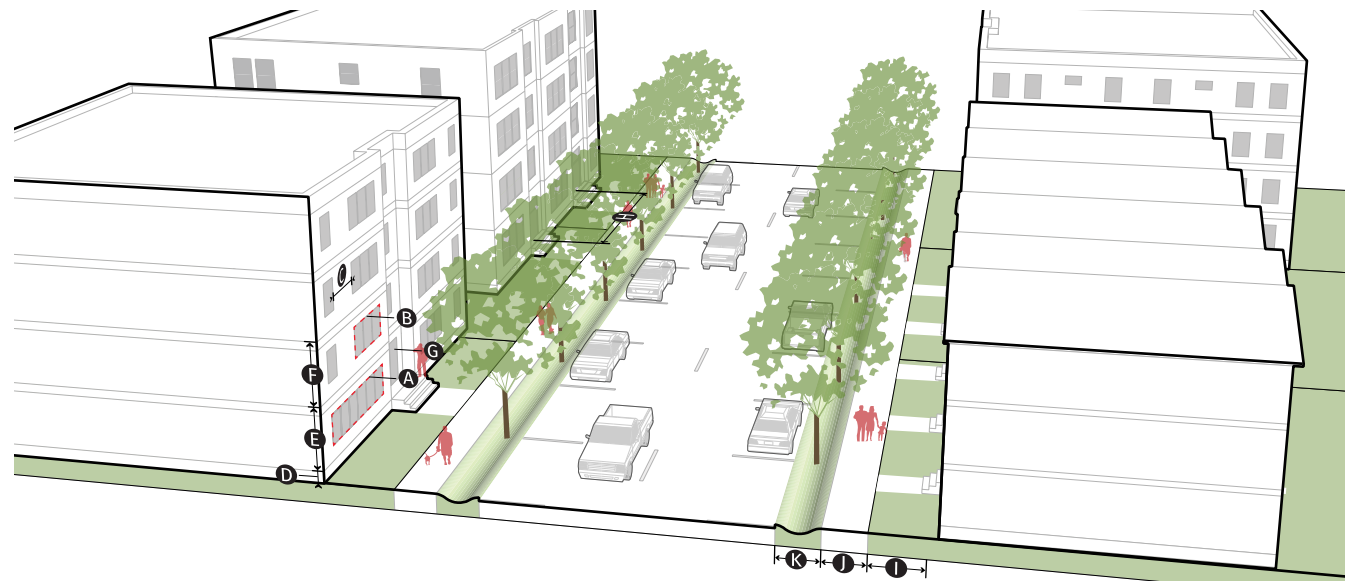


**SEC. 1.7.6. PUBLIC REALM**



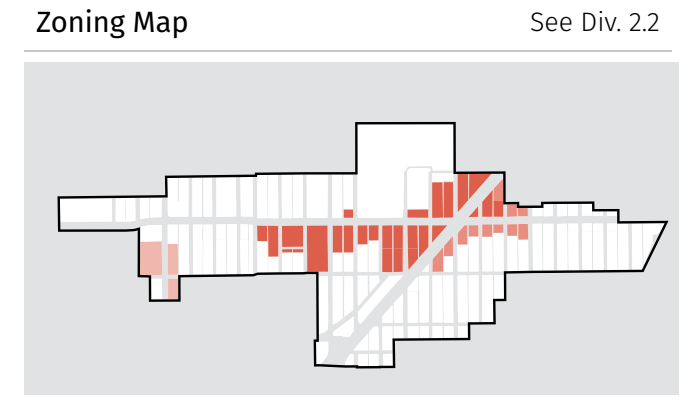
The public realm standards below apply to all streets, unless noted otherwise.

Transparency		Building Setbacks	
<b>A</b> Ground story	20% min	<b>I</b> Primary/side street	See Sec. 2.4.3
<b>B</b> Upper story	20% min	Sidewalk*	
<b>C</b> Blank wall area	30' max	<b>J</b> Paved pedestrian zone	6' min
Story Height		Street Tree/Furniture Zone*	
<b>D</b> Ground floor elevation, residential	2' min/5' max	<b>K</b> Parkway depth	6' min
<b>D</b> Ground floor elevation, commercial	0' min/2' max	Street tree planting	Required
<b>E</b> Ground story, floor to floor	10' min	Tree spacing	See Sec. 4.2.3
<b>F</b> Upper story, floor to floor	9' min	Small canopy	15' on-center
Pedestrian Access		Medium canopy	25' on-center
<b>G</b> Entrance facing primary street	Required	Large canopy	35' on-center
<b>H</b> Entrance spacing along primary street	75' max	Street lighting	If installed must be per TPW specifications
Building Elements		*Where there is insufficient ROW to meet the minimum requirements, the FBC Administrator may approve modifications (see Article 5, Administration).	
Awning/canopy	◆		
Balcony	◆		
Forecourt	◆		
Gallery			
Porch	◆		
Stoop	◆		

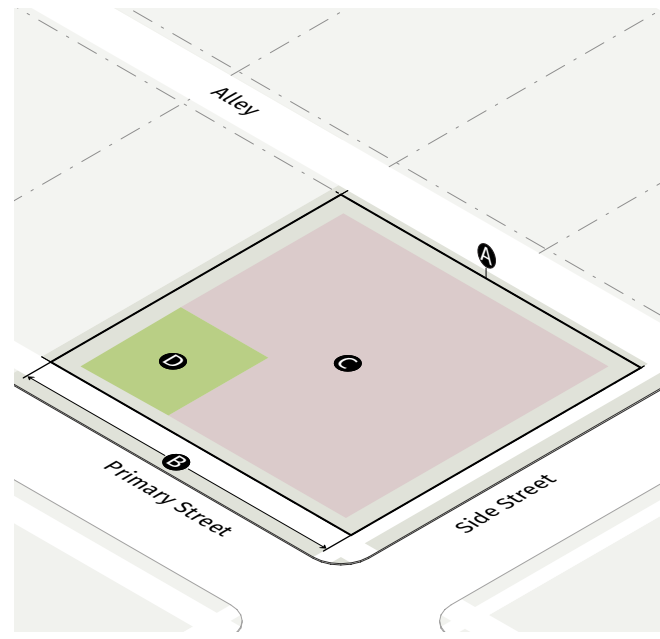
**DIV. 1.8. BU-CX: Commercial Mixed Use**



Intent	
The Commercial Mixed Use (BU-CX) district is intended to provide for a variety of residential, retail, service and commercial uses at a variety of scales and intensities in a pedestrian-friendly environment. While BU-CX accommodates commercial uses, the inclusion of residential and employment uses are strongly encouraged in order to promote live-work and mixed-use opportunities.	
Applicable Districts	
BU-CX-3, BU-CX-4, BU-CX-6	
Use	
Allowed uses	see Div. 3.1



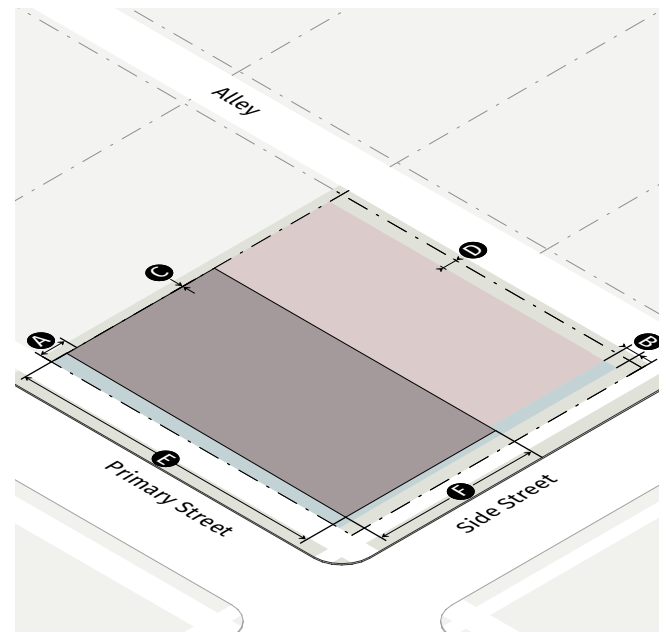
SEC. 1.8.2. LOT PARAMETERS



Coverage

● Building coverage	80% max
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SEC. 1.8.3. BUILDING PLACEMENT



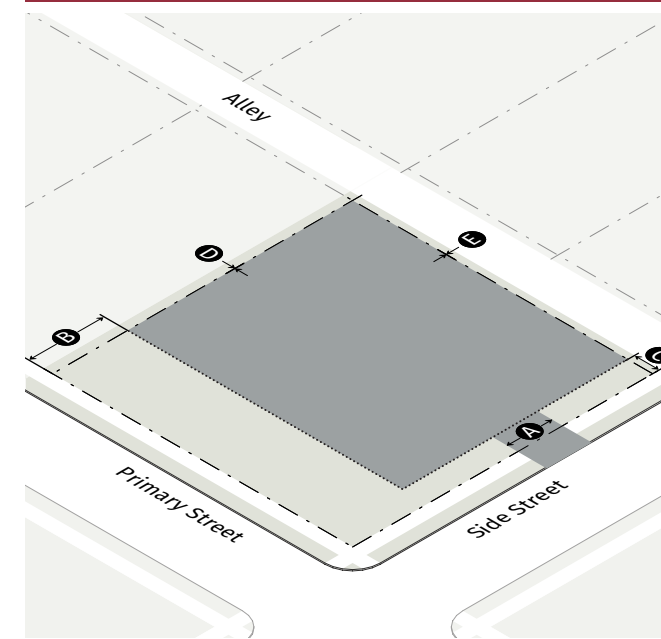
Building Setbacks

● Build-to zone: primary street	15' max
● Build-to zone: side street	15' max
● Side: common lot line	0' min
● Side: alley	5' min
● Side: protected district	6' min
● Rear: common lot line	0' min
● Rear: alley	5' min
● Rear: protected district	6' min

Build-to

● % of building facade in primary street build-to zone	80% min
● % of building facade in side street build-to zone	40% min

SEC. 1.8.4. ACCESS AND PARKING LOCATION



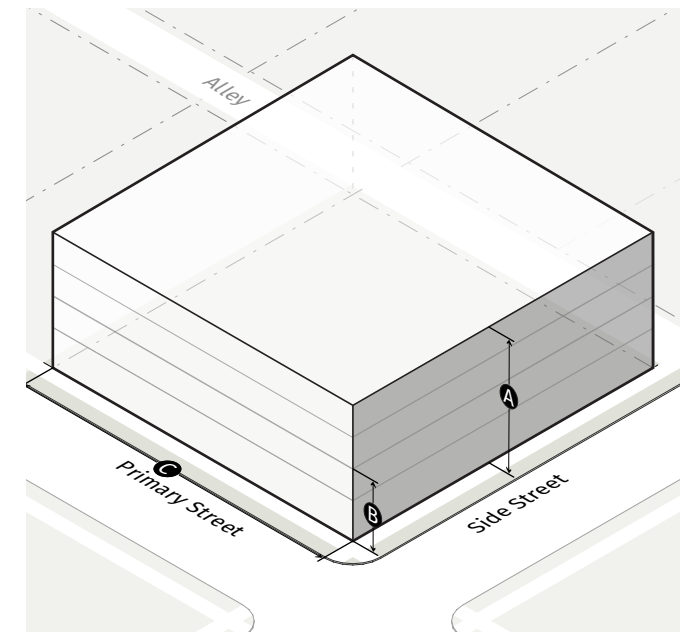
Vehicle Access

Primary street	Not allowed
Side street	Allowed
Alley	Allowed
● Driveway width in side street setback	18' max

Parking Setbacks

● Primary street setback	30' min
● Side street setback	10' min
● Side: common lot line/alley	0' min
● Rear: common lot line/alley	0' min

SEC. 1.8.5. HEIGHT AND MASS



Building Height

● Maximum height	
Without stormwater bonus	
BU-CX-3	3 stories/35' max
BU-CX-4	4 stories/50' max
BU-CX-6	6 stories/75' max
With stormwater bonus (see Div. 2.10)	
BU-CX-3	n/a
BU-CX-4	6 stories/75' max
BU-CX-6	8 stories/100' max
● Minimum height	2 stories of occupiable space

Building Mass

● Street-facing building length	200' max
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**SEC. 1.8.6. PUBLIC REALM**



The public realm standards below apply to all streets, unless noted otherwise.

	Residential Ground Floor	Nonresidential Ground Floor
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**Transparency**

<b>A</b> Ground story	20% min	50% min
<b>B</b> Upper story	20% min	20% min
<b>C</b> Blank wall area	30' max	30' max

**Story Height**

<b>D</b> Ground floor elevation	2' min/ 5' max	0' min/ 2' max
<b>E</b> Ground story: floor to floor	10' min	12' min
<b>F</b> Upper story: floor to floor	9' min	9' min

**Pedestrian Access**

<b>G</b> Entrance facing primary street	Required	Required
<b>H</b> Entrance spacing along primary street	75' max	100' max

**Building Elements**

See Sec. 2.9.5

Awning/canopy	◆	◆
Balcony	◆	◆
Forecourt	◆	◆
Gallery		◆
Porch	◆	
Stoop	◆	

**Building Setbacks**

<b>I</b> Primary/side street	See Sec. 2.5.3
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**Sidewalk\***

<b>J</b> Paved pedestrian zone	
Berry/University/Cleburne	10' min
All other streets	6' min

**Street Tree/Furniture Zone\***

<b>K</b> Parkway depth	6' min
Street tree planting	Required
Tree spacing	See Sec. 4.2.3
Small canopy	15' on-center
Medium canopy	25' on-center
Large canopy	35' on-center
Street lighting	If installed must be per TPW specifications

\*Where there is insufficient ROW to meet the minimum requirements, the FBC Administrator may approve modifications (see Article 5, Administration).

**DIV. 1.9 BU-SH: Shopfront**

**SEC. 1.4.24. SUMMARY**



**Intent**

The Shopfront (BU-SH) district is intended to create pedestrian shopping streets that support a variety of ground floor active uses, with residential and office above. BU-SH should be used sparingly and is intended only for areas where a high level of walkability and pedestrian activity is desired.

**Applicable Districts**

BU-SH-3, BU-SH-4

**Use**

Allowed uses see Div. 3.1

**Lot Types**

Hybrid -see Sec. 2.1.9

**Zoning Map**

See Div. 2.2

