

SEC. 1.10.6 PUBLIC REALM



The public realm standards below apply to all streets, unless noted otherwise.

	Primary Street Setback	
	Up to 20'	20'+ to 50'
Transparency		
A Ground story	50% min	20% min
B Upper story	20% min	20% min
C Blank wall area	30' max	75' max
Story Height		
D Ground floor elevation	0' min/ 2' max	n/a
E Ground story: floor to floor	12' min	n/a
F Upper story: floor to floor	9' min	n/a
Pedestrian Access		
G Entrance facing primary street	Required	Required
H Entrance spacing along primary street	100'	n/a
Building Elements See Sec. 2.9.5		
Awning/canopy	◆	n/a
Balcony	◆	n/a
Forecourt	◆	n/a
Gallery	◆	n/a
Porch		n/a
Stoop		n/a

Building Setbacks		
I Primary/side street		See Sec. 2.7.3
No wall or fence is allowed in a Berry Street primary street yard.		
Sidewalk*		
J Paved pedestrian zone		
Berry Street		10' min
All other streets		6' min
Street Tree/Furniture Zone*		
K Parkway depth		6' min
Street tree planting		Required
Tree spacing		See Sec. 4.2.3
Small canopy		15' on-center
Medium canopy		25' on-center
Large canopy		35' on-center
Street lighting		If installed must be per TPW specifications

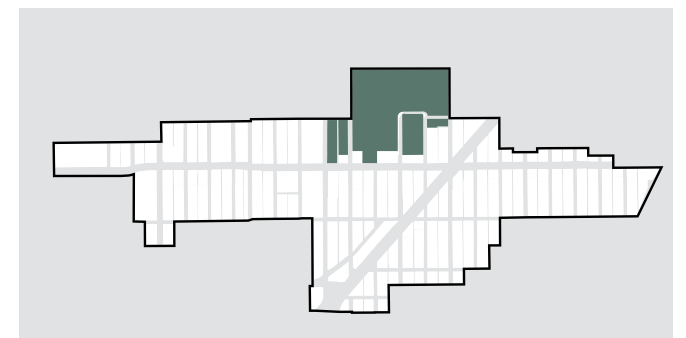
*Where there is insufficient ROW to meet the minimum requirements, the FBC Administrator may approve modifications (see Article 5, Administration).

Div. 1.11. BU-CIV: Civic

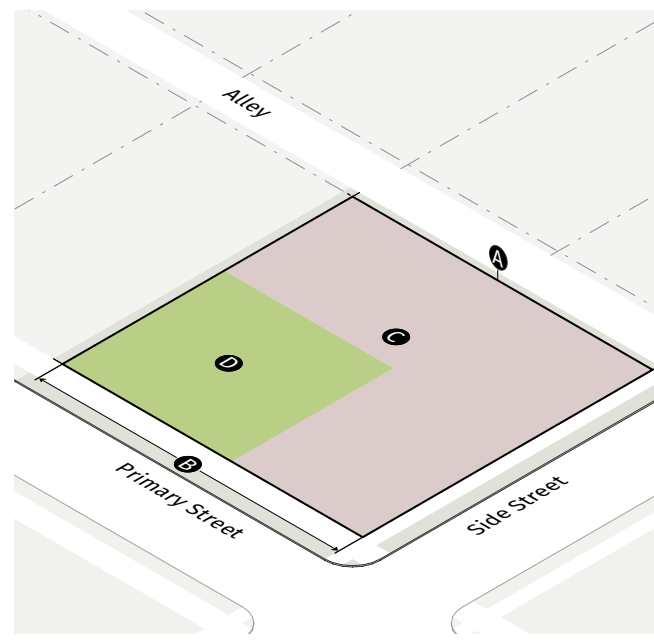


Intent	
The Civic (BU-CIV) district is intended to provide for civic and institutional uses that serve the surrounding neighborhoods at size and scale that do not readily assimilate into other zoning districts.	
Applicable Districts	
BU-CIV	
Use	
Allowed uses	see Div. 3.1

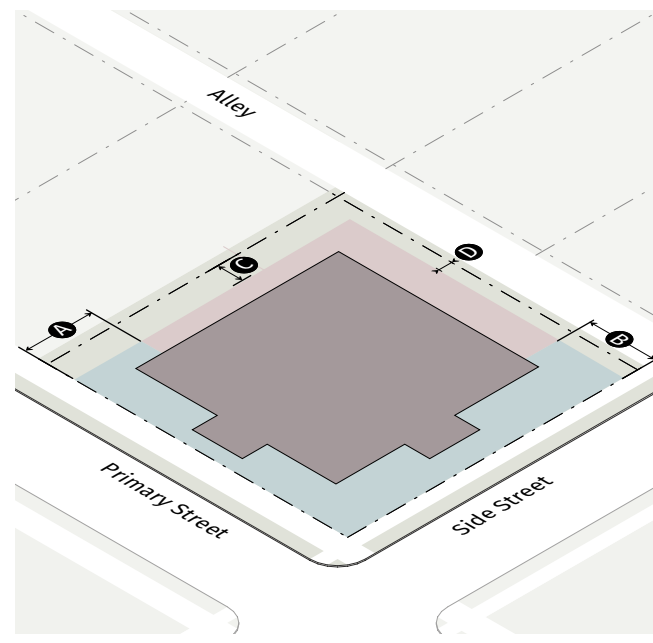
Zoning Map See Div. 2.2



SEC. 1.11.2 LOT PARAMETERS



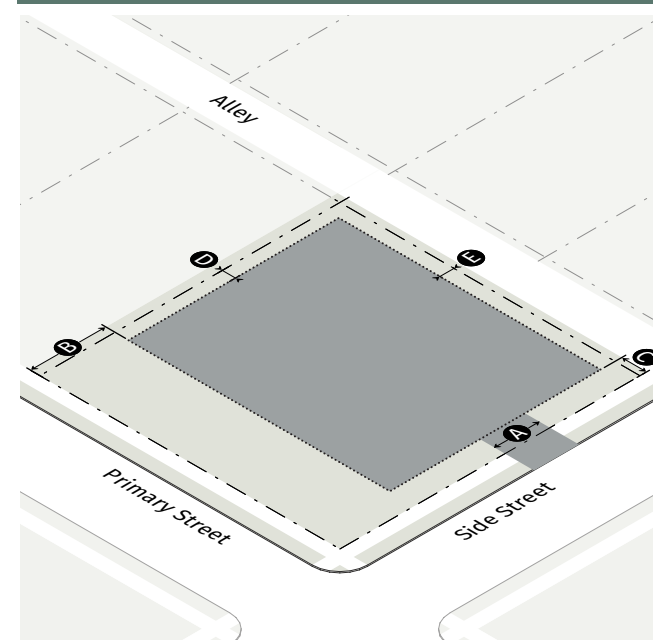
SEC. 1.11.3 BUILDING PLACEMENT



Building Setbacks

A Build-to zone: primary street	
Without stormwater bonus	20' max
With stormwater bonus (see Div. 2.10)	50' max
B Build-to zone: side street	20' max
C Side: common lot line	10' min
C Side: alley	5' min
D Rear: common lot line	10' min
D Rear: alley	5' min

SEC. 1.11.4. PARKING AND ACCESS



Vehicle Access

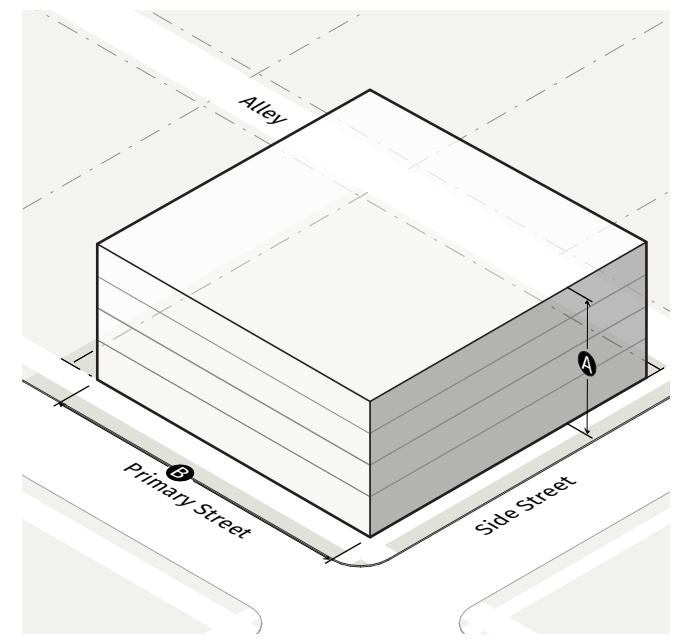
Primary street	Not allowed
Side street	Allowed
Alley	Allowed
A Driveway width in side street setback	18' max

Parking Setbacks

B Primary street setback	30' min
C Side street setback	10' min
D Side: common lot line/alley	5' min
E Rear: common lot line/alley	5' min

No on-site surface parking is allowed between buildings and the street

SEC 1.11.5. HEIGHT AND MASS



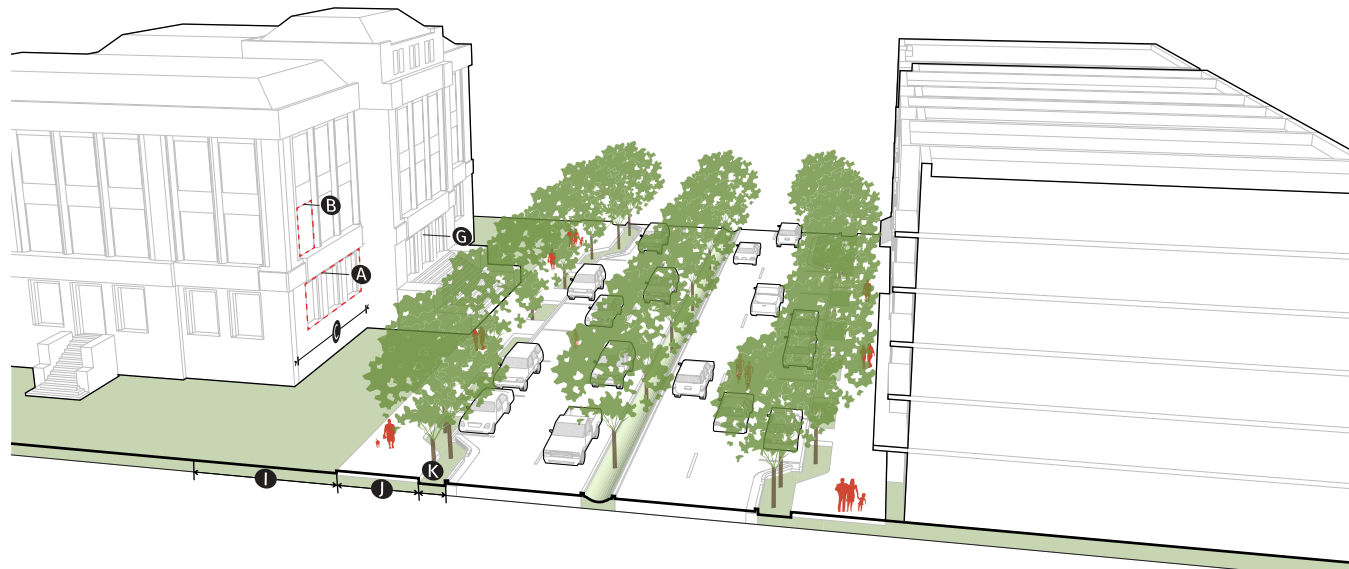
Building Height

A Maximum height	
Without stormwater bonus	4 stories/50' max
With stormwater bonus (see Div. 2.10)	6 stories/75' max
Minimum height	n/a

Building Mass

B Street-facing building length	300'
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SEC. 1.11.6. PUBLIC REALM



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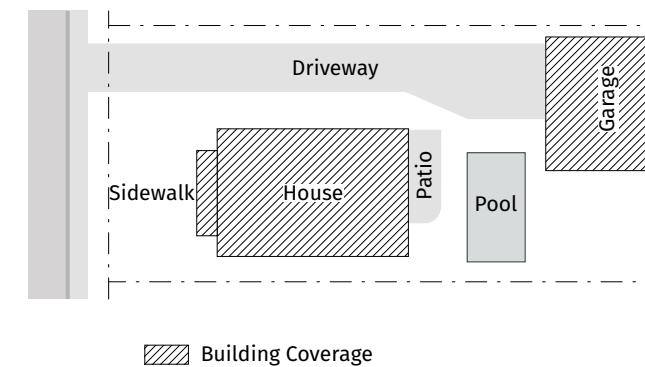
Transparency		Building Setbacks	
A Ground story	40% min	I Primary/side street	See Sec. 2.8.3
B Upper story	20% min	Sidewalk*	
C Blank wall area	75' max	J Paved pedestrian zone	
Story Height		Berry Street	10' min
D Ground floor elevation	n/a	All other streets	6' min
E Ground story: floor to floor	n/a	Street Tree/Furniture Zone*	
F Upper story: floor to floor	n/a	K Parkway depth	6' min
Pedestrian Access		Street tree planting	Required
G Entrance facing primary street	Required	Tree spacing	See Sec. 4.2.3
H Entrance spacing along primary street	n/a	Small canopy	15' on-center
Building Elements See Sec. 2.9.5		Medium canopy	25' on-center
Awning/canopy	n/a	Large canopy	35' on-center
Balcony	n/a	Street lighting	If installed must be per TPW specifications
Forecourt	n/a	*Where there is insufficient ROW to meet the minimum requirements, the FBC Administrator may approve modifications (see Article 5, Administration).	
Gallery	n/a		
Porch	n/a		
Stoop	n/a		

Div. 1.12. Measurements and Exceptions

Sec. 1.12.1. Lot Parameters

A. Building Coverage

1. The area of a lot covered by roofed buildings and structures measured from the outside of the exterior wall at the ground floor, includes covered porches and patios and detached and attached accessory structures.
2. For covered porches and patios, the entire area under the roof is calculated as building coverage.
3. Building coverage does not include uncovered paved parking areas, driveways, walkways, roof overhangs, swimming pools, uncovered steps, terraces, decks, patios, porches, and architectural projections not intended for shelter or occupancy.



Sec. 1.12.2. Building Placement

A. Primary Streets

1. The following streets are considered primary streets:
 - a. Berry Street;
 - b. University Drive; and
 - c. Cleburne Road.
2. Where only one street abuts a lot, that street is considered a primary street.

3. A multiple street frontage lot (not specified above) must designate at least one primary street. The FBC Administrator will determine which streets are primary streets based on the following:
 - a. The pedestrian orientation of the street, existing or proposed.
 - b. The established orientation of the block;
 - c. The street or streets abutting the longest face of the block;
 - d. The street or streets parallel to an alley within the block;
 - e. The street that the lot takes its address from; and
 - f. The street with the highest classification or highest traffic counts.
4. A lot can have more than one primary street.

B. Setbacks

All buildings and structures must be located at or within the required setbacks except as listed below. No building or structure can extend into a required easement.

1. Building Features

- a. Awnings/canopies, balconies, galleries, porches and stoops may extend into a required primary street setback as stated in Sec. 2.9.5.
- b. Building eaves, roof overhangs, gutters, downspouts, light shelves, bay windows and oriels less than 10 feet wide, cornices, belt courses, sills, buttresses or other similar architectural features may encroach up to 3 feet into a required setback, provided that such extension is at least 2 feet from the vertical plane of any lot line.