

7.3.7 Maintenance of all landscape materials shall meet the requirements of Chapter 6, Article 3 of the City of Fort Worth Zoning Ordinance.

7.4 Street Furniture, Lighting, and Materials

7.4.1 Pedestrian scale lighting, with the top of fixture being no more than 20 feet from the ground, shall be provided along all streets except alleyways.

7.4.2 Street lights shall be placed at 60 feet (max.) on center, approximately 3 feet behind the curb line.

7.4.3 The light standard selected shall be compatible with the design of the street and buildings.

7.4.4 Trash receptacles and bike racks shall be required along Neighborhood Streets and along the Boulevard. A minimum of one each per block face shall be required.

7.4.5 Street furniture and pedestrian amenities such as benches are recommended along all Neighborhood Streets and the Boulevard.

7.4.6 All street furniture shall be located in such a manner as to allow a clear sidewalk passageway of a minimum of 6 feet.

7.4.7 Materials selected for paving and street furniture shall be of durable quality and require minimal maintenance.

VIII. Building Design Standards

The Building Design Standards and Guidelines for the Camp Bowie Boulevard Revitalization Code shall establish a coherent urban character and encourage enduring and attractive development.

Development plans shall be reviewed by the Planning and Development Director or designee for compliance with the standards below.

The key design principles establish essential goals for Camp Bowie Boulevard to ensure the preservation, sustainability, and visual quality of different development character areas along the Corridor. The design of buildings and their relationship to the street shall depend on the context of the development. Generally, the corridor becomes less pedestrian oriented further west from the Ridglea Gateway and the Ridglea Urban Village Core (North and South). Generally, buildings shall be located and designed so that they provide visual interest and create enjoyable, human-scaled spaces. The key design principles are:

- a. New buildings shall utilize building elements and details to achieve a pedestrian-oriented public realm within Ridglea Urban Village Core (North and South) and Ridglea Gateway Character Zones, along Neighborhood Streets and at streets intersections along Camp Bowie Boulevard.
- b. Compatibility is not meant to be achieved through uniformity, but through the use of variations in building elements to achieve individual building identity.
- c. Building facades shall include appropriate architectural details and ornament to create variety and interest.
- d. Open space(s) shall be incorporated to provide usable public areas integral to the urban environment.

8.1 General to all Character Zones

8.1.1 Building Orientation

- (i) Buildings shall be oriented towards Neighborhood Streets, where the lot has frontage along a Neighborhood Street. All other buildings shall be oriented towards the Boulevard or Civic Spaces. If the lot does not front a Neighborhood Street or the Boulevard then it may front a Local Street.

- (ii) Primary entrance to buildings shall be located on the street along which the building is oriented. At intersections, corner buildings may have their primary entrances oriented at an angle to the intersection.
- (iii) All primary entrances shall be oriented to the public sidewalk for ease of pedestrian access. Secondary and service entrances may be located from internal parking areas or alleys.

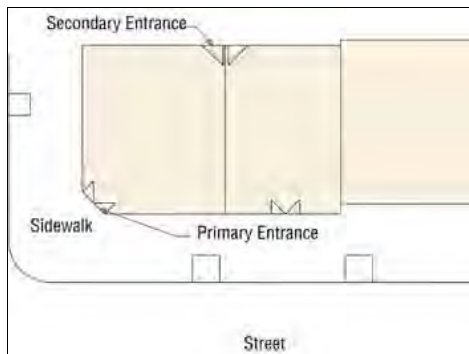


Figure showing required building orientation and location of primary entrances

- (iv) Garages, carports, or new surface parking for Residential Buildings shall be located and accessed from Local Streets or alleys at the rear of residential buildings.

8.1.2 Building Massing and Scale

- (i) Commercial and Mixed-Use buildings shall be simple, rectilinear forms with flat or low pitched roofs with parapets.
- (ii) Residential Buildings shall have relatively flat fronts and simple roofs with most building wing articulations set at the rear of the structure. Window projections, stoops, porches, balconies, and similar extensions are exempt from this standard.

- (iii) Gable roofs, if provided for residential buildings, shall have a minimum pitch of 5:12. When hipped roofs are used, the minimum pitch shall be 5:12. Other roof types shall be appropriate to the architectural style of the building. Porch roofs may be a minimum pitch of 3:12.

8.1.3 Design of Parking Structures

- (i) All frontages of parking structures located on Neighborhood Streets shall not have parking uses on the ground floor to a minimum depth of 30 feet along the Neighborhood Street frontage.
- (ii) The amount of Neighborhood Street frontage devoted to a parking structure shall be minimized by placing the shortest dimension(s) along the Neighborhood Street edge(s).
- (iii) Parking structure facades on all Neighborhood Streets and the Boulevard shall be designed with both vertical (façade rhythm of 20 feet to 30 feet) and horizontal (aligning with horizontal elements along the block) articulation.
- (iv) Where above ground structured parking is located at the perimeter of a building with frontage along a Neighborhood Street or the Boulevard; it shall be screened in such a way that cars on all parking levels are completely screened from view from all adjacent public streets. Parking garage ramps shall not be visible from any public street. Ideally, ramps should not be located along the perimeter of the parking structure. Architectural screens shall be used to articulate the façade, hide parked vehicles, and shield lighting.
- (v) When parking structures are located at corners, corner architectural elements shall be incorporated such as corner entrance, signage and glazing.

- (vi) Parking structures and adjacent sidewalks shall be designed so pedestrians are clearly visible to entering and exiting automobiles.



Images showing appropriate design of Parking Structures

8.1.4 Design of Automobile Related Building Site Elements

- (i) Drive-through lanes for commercial uses shall not be located along any Neighborhood Street. Drive-through lanes shall be hidden behind a Street Screen along the Boulevard frontage.
- (ii) No more than 50% of a lot’s frontage along the Boulevard shall be occupied by gas pumps, canopies, and/or service bays.
- (iii) Any buildings associated with any automobile related use shall also have a pedestrian entrance at a Neighborhood Street and/or the Boulevard.
- (iv) Outdoor storage of vehicles or other products sold shall not be permitted along Neighborhood Streets. Along the Boulevard, outdoor storage of vehicles or other products sold shall not exceed 50% of a lot’s frontage along the Boulevard. There shall be no such limitation along Local Streets or the Highway frontage.

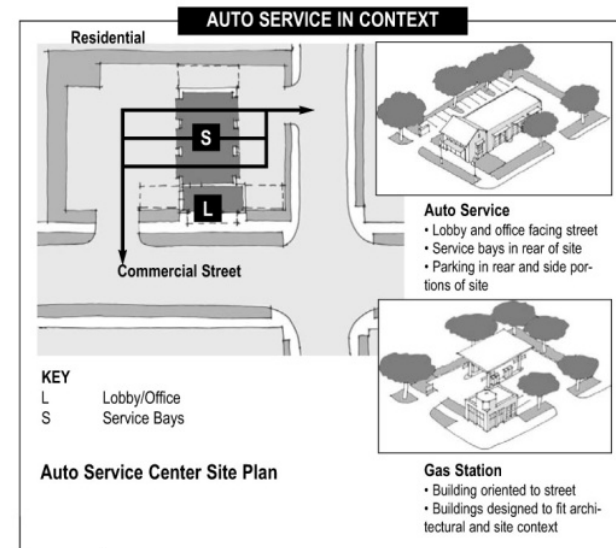


Illustration showing a site concept plan for an auto service centers

- (v) All off-street loading, unloading, and trash pick-up areas shall be located along Local Streets or alleys unless permitted in the specific building form and development standards in Section 6. Any off-street loading, unloading, or trash pick-up areas shall be screened using a Street Screen that is at least as tall as the trash containers and/or service equipment it is screening at the BTZ. The Street Screen shall be made up of (i) the same material as the principal building or (ii) a living screen or (iii) a combination of the two.

8.2 Specific to Ridglea Gateway and Ridglea Urban Village Core (North and South) Zones

Due to the architectural style of existing buildings in the Ridglea Urban Village which is predominantly Texas Spanish Style, the following standards shall be used for new development or redevelopment within the Ridglea Gateway and Ridglea Urban Village Core Zones.

8.2.1 Massing and Façade Composition

- (i) Buildings are generally built upon a rectangular layout schemes with single or multiple components with mostly flat front, with square, round or octagonal corner towers.
- (ii) Courtyards are utilized often. Front porches are rare, side and rear porches more common.
- (iii) Buildings shall maintain a prevalent façade rhythm of 20' to 30' or multiples thereof along all Neighborhood Streets and the Boulevard.



Image showing a symmetrical façade composition



Image showing an asymmetrical façade composition



Typical storefront with a façade rhythm of approximately 20'



Façade showing ground floor arcades with upper floor balconies

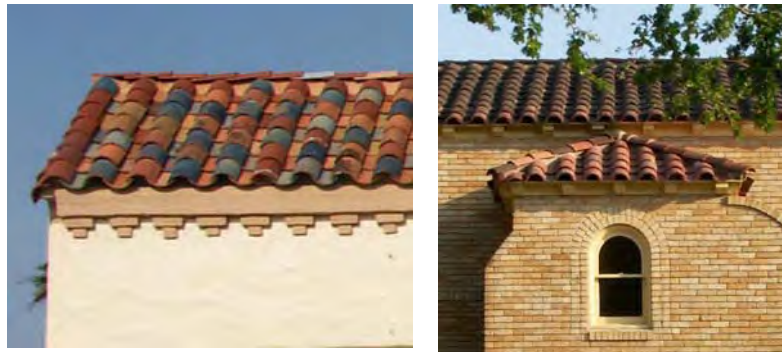
- (iv) This rhythm may be expressed by changing materials, or color, or by using design elements such as columns and pilasters, or by varying the setback of portions of the building façade.
- (v) Symmetrical or asymmetrical but well balanced façade compositions with the central part of the building expressed.

- (vi) Doors or windows forming regular patterns of openings, some accentuated by balconies.
- (vii) Tall and usually heavier ground floor often with arcade or colonnade.
- (viii) Commercial and Mixed-Use building facades shall be designed with a distinct base, middle and top and shall maintain the alignment of horizontal elements along the block.



Image of Tri-Partite Architecture

- (ix) Buildings are capped with wide and continuous eaves supported by open rafters and decorative brackets, or finished with elaborate parapet walls covered by tile and very shallow eaves.



Appropriate eave detail in the Ridglea Urban Village Core (North and South) and Ridglea Gateway Zones

- (x) Storefronts are inset with recessed entry, under the arcade or fit into arch openings, often with canvas awnings.



Images showing inset storefronts with canvas awnings or under arcades

- (xi) Awnings, blade signs, arcades, galleries, café seating and balconies should be used along commercial storefronts fronting a Neighborhood Street and the Boulevard to add pedestrian interest.
- (xii) If the residential building is setback less than 10' from the front property line, the grade of the slab or first floor elevation shall be elevated at least 18 inches above the grade of the sidewalk. If the residential structure is setback 10' or more from the property line and is not elevated above the grade of the sidewalk, a 3' high fence shall be provided at the front property line.
- (xiii) Chain link fences and plastic vinyl fences shall also not be permitted in the Ridglea Urban Village Core and Ridglea Gateway Character Zones.

8.2.2 Building Materials:

- (i) At least 80% of a building's façade along all Neighborhood Streets and the Boulevard shall be composed of stucco utilizing a 3-step process or monochromatic brick.
- (ii) No more than 20% of a building's façade along all Neighborhood Streets and the Boulevard shall use other accent materials wood, architectural metal panel, split-face concrete block, tile, or pre-cast

concrete panels. EIFS shall not be permitted along any Neighborhood Street or Boulevard façade.

- (iii) All facades along Local Streets or alleys shall be of a similar finished quality and color that blend with the front of the building. Building materials for these facades may be any of the primary and accent façade materials listed above.
 - Exterior Insulating Finishing System (EIFS) shall be limited to no more than 10% of the upper floor facades along Local Streets and alleys.
 - Cementitious-fiber clapboard (not sheet) with at least a 50-year warranty may only be used on the upper floors of any Local Street or alley facades.
- (iv) Roofing materials for pitched roofs visible from any public right-of-way shall be predominantly barrel clay tile.
- (v) Other materials will be considered as primary building materials on a case-by-case basis and may only be approved by the UDC.

separated by wall from other windows, wall openings are punched through the wall rather than grouped with other windows.

- (iii) Ornamental arches of various designs, deeper on the ground floor and shallower on upper floors.



Images showing appropriate window design in the Ridglea Gateway and Ridglea Urban Village Core (North and South) zones



Images showing appropriate building materials in the Ridglea Gateway and Ridglea Urban Village Core (North and South) zones

8.2.4 Architectural Details and other Elements

- (i) Elaborate detailing most common around principal openings.
- (ii) Decorative windows, metal railings at balconies.
- (iii) Canvas awnings, Roof towers, Masonry screen products for see-through walls or portions of walls.
- (iv) Use of tower elements

8.2.3 Windows

- (i) Recessed to give a thick wall impression. Commonly arched on the ground level and flat top on upper floors.
- (ii) Vertically proportioned with multiple panes in both casement and double hung design. Generally



Images showing appropriate architectural details in the Ridglea Gateway and Ridglea Urban Village Core (North and South) zones

8.3 Specific to Highway Frontage and General Corridor Mixed-Use Zones

8.3.1 Façade Composition

- (i) Buildings shall maintain a façade rhythm of 20' to 30' along all Neighborhood Streets and 30' to 50' or multiple thereof for façades along the Boulevard and Highway frontages.
- (ii) This rhythm may be expressed by changing materials, or color, or by using design elements such as fenestration, columns and pilasters, or by varying the setback of portions of the façade.
- (iii) Buildings shall be designed and built in tri-partite architecture so that they have a distinct Base, Middle and Cap.



Image of Tri-Partite Architecture

- (iv) An expression line or equivalent architectural element shall delineate the Base and Cap of all buildings. A Cornice shall delineate the caps of façades that do not utilize a pitched roof.
- (v) For retail storefront buildings, a transom, display window area, and bulkhead at the base shall be utilized.
- (vi) Storefronts on façades that span multiple tenants shall use architecturally compatible materials, colors, details, awnings, signage and lighting fixtures.
- (vii) Building entrances may be defined and articulated by architectural elements such as lintels, pediments, pilasters, columns, porticos, porches, overhangs, railings, balustrades, and others as appropriate. All building elements should be compatible with the architectural style, materials, colors, and details of the building as a whole. Entrances to upper level uses may be defined and integrated into the design of the overall building façade.
- (viii) Buildings shall generally maintain the alignment of horizontal elements along the block.

- (ix) Corner emphasizing architectural features, pedimented gabled parapets, cornices, awnings, blade signs, arcades, colonnades and balconies may be used along commercial storefronts to add pedestrian interest.



Highway Frontage and General Corridor Mixed-Use building organization

- (x) Buildings which are located on axis with a terminating street or at the intersection of streets shall be considered as feature buildings. Such buildings shall be designed with features which take advantage of that location, such as an accentuated entry and a unique building articulation which is off-set from the front wall planes and goes above the main building eave or parapet line.

8.3.2 Commercial and Mixed-Use Building Materials

- (i) At least 75% of each building façade (excluding doors and windows) along any Neighborhood Street, Boulevard, or Highway shall be finished in one of the following materials:
 - Masonry (brick, stone, stucco utilizing a three-step process, cast stone, glass, or glass block)
 - Split face concrete block or pre-cast, or poured in place concrete.
- (ii) No more than 25% of each façade along any Neighborhood Street or Boulevard or Highway

shall use accent materials such as wood, architectural metal panel, split-face concrete block, tile, or pre-cast concrete panels. EIFS shall not be permitted along any Neighborhood Street facade.

- (iii) All facades along Local Streets or alleys shall be of a similar finished quality and color that blend with the front of the building. Building materials for these facades may be any of the primary and accent façade materials listed above.
 - EIFS shall be limited to 40% of any Local Street or alley facing façade.
 - Cementitious-fiber clapboard (not sheet) with at least a 50-year warranty may only be used on the upper floors only of any commercial frontage on any street or alley façade and are limited to no more than 20%.
- (iv) Roofing materials visible from any public right-of-way shall be clay barrel tile, copper, factory finished standing seam metal, slate, synthetic slate, or similar materials.
- (v) Other materials will be considered as primary building materials on a case-by-case basis and may only be approved by the UDC.





Images showing appropriate building materials within Highway Frontage and General Corridor Mixed-Use Character Zones.

8.3.3 Residential Building Materials

- (i) The following shall be permitted finishes for all street fronting facades (except alleys) of residential buildings. No more than three different materials shall be used on any single façade:
 - Cementitious-fiber clapboard (not sheet) with at least a 50-year warranty;
 - Masonry (brick; stone; man-made stone; or stucco utilizing a three-step process);
- (ii) The following may only be allowed up to 40% as an accent material:
 - EIFS or similar material over a cementitious base, rock, glass block and tile.
- (iii) Side and rear facades shall be of finished quality and of the same color and materials that blend with the front of the building.
- (iv) Roofing materials visible from any public right-of-way shall be copper, factory finished standing seam metal, slate, synthetic slate, or similar materials.
- (v) Other materials will be considered as primary building materials on a case-by-case basis and may only be approved by the UDC.

8.4.1 Façade Composition

- (i) Buildings shall maintain a façade rhythm of 20' to 30' along all Neighborhood Streets and 30' to 50' or multiple thereof for façades along the Boulevard.
- (ii) This rhythm may be expressed by changing materials, or color, or by using design elements such as fenestration, columns and pilasters, or by varying the setback of portions of the façade.
- (iii) Buildings shall be designed and built in tri-partite architecture so that they have a distinct Base, Middle and Cap.



Image of Tri-Partite Architecture

- (iv) For retail storefront buildings, a transom, display window area, and bulkhead at the base shall be utilized.
- (v) Storefronts on façades that span multiple tenants shall use architecturally compatible materials, colors, details, awnings, signage and lighting fixtures.
- (vi) Building entrances may be defined and articulated by architectural elements such as lintels, pediments, pilasters, columns, porticos, porches, overhangs, railings, balustrades, and others as appropriate. All building elements should be compatible with the architectural style, materials, colors, and details of the

8.4 Specific to Western Business District Zone

building as a whole. Entrances to upper level uses may be defined and integrated into the design of the overall building facade.

- (vii) Buildings shall generally maintain the alignment of horizontal elements along the block.
- (viii) Corner emphasizing architectural features, pedimented gabled parapets, cornices, awnings, blade signs, arcades, colonnades and balconies may be used along commercial storefronts to add pedestrian interest.



Western Business building organization

8.4.2 Commercial and Mixed-Use Building Materials

- (i) At least 60% of each building’s Base façade (excluding doors and windows) along any Neighborhood Street or the Boulevard shall be finished in one of the following materials:
 - Masonry (brick, stone, stucco utilizing a three-step process, cast stone, glass, or glass block)
 - Split face concrete block or pre-cast, or poured in place concrete.
- (ii) No more than 40% of each façade along any Neighborhood Street or the Boulevard shall use accent materials such as wood, architectural metal panel, or EIFS.
 - Cementitious-fiber clapboard (not sheet) with at least a 50-year warranty may only be used on the upper floors only of any

commercial frontage on any street or alley façade.

- (iii) Roofing materials visible from any public right-of-way shall be copper, factory finished standing seam metal, slate, synthetic slate, or similar materials.
- (iv) Other materials will be considered as primary building materials on a case-by-case basis and may only be approved by the UDC.



Images showing appropriate building materials within the Western Business Character Zone.

8.4.3 Residential Building Materials

- (i) The following shall be permitted finishes for all street fronting facades (except alleys) of residential buildings. No more than three different materials shall be used on any single façade:
 - Cementitious-fiber clapboard (not sheet) with at least a 50-year warranty;
 - Lap sided wood
 - Masonry (brick; stone; man-made stone; or stucco utilizing a three-step process);
 - Architectural Metal Panels.
- (ii) The following may only be allowed up to 40%:
 - EIFS or similar material over a cementitious base, rock, glass block and tile.

- (iii) Side and rear facades shall be of finished quality and of the same color and materials that blend with the front of the building.
- (iv) Roofing materials visible from any public right-of-way shall be copper, factory finished standing seam metal, slate, synthetic slate, or similar materials.
- (v) Other materials will be considered as primary building materials on a case-by-case basis and may only be approved by the UDC.

- (iv) For retail storefront buildings, a transom, display window area, and bulkhead at the base shall be utilized.
- (v) Storefronts on façades that span multiple tenants shall use architecturally compatible materials, colors, details, awnings, signage and lighting fixtures.
- (vi) Building entrances may be defined and articulated by architectural elements such as lintels, pediments, pilasters, columns, porticos, porches, overhangs, railings, balustrades, and others as appropriate. All building elements should be compatible with the architectural style, materials, colors, and details of the building as a whole. Entrances to upper level uses may be defined and integrated into the design of the overall building facade.
- (vii) Buildings shall generally maintain the alignment of horizontal elements along the block.
- (viii) Corner emphasizing architectural features, pedimented gabled parapets, cornices, awnings, blade signs, arcades, colonnades and balconies may be used along commercial storefronts to add pedestrian interest.

8.5 Specific to Industrial Arts Zone

8.5.1 Façade Composition

- (i) Buildings shall maintain a façade rhythm of 30' to 50' along all Neighborhood Streets and the Boulevard.
- (ii) This rhythm may be expressed by changing materials, or color, or by using design elements such as fenestration, columns and pilasters, or by varying the setback of portions of the façade.
- (iii) Buildings shall be designed and built in tri-partite architecture so that they have a distinct Base, Middle and Cap.

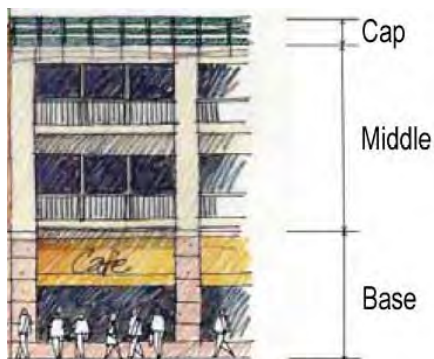


Image of Tri-Partite Architecture



Industrial Arts building organization

8.5.2 Commercial and Mixed-Use Building Materials

- (i) The following materials shall be permitted as principal building materials along all Neighborhood Street and Boulevard fronting facades:
 - Masonry (brick, stone, stucco utilizing a three-step process, cast stone, rock, marble, granite, glass, or glass block)
 - Split-face concrete block, tile, or pre-cast concrete panels
 - Architectural metal panel
- (ii) No more than 50% of each façade along any Neighborhood Street or the Boulevard shall use accent materials such as other metal finishes, wood or EIFS.
 - Cementitious-fiber clapboard (not sheet) with at least a 50-year warranty may only be used on the upper floors only of any commercial frontage on any street or alley façade.
- (iii) Roofing materials visible from any public right-of-way shall be copper, factory finished standing seam metal, slate, synthetic slate, or similar materials.
- (iv) Other materials will be considered as primary building materials on a case-by-case basis and may only be approved by the UDC.

- (i) The following shall be permitted finishes for all street fronting facades (except alleys) of residential buildings. No more than three different materials shall be used on any single façade:
 - Cementitious-fiber clapboard (not sheet) with at least a 50-year warranty;
 - Masonry (brick; stone; man-made stone; or stucco utilizing a three-step process);
 - Architectural Metal Panels.
- (ii) The following may only be allowed up to 40% as an accent material:
 - EIFS or similar material over a cementitious base, rock, glass block and tile.
- (iii) Side and rear facades shall be of finished quality and of the same color and materials that blend with the front of the building.
- (iv) Roofing materials visible from any public right-of-way shall be copper, factory finished standing seam metal, slate, synthetic slate, or similar materials.
- (v) Other materials will be considered as primary building materials on a case-by-case basis and may only be approved by the UDC.

8.6 Specific to Neighborhood Transition

8.6.1 Façade Composition

- (i) Buildings shall maintain a façade rhythm of 20' to 30' along all Neighborhood Streets.
- (ii) This rhythm may be expressed by changing materials, or color, or by using design elements such as fenestration, columns and pilasters, or by varying the setback of portions of the façade.
- (iii) Buildings shall be designed and built in tripartite architecture so that they have a distinct Base, Middle and Cap.
- (iv) Building entrances may be defined and articulated by architectural elements such as



Images showing appropriate building materials within the Industrial Arts Character Zone.

8.5.3 Residential Building Materials

lintels, pediments, pilasters, columns, porticos, porches, overhangs, railings, balustrades, and others as appropriate. All building elements should be compatible with the architectural style, materials, colors, and details of the building as a whole. Entrances to upper level uses may be defined and integrated into the design of the overall building facade.

- (v) Buildings shall generally maintain the alignment of horizontal elements along the block.
- (vi) Garages for Residential Buildings shall be located on alleys at the rear of residential buildings; pull-through garages are allowed if the garage door is set back behind the rear façade of the main structure. If front-loaded garages or carports are utilized on residential uses, the garages and carports shall be no greater than 12 feet wide and set back at least 20 feet measured from the face of the main structure closest to the garage/carport or rotated 90 degrees with windows on the wall facing the street. On corner lots, the garage may be rotated with windows facing the primary street with driveway access from the secondary street.
- (vii) All garage doors shall be divided into single bays separated by at least a 16-inch pier or column. Front-loaded garages on residential lots less than 40 feet wide shall not be allowed. Town homes and courtyard apartments shall utilize rear-loaded garages.

8.6.2 Commercial and Mixed-Use Building Materials

- (i) At least 80% of each building’s façade (excluding doors and windows) along any Neighborhood Street shall be finished in one of the following materials:

- Masonry (brick, stone, stucco utilizing a three-step process, cast stone, glass, or glass block)
- (ii) No more than 20% of each façade along any Neighborhood Street shall use accent materials such as wood, architect metal panel, split-face concrete block, tile, or pre-cast concrete panels. EIFS shall not be permitted along any Neighborhood Street facade.
- (iii) A building’s facades along all other streets or alleys shall be of a similar finished quality and colors that blend with the front of the building. Building materials for these facades may be any of the primary and accent façade materials listed above.
 - EIFS shall be limited to 25% of all other facades.
 - Cementitious-fiber clapboard (not sheet) with at least a 50-year warranty.
- (iv) Roofing materials visible from any public right-of-way shall be copper, factory finished standing seam metal, slate, synthetic slate, or similar materials.
- (v) Other materials will be considered as primary building materials on a case-by-case basis and may only be approved by the UDC.



Image showing appropriate character and building materials within the Transition Character Zone.

8.6.3 Residential Building Materials

- (i) The following shall be permitted finishes for all street fronting facades (except alleys) of residential buildings. No more than three different materials shall be used on any single façade:
 - Cementitious-fiber clapboard (not sheet) with at least a 50-year warranty;
 - Masonry (brick; stone; man-made stone; or stucco utilizing a three-step process);
 - Architectural Metal Panels.
- (ii) The following may only be allowed up to 40% as an accent material:
 - Rock, glass block, tile, or EIFS or similar material over a cementitious base.,.
- (iii) Side and rear facades shall be of finished quality and of the same color and materials that blend with the front of the building.
- (iv) Roofing materials visible from any public right-of-way shall be copper, factory finished standing seam metal, slate, synthetic slate, or similar materials.
- (v) An enclosed garage or carport shall be designed and constructed of the same material as the primary building.
- (vi) Other materials will be considered as primary building materials on a case-by-case basis and may only be approved by the UDC.

IX. Signage Standards

- 9.1 Applicability:** Except as specifically listed below, all other signage and sign standards shall comply with Chapter 6, Article 4 of the City of Fort Worth Zoning Ordinance, as amended.

For new signs, the standards in Table 9.1 shall apply and sign permits shall be approved administratively by the City of Fort Worth Building Official unless specifically noted in this section.