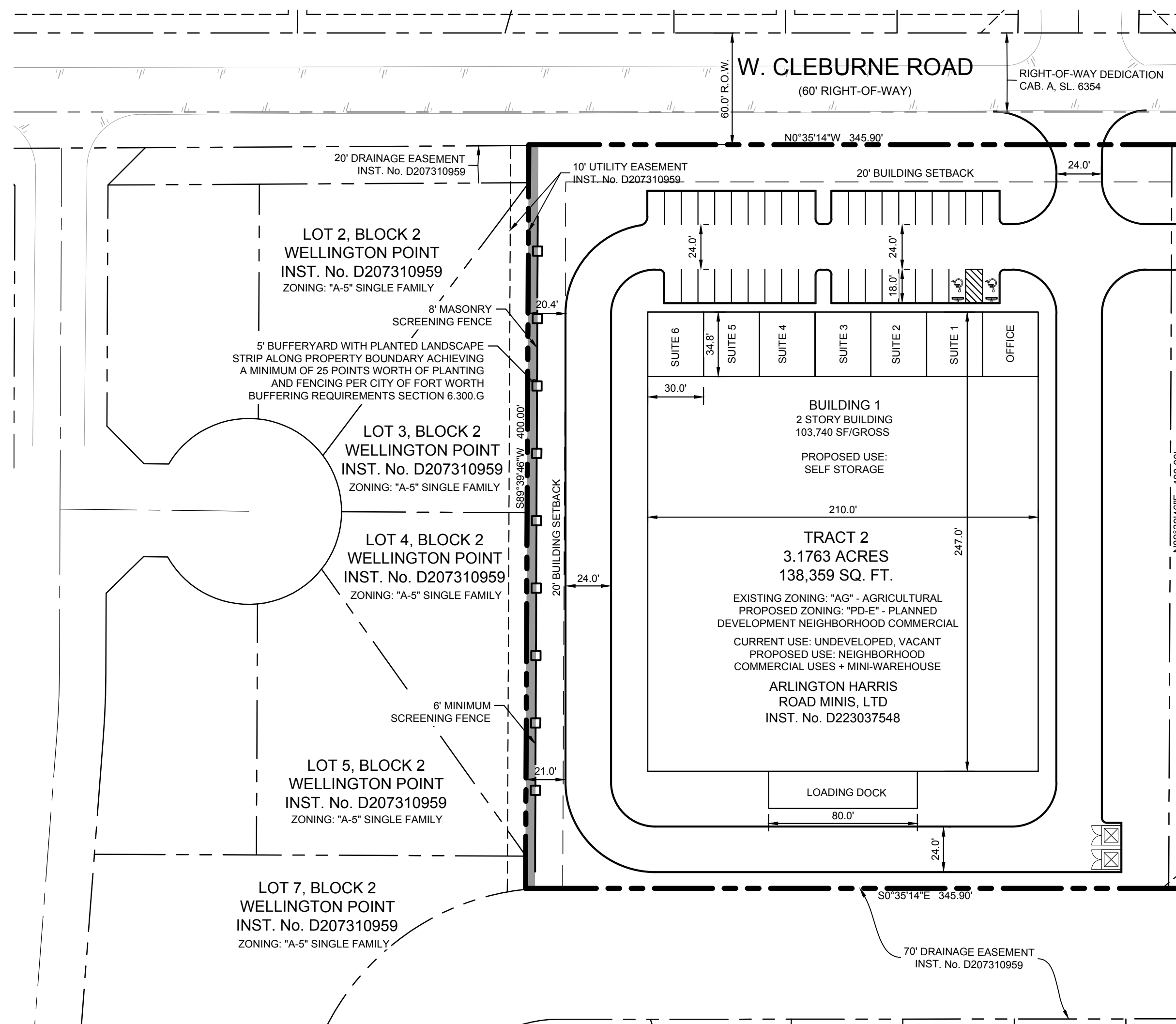
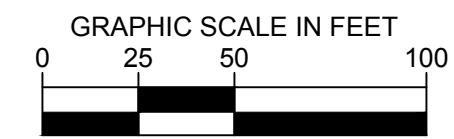
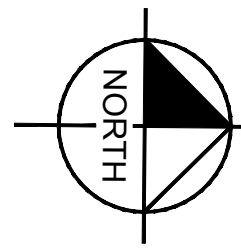
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ARLINGTON HARRIS ROAD MINIS LTD  
1903 PEYCO DRIVE N  
ARLINGTON, TX 76001  
CONTACT: OZIEL VIGIL

**SURVEYOR:**  
KIMLEY-HORN AND ASSOCIATES, INC.  
801 CHERRY STREET, UNIT 11, # 1300  
FORT WORTH, TEXAS 76102  
PHONE: 817-335-6511  
CONTACT: MICHAEL BILLINGSLEY, R.P.L.S.

**ENGINEER:**  
KIMLEY-HORN AND ASSOCIATES, INC.  
801 CHERRY STREET, UNIT 11, # 1300  
FORT WORTH, TEXAS 76102  
PHONE: 817-335-6511  
CONTACT: BRANDON MIDDLETON, P.E.  
TEXAS REGISTERED ENGINEERING FIRM F-928

DIRECTOR OF PLANNING AND DEVELOPMENT \_\_\_\_\_ DATE \_\_\_\_\_

**RELIABLE - CLEBURNE ROAD**  
**CONCEPT SITE PLAN FOR PD**  
FORT WORTH ZONING CASE #: ZC-XX-XX  
ANTONIO CASTILLO SURVEY,  
ABSTRACT NO. 272  
5.005 ACRES  
CITY OF FORT WORTH,  
TARRANT COUNTY, TEXAS  
OCTOBER 7, 2024



**SITE PLAN NOTES**

- AREA LIGHTING:**
1. ALL PROVIDED LIGHTING WILL CONFORM TO THE LIGHTING CODE.
- SIGNS:**
2. ALL SIGNAGE WILL CONFORM TO ARTICLE 4, SIGNS.
- LANDSCAPING:**
3. PROJECT WILL COMPLY WITH SECTION 6.301, LANDSCAPING.
  4. PROJECT WILL COMPLY WITH SECTION 6.302, URBAN FORESTRY.

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MINI-WAREHOUSE HOURS OF OPERATION: OFFICE HOURS OF THE MINI-WAREHOUSES SHALL BE TYPICALLY FROM 7:00 AM UNTIL 7:00 PM DAILY. ACCESS TO THE PROPERTY THROUGH THE ELECTRONICALLY CONTROLLED GATES SHALL HAVE 24 HOUR ACCESS AS PROVIDED IN THE MUNICIPAL CODE OF THE CITY OF FORT WORTH, TX. ALL ROOFTOP EQUIPMENT WILL BE SCREENED BY CITY REQUIREMENTS.

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THE DEVELOPMENT WILL MEET ALL DEVELOPMENT STANDARDS FOR "E" NEIGHBORHOOD COMMERCIAL, WITH THE EXCEPTION OF ADDING "MINI-WAREHOUSE" USE AND REMOVING "MUSEUM, LIBRARY OR FINE ART CENTER", "AMBULANCE DISPATCH STATION", AND "HOSPITAL" LAND USES.

| PARKING TABLE:  |                |                   |
|---|----------------|-------------------|
| PARKING RATIO (FROM ZONING ORDINANCE)   | MINI-WAREHOUSE | MINIMUM 4 SPACES  |
|   | COMMERCIAL     | 1 SPACE/250 SF    |
|   | OFFICE         | 2.5 SPACE/1000 SF |
| REQUIRED PARKING 1050 SF OF OFFICE, 4 SPACES FOR MINI-WAREHOUSE, AND 6300 SF COMMERCIAL |                | 33 SPACES         |
| PROVIDED PARKING  |                | 38 SPACES         |
| ACCESSIBLE PARKING REQUIRED   |                | 2 SPACES          |
| ACCESSIBLE PARKING PROVIDED   |                | 2 SPACES          |

| BLDG. 1 SF TABLE: |                  |
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| AREA:             | SF:              |
| OFFICE            | 2,100            |
| SUITES            | 12,600           |
| MINI-WAREHOUSE    | 89,040           |
| TOTAL:            | 103,740 GROSS SF |

| SITE SUMMARY TABLE |  |
|--------------------|--|
| EXISTING ZONING:   | "AG" - AGRICULTURAL  |
| PROPOSED ZONING:   | "PD-E" PLANNED DEVELOPMENT FOR ALL USES IN NEIGHBORHOOD COMMERCIAL PLUS MINI-WAREHOUSE |
| PROPOSED USE:      | NEIGHBORHOOD COMMERCIAL & SELF STORAGE   |
| LOT AREA:          | 3.1763 AC / 138,359 SF   |



801 Cherry Street, Unit 11, Suite 1300  
Fort Worth, TX 76102  
817-335-6511  
State of Texas Registration No. F-928

**OWNER:**  
ARLINGTON HARRIS ROAD MINIS LTD  
1903 PEYCO DRIVE N  
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CONTACT: OZIEL VIGIL

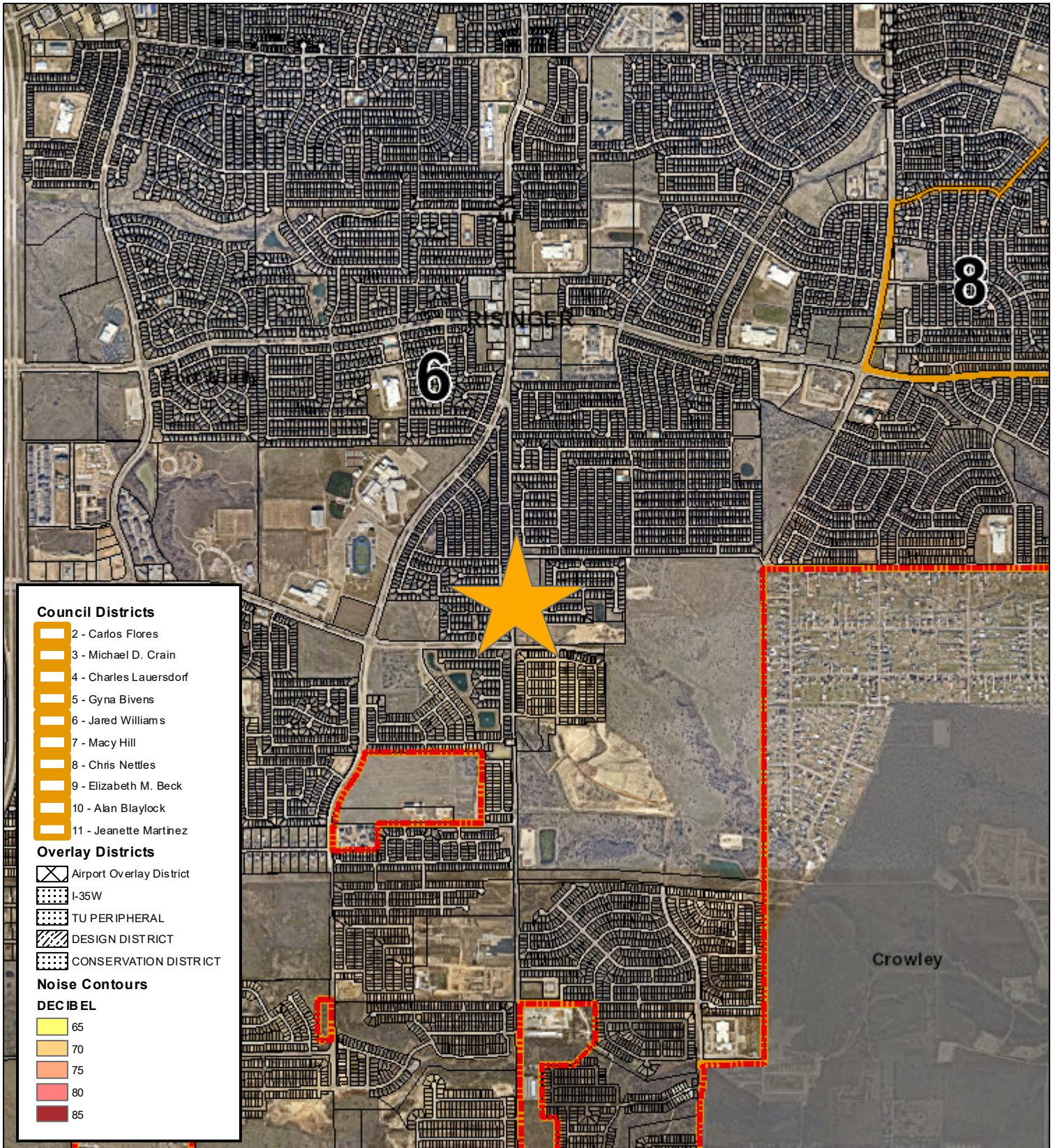
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KIMLEY-HORN AND ASSOCIATES, INC.  
801 CHERRY STREET, UNIT 11, # 1300  
FORT WORTH, TEXAS 76102  
PHONE: 817-335-6511  
CONTACT: MICHAEL BILLINGSLEY, R.P.L.S.

**ENGINEER:**  
KIMLEY-HORN AND ASSOCIATES, INC.  
801 CHERRY STREET, UNIT 11, # 1300  
FORT WORTH, TEXAS 76102  
PHONE: 817-335-6511  
CONTACT: BRANDON MIDDLETON, P.E.  
TEXAS REGISTERED ENGINEERING FIRM F-928

DIRECTOR OF DEVELOPMENT SERVICES \_\_\_\_\_ DATE \_\_\_\_\_

**RELIABLE - CLEBURNE ROAD**  
**SITE PLAN FOR PD**  
FORT WORTH ZONING CASE #: ZC-24-137  
ANTONIO CASTILLO SURVEY,  
ABSTRACT NO. 272  
3.1763 ACRES  
CITY OF FORT WORTH,  
TARRANT COUNTY, TEXAS  
OCTOBER 29, 2024



### Area Map








**Council Districts**

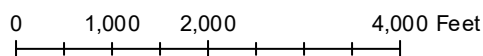
-  2 - Carlos Flores
-  3 - Michael D. Crain
-  4 - Charles Langersdorf
-  5 - Gyna Bivens
-  6 - Jared Williams
-  7 - Macy Hill
-  8 - Chris Nettles
-  9 - Elizabeth M. Beck
-  10 - Alan Blaylock
-  11 - Jeanette Martinez

**Overlay Districts**

-  Airport Overlay District
-  I-35W
-  TU PERIPHERAL
-  DESIGN DISTRICT
-  CONSERVATION DISTRICT

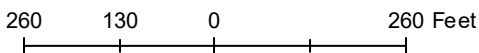
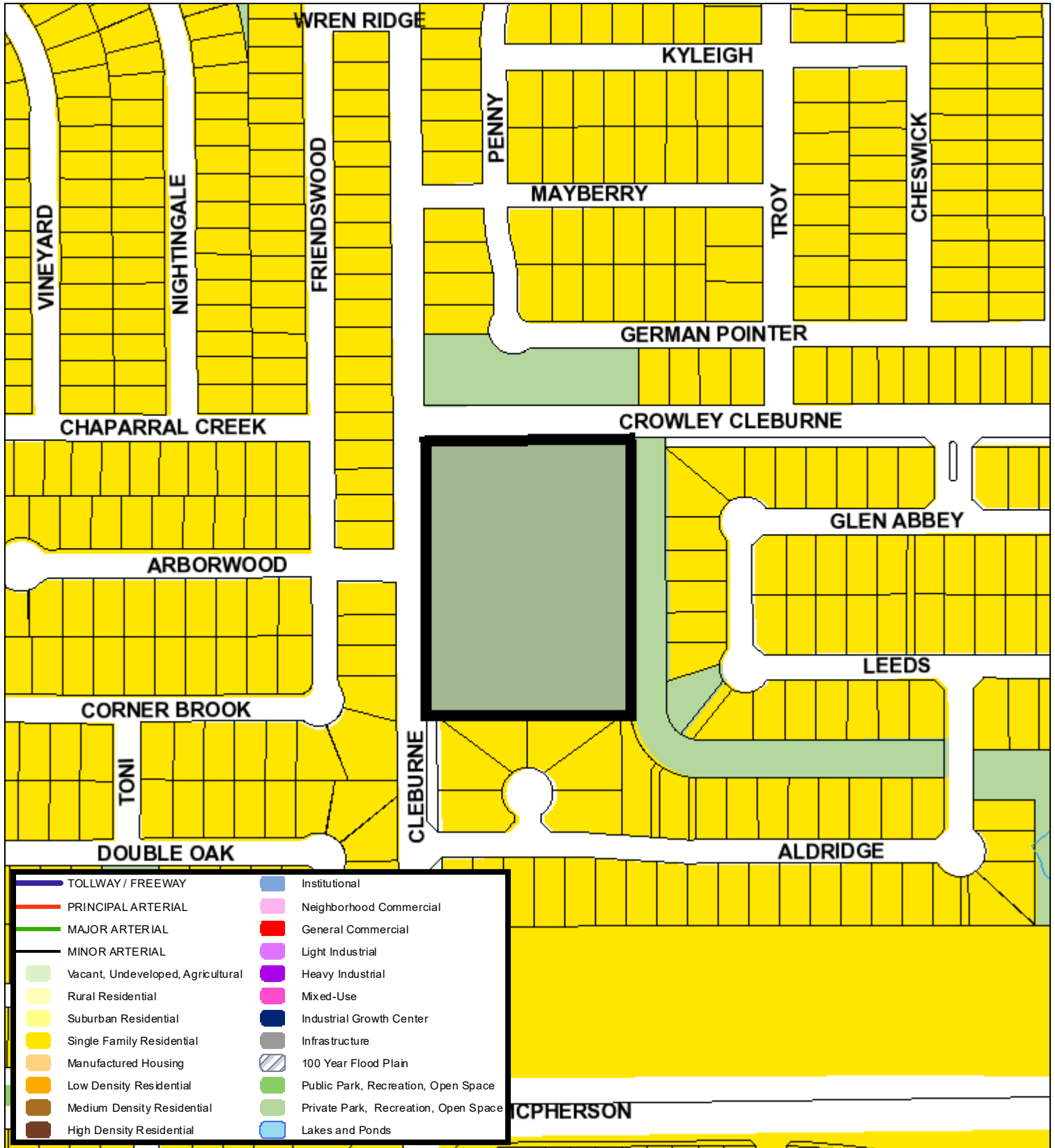
**Noise Contours**

- DECIBEL**
-  65
  -  70
  -  75
  -  80
  -  85





### Future Land Use



## Aerial Photo Map



0 165 330 660 Feet





# Zoning Staff Report

**Date:** November 13, 2024

**Case Number:** ZC-24-139

**Council District:** 9

## Zoning Map Amendment & Site Plan

**Case Manager:** [Sandy Michel](#)

**Owner / Applicant:** Leonel Lozano/ John Escobedo, Landmark Construction Group, LLC

**Site Location:** 14 Chase Court

**Acreage:** 0.285 acre

### Request

**Proposed Use:** Duplex

**Request:** From: “E/HC” Neighborhood Commercial / Historic and Cultural (Chase Place)  
To: “B/HC” Two Family / Historic and Cultural (Chase Place)

### Recommendation

**Land Use Compatibility:** Requested change **is compatible**

**Comprehensive Plan Map Consistency:** Requested change **is not consistent**

**Comprehensive Plan Policy Consistency:** Requested change **is consistent**

**Staff Recommendation:** **Approval**

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2. [Surrounding Zoning and Land Uses](#)
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4. [Public Notification](#)
5. [Development Impact Analysis](#)
  - a. [Land Use Compatibility](#)
  - b. [Comprehensive Plan Consistency](#)
6. Zoning Map with 300 ft. Notification Area
7. Area Map
8. Future Land Use Map
9. Aerial Photograph

## Project Description and Background

The subject property, a 0.285-acre parcel, occupies a prominent corner location at Hemphill Street and Chase Court (**Figure 2**). The subject property has an existing historic home and has a historic overlay (Chase Place) and historic designation (**Figure 1**). The surrounding area is primarily zoned as “E” Neighborhood Commercial, creating a predominantly commercial environment, with the exception of adjacent zones to the west, designated as “A-5” One-Family, and to the east, designated as “CF” Community Facilities.

The applicant intends to convert the existing single-family parcel into a duplex through a two-story addition, as described in the zoning application. This duplex will face West Jefferson Avenue and will also have access from Chase Court. Although a site plan is not required for rezoning, one is included in this application as an exhibit to clarify the proposal’s unique requirements, particularly given the review and approval needed from Historical City staff due to the property’s historical context (**Figure 2**).

The applicant previously submitted a request to demolish a deteriorated accessory structure on the property, which city staff approved on March 22, 2024 (HCLC-24-039), based on the structure not being designated as historic. Following the demolition, the applicant sought approval from the historical review team for a new accessory structure, including a garage, kitchen, and bathroom, which would qualify it as an additional unit on the property. This proposal was approved by city staff on April 19, 2024 (HCLC-24-034), as detailed in the ‘*Supplemental Information*’ section.

The existing single-family residence is currently legally non-conforming due to the 2020 Council-initiated rezoning (ZC-20-148, additional information please refer to ‘*Recent Zoning History*’), which changed the property’s designation from “A-5” One-Family to “E” Neighborhood Commercial as part of a broader effort to revitalize Hemphill Street. By rezoning the property, the applicant aims to bring it into legal conformity with the current zoning and enable the addition of a second residential unit. This enhancement would activate West Jefferson Avenue, supporting the area’s ongoing revitalization and providing additional residential density in line with the city’s development objectives.

The applicant has provided a detailed project description for the intent of the project:

The reason for the zone change is so that I can build a garage apartment on 14 Chase Ct. I bought the property which has been uninhabited for 60 years with the intention of restoring the house. The house was built in 1920 and it needs a lot of work. ~~It~~ It does not have central heating or air, insulation or any modern conveniences, when I bought it it didn't have running water.

The garage apartment will give me a place to live while I restore the house. In addition to restoring the house I will also be improving the property. For example landscaping the property



Figure 1: Historic Aerial- 1952; [Historic Aerials: Viewer](#)





Figure 2: Site Photos taken by case manager 10/21/2024

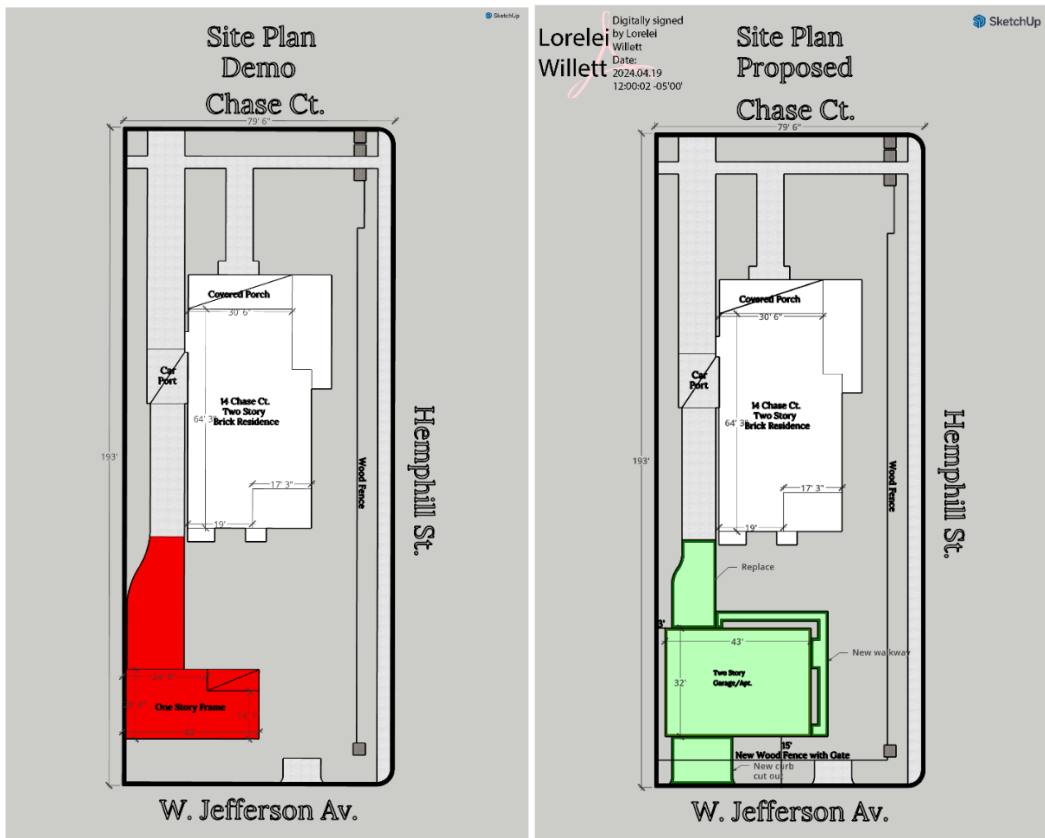


Figure 3: Left: Approved demo site plan exhibit A; Right: Approved proposed site plan exhibit B

## Surrounding Zoning and Land Uses

|       |   |
|-------|---|
| North | “E” Neighborhood Commercial/ Residential                  |
| East  | “CF” Community Facilities/ Tarrant County- Women’s Center |
| South | “E” Neighborhood Commercial/ Residential                  |
| West  | “A-5” One-family/ Residential                             |

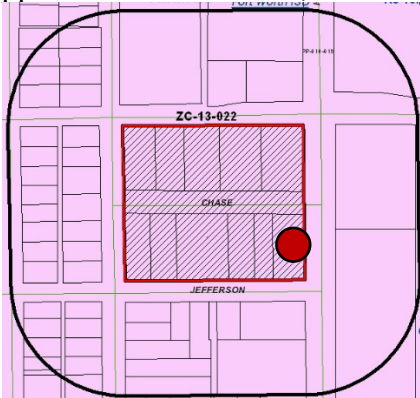
## Recent Zoning History

- ZC-20-148; A council-initiated rezoning request was submitted to assist Hemphill Street improvements. The Hemphill Corridor Task Force, established by the City Council over 20 years ago, includes corridor property owners and adjacent residents who led the “Envision Hemphill” initiative with groups like Near Southside, Inc. and Historic Fairmount Neighborhood Association. In 2016, a multi-day workshop launched a vision for the area, integrating park expansions, and by 2017, plans introduced bike lanes, turn lanes, and pedestrian improvements to “rightsize” Hemphill. The 2019 Comprehensive Plan adapted the future land use map to mixed-use, aligning with these updates, and a public meeting in March 2020 gathered over 40 community members to discuss zoning changes. This rezoning aims to extend the Near Southside’s mixed-use success southward, ending in the industrial and community facilities zone by the Bob Bolen public safety complex. The ZC case was approved on 11/11/2020;



- ZC-13-022; A historic overlay was placed for the properties at 1-14 Chase Court due to the historical value these homes have to the City of Fort Worth. The residents proposed that their homes were of historic significance. Chase Place Historic District, led by Mrs. Davis C. Stone, compiled a detailed history of each lot and home, noting that all residences are contributing structures. The district will follow the Secretary of the Interior’s guidelines, with the potential for additional guidelines. The proposed “HC” Historic and Cultural Overlay meets five of ten designation criteria, highlighting its distinctive cultural heritage, architectural

significance, relationship to surrounding historic structures, connection to historic events, and association with influential figures. The ZC case was approved on 03/05/2013;



## Public Notification

300-foot Legal Notifications were mailed on November 1, 2024.  
 The following organizations were notified: (emailed November 1, 2024)

| Organizations Notified                      |                         |
|---|-------------------------|
| Hemphill Corridor Development Collaborative | Streams and Valleys Inc |
| Trinity Habitat for Humanity                | Fairmount NA            |

\* Located within a registered Neighborhood Organization

## Development Impact Analysis

### Land Use Compatibility

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The applicant seeks to restore the residential use of their property to align with the existing historic homes on the block, reflecting its original character and architectural significance. This proposed rezoning is more suitable than the current designation, as the council-initiated rezoning in 2020 may have inadvertently overlooked the historical value of this area. Notably, the properties were recognized as historically significant in 2013, well before the zoning changes took effect. Returning the property to residential use would help preserve this historically important home, reinforcing the integrity of the historic cluster and supporting the continuity of the area’s architectural heritage.

The proposed zoning is **compatible** with surrounding land uses.

### Comprehensive Plan Consistency- FLU Map and Policies

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The adopted Comprehensive Plan currently designates the subject property as a Mixed-Use on the Future Land Use Map.

| MIXED-USE               |  |  |
|-------------------------|--|--|
| Mixed-Use               | Retail, services, offices, entertainment, mixed uses, and multifamily residential (>36 units/acre multifamily, mixed-use multifamily and pedestrian-oriented development)      | UR, MU-1, MU-2, Form-Based Codes, All Commercial |
| Mixed-Use Growth Center | Retail, services, offices, entertainment, mixed uses, and multifamily residential; Community Growth Centers are less intensive, and Regional Growth Centers are more intensive | UR, MU-1, MU-2, Form-Based Codes, All Commercial |





The proposed property's designation does not align with the Mixed-Use Future Land Use (FLU) category. However, the property does follow the policies of the comprehensive plan. The following policies help to protect the historic property:

- *Preserve the character of rural and suburban residential neighborhoods.*
- *Encourage new development in character with the existing neighborhood scale, architecture, and platting pattern, while working to improve pedestrian, bicycle, and transit access between adjacent neighborhoods and nearby destinations.*
- *Promote measures to ensure that all types of residential developments are compatible in scale to abutting residential developments. A dramatic difference in lot size and units per acre should be discouraged for new development immediately adjacent to existing development or platted and zoned property, unless mitigation is provided to minimize the effects of the new use.*
- *Encourage locating multiple-unit residential structures on corner lots.*
- *Support diverse housing options, including duplexes, fourplexes, townhomes, and small courtyard apartments to promote walkable communities, access to neighborhood services, and multimodal transportation options, while ensuring compatibility with the form, scale, and design of existing neighborhoods*

The proposed zoning district and intended use aim to preserve the character of the existing neighborhood while encouraging thoughtfully scaled, multi-unit residential structures that complement the historic home on the property. This zoning change will promote diverse housing options within the neighborhood, enhancing accessibility and variety in the local housing market. Additionally, the development will bring new life to West Jefferson Street, creating curb appeal, and contributing to the area's vibrancy and overall aesthetic cohesion.

The proposed zoning is **not consistent** with the Comprehensive Plan FLU Map.

Based on conformance with the policies stated above, the proposed zoning is **consistent** with the Comprehensive Plan Policies.



**Supplemental Information**  
Site Photos taken by case manager 10/21/2024



Pictures of the accessory structure property prior to demo, Images provided by HCLC staff







Digitally signed  
by Lorelei  
Willett  
Date:  
2024.03.22  
16:23:41 -05'00'



## Certificate of Appropriateness Historic & Cultural Landmarks Commission

Leo Lozano  
14 Chase Ct (garage)

On March 22, 2024, Historic Preservation Staff **APPROVED** a request for a Certificate of Appropriateness to demolish the noncontributing garage within the Chase Court Historic District.

### FINDINGS IN ACCORDANCE WITH THE HISTORIC PRESERVATION ORDINANCE

(iii) *Non-contributing status.* Because non-contributing historic properties do not contribute to the historic, cultural, or architectural significance of a HC District, the applicant must prove that the subject property is located in a HC District and classified as non-contributing and would not be eligible to be a contributing historic property if re-evaluated by the HPO or HCLC.

The accessory structure was likely original to the site. However, the removal of the original lap siding as noted in the deed card, addition of non-original siding and water and pest infiltration has had a negative impact on the structure. Multiple structural interventions have also failed which has caused the structure to become unstable. Due to the level of missing historic material and structural issues, the garage no longer retains significance and integrity and is considered noncontributing.

### APPROVALS AND PERMITS

The Historic and Cultural Landmarks Commission or Historic Preservation Officer must approve work not included in this Certificate of Appropriateness prior to the issuance of a building permit. Approval of your case **does not** negate you from any other applicable requirements needed to obtain required permits. If necessary, you must obtain all required variances **before** a building permit will be issued.

### APPEALS AND CERTIFICATE OF APPROPRIATENESS VALIDITY

An appeal to this decision may be submitted by written request to the City Secretary and the Historic Preservation Officer within 15 days of the date of this decision. Certificates of Appropriateness are valid for two years from the date of issuance.

### FURTHER INFORMATION

Questions regarding this case may be forwarded to the Development Services Department at (817) 392-8000.

CITY OF FORT WORTH | 200 TEXAS STREET | FORT WORTH, TEXAS 76102-6311  
817.392.8000 | 817.392.8016 (fax)

Development Services Department

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**Lorelei Willett**  
Digitally signed by Lorelei Willett  
Date: 2024.04.19 11:59:30 -05'00'



## Certificate of Appropriateness Historic & Cultural Landmarks Commission

Leo Lozano  
14 Chase Ct

On April 19, 2024, Historic Preservation Staff **APPROVED** a request for a Certificate of Appropriateness to construct a two-story garage at the rear of the property within the Chase Court Historic District.

### FINDINGS IN ACCORDANCE WITH STANDARDS

**Secretary of the Interior's Standards for the Treatment of Historic Properties: Standards 9, 10 and Site**

**Standards 9, 10 and Site**

The proposed work is compatible, removable and consistent with the Secretary of the Interior's Standards for the Treatment of the Historic Properties.

### APPROVALS AND PERMITS

The Historic and Cultural Landmarks Commission or Historic Preservation Officer must approve work not included in this Certificate of Appropriateness prior to the issuance of a building permit. Approval of your case **does not** negate you from any other applicable requirements needed to obtain required permits. If necessary, you must obtain all required variances **before** a building permit will be issued.

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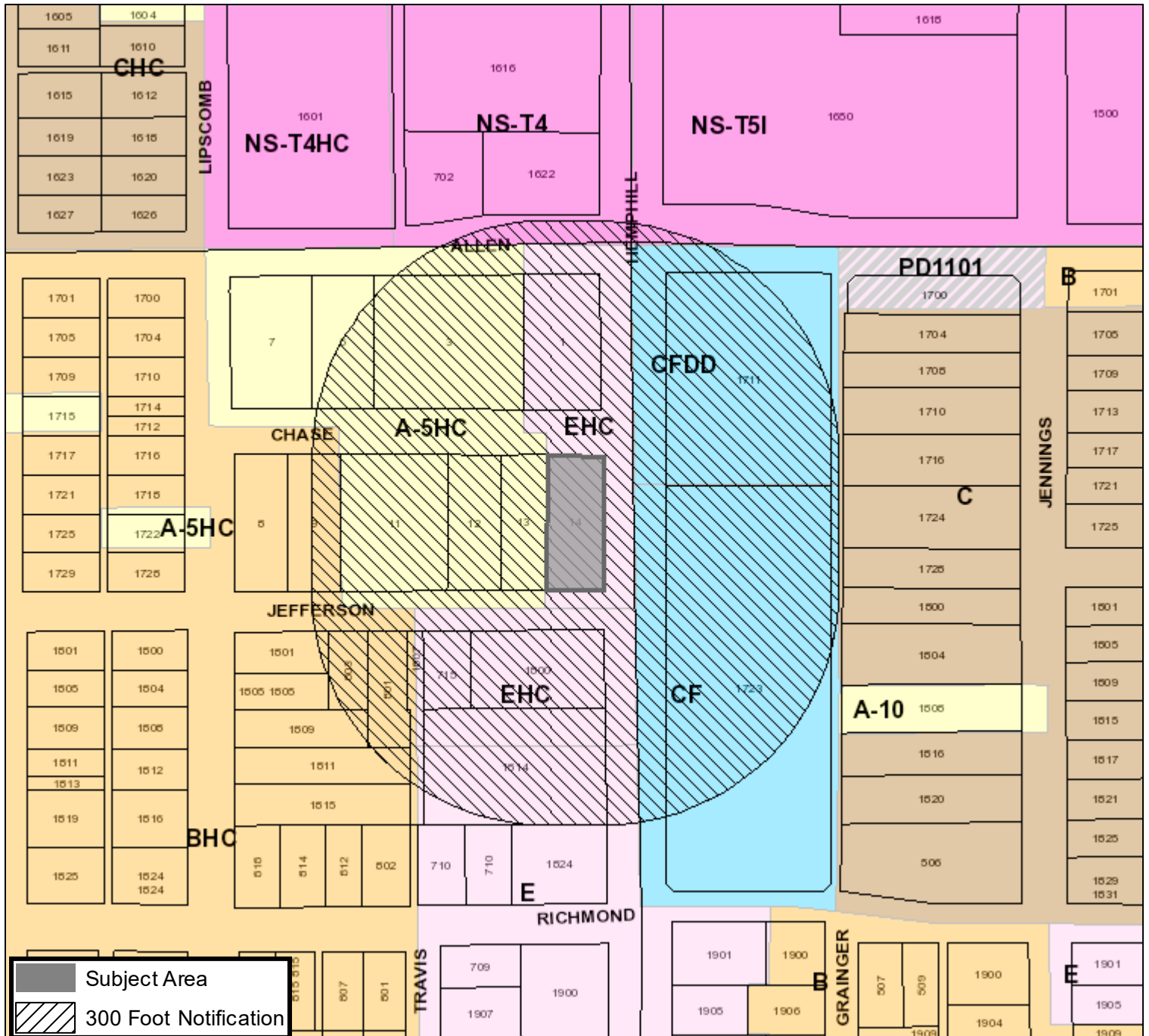
CITY OF FORT WORTH | 200 TEXAS STREET | FORT WORTH, TEXAS 76102-6311  
817.392.800 | 817.392.8016 (fax)



**Development Services Department**

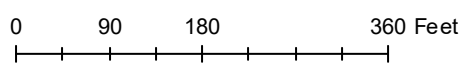


# Area Zoning Map

Applicant: Leonel Lozano  
 Address: 14 Chase Court  
 Zoning From: E/HC  
 Zoning To: B/HC  
 Acres: 0.28887724  
 Mapsco: Text  
 Sector/District: Southside  
 Commission Date: 11/13/2024  
 Contact: 817-392-2806

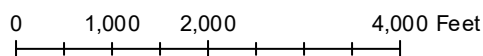
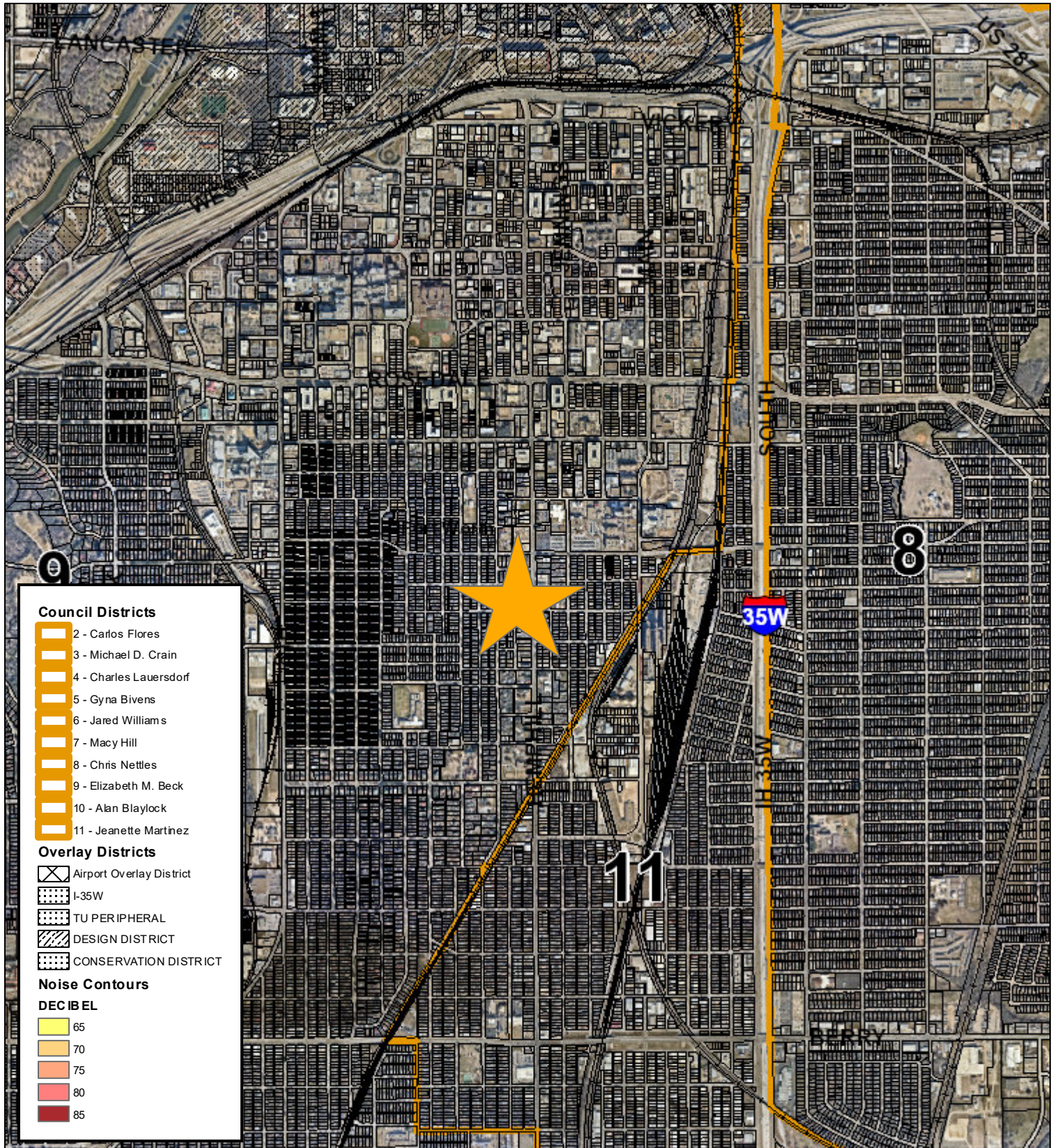


 Subject Area  
 300 Foot Notification

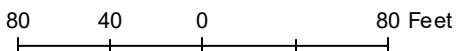
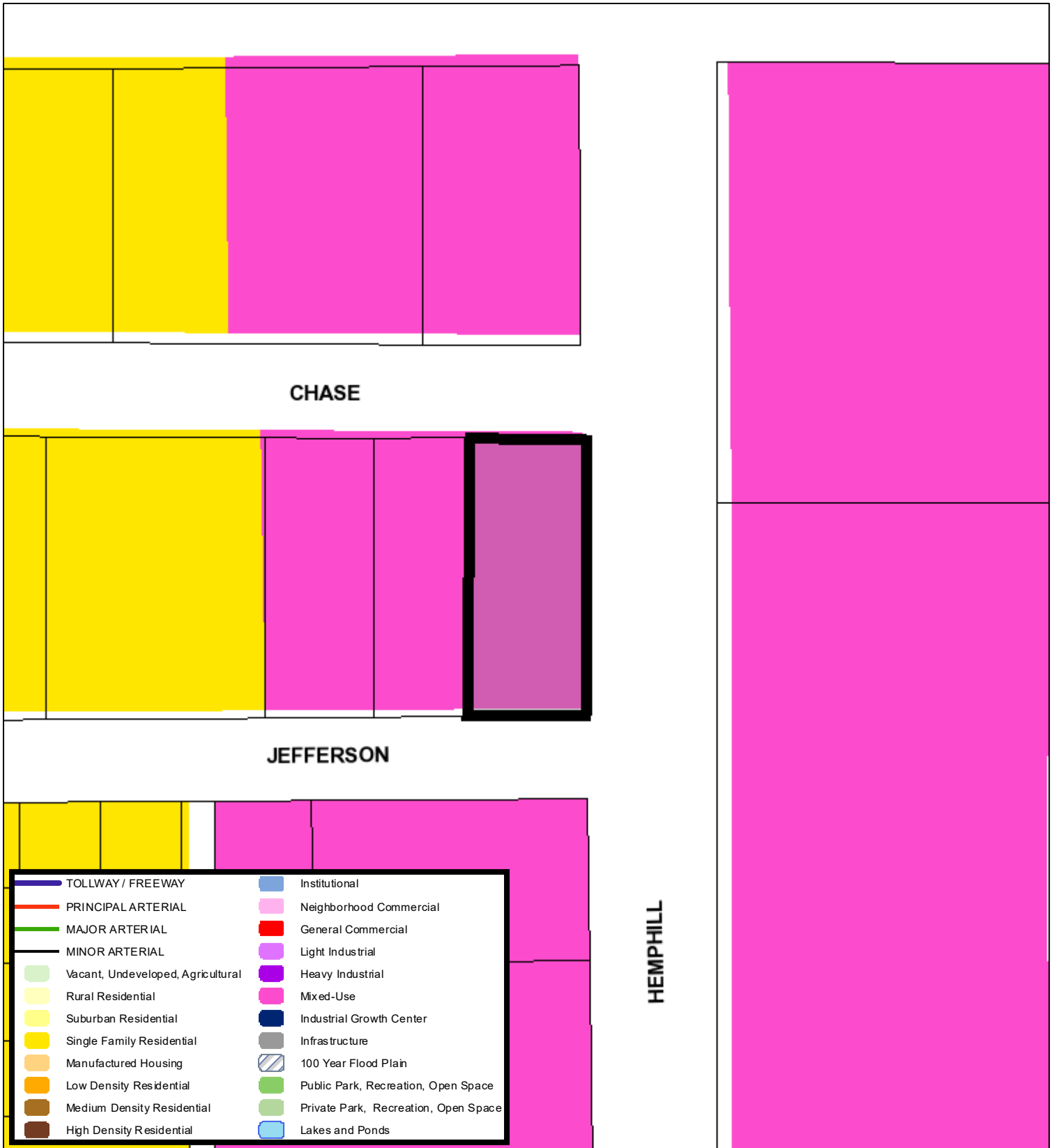




### Area Map



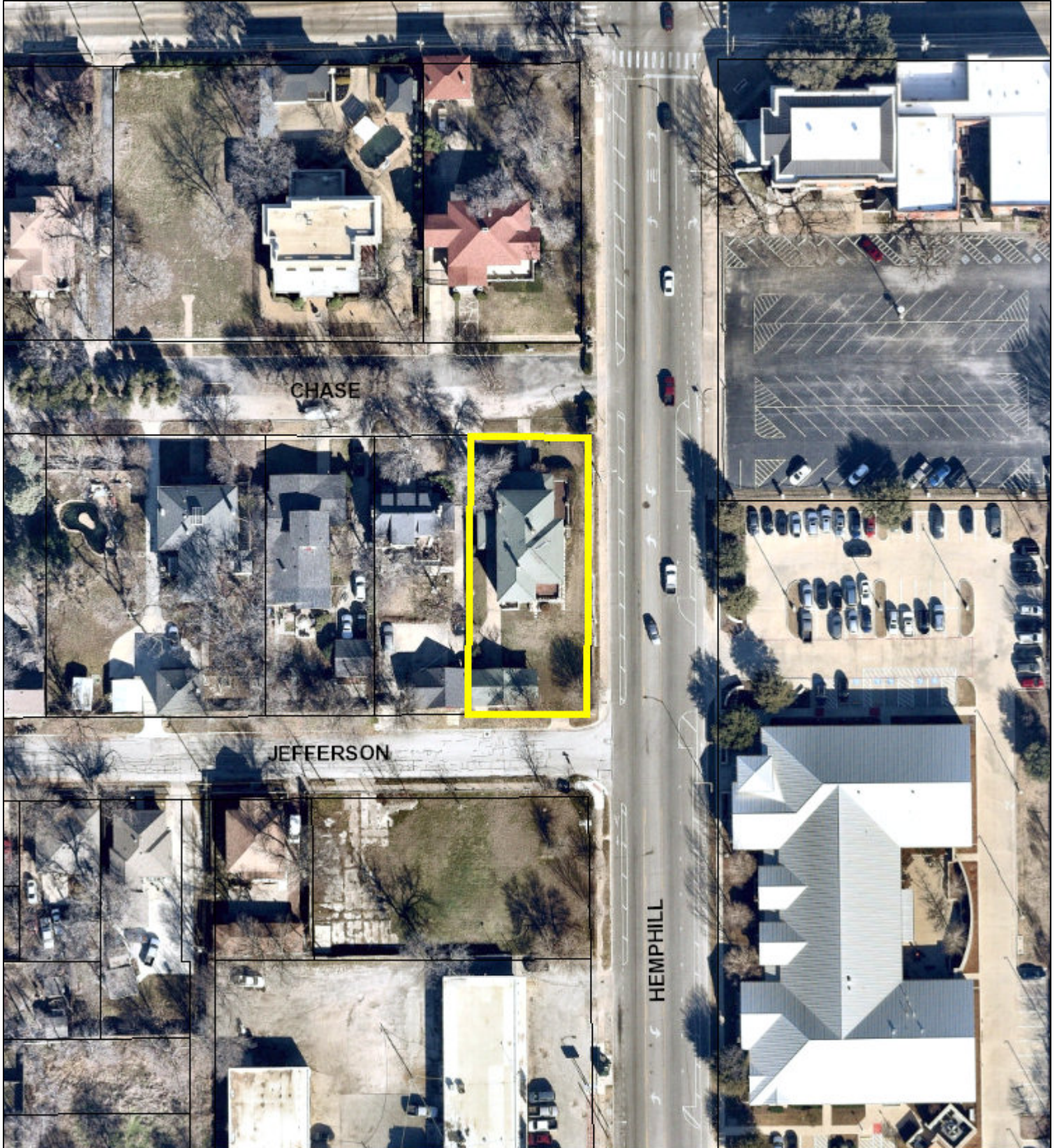
### Future Land Use



A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



## Aerial Photo Map



0 50 100 200 Feet





# Zoning Staff Report

**Date:** November 13, 2024

**Case Number:** ZC-24-149

**District:** All

## Zoning Map Amendment

**Case Manager:** [Stephen Murray](#)

**Owner / Applicant:** City of Fort Worth

### Request

**Proposed Use:** Game Room Ordinance

**Request:** An ordinance amending the Zoning Ordinance of the City of Fort Worth, being Ordinance No. 21653 as amended, codified as Appendix “A” of the Code of the City of Fort Worth, by amending Chapter 4 “District Regulations” to amend Article 3 “Planned Development (“PD”) District” to repeal game room development standards in Section 4.305.c and reserve subsection; to amend section 4.803 “Nonresidential District Use Table” to amend game rooms to revise districts where use is not permitted and revise reference to supplemental use standard; to amend Section 4.1203, “Form Based Districts Use Table” to add “Game room” to the use table add where use is not allowed and add reference to supplemental use standard; to amend Chapter 9, “Definitions”, Section 9.101, “Defined Terms” to remove the definitions of “amusement redemption machine,” “gambling device” and “game room”

### Recommendation

**Staff Recommendation:**

**Approval**

### Table of Contents

## Project Description and Background

The primary purpose of this text amendment is to amend game rooms to revise districts where use is not permitted and revise reference to supplemental use standard; to amend Section 4.1203, “Form Based Districts Use Table” to add “Game room” to the use table add where use is not allowed and add reference to supplemental use standard; to amend Chapter 9, “Definitions”, Section 9.101, “Defined Terms” to remove the definitions of “amusement redemption machine,” “gambling device” and “game room”. Basically, the text amendment removes the game room use being allowed within the City of Fort Worth.