

- 9.2 Unique Sign Applications.** An applicant has the option to establish unique sign standards including size, color, type, design, and location. Such applications shall be reviewed as “Unique Sign Plans” by the Planning and Development Director and are subject to approval of the UDC. In evaluating a Unique Sign Plan, the UDC shall consider the extent to which the application meets the following:
- 9.2.1 Promotes consistency among signs within a development thus creating visual harmony between signs, buildings, and other components of the property;
 - 9.2.2 Enhances the compatibility of signs with the architectural and site design features within a development;
 - 9.2.3 Encourages signage that is in character with planned and existing uses thus creating a unique sense of place; or
 - 9.2.4 Encourages multi-tenant commercial uses to develop a unique set of sign regulations in conjunction with development standards.

X. Open Space Standards

10.1 Applicability. This chapter establishes the public Civic Space and private Open Space Standards for the Corridor. The detailed Civic Space Standards for each type are included in this Section. These standards include general character, typical size, frontage requirements, and typical uses.

10.2 Private Open Space Standards. Given the mixed use nature of development within the Corridor, all new residential and lodging uses within the Corridor shall meet the private open space standards established in this Section. Table 10.1 establishes the standards for different private open space types and Table 10.2 establishes the private open space requirement based on the proposed intensity of residential or lodging development.

Table 10.1 Private Open Space Types

<i>Private Open Space Type</i>	<i>Standards and criteria</i>
(i) Balconies	<p>Balconies that are not flush shall be a minimum of 5 feet clear in depth and a minimum of 8 feet in width</p> <p>Balconies may be semi-recessed or recessed. Projecting metal or slab balconies are only permitted if they have some means of visible support.</p>
(ii) Patios	<p>Patios shall be a minimum of 150 sq.ft.</p> <p>Patios shall have a clear sense of enclosure and separation from the public realm.</p>
(iii) Courtyard	<p>Courtyards shall be surrounded on all sides by buildings with at least one pedestrian connection to an adjoining building or public sidewalk.</p> <p>The courtyard shall be a minimum of 200 square feet. Courtyard may be landscaped or a combination of landscape and hardscape. However, they shall contain amenities for residents such as seating, water features, etc.</p>
(iv) Forecourt	<p>A Forecourt shall be surrounded on at least two sides by buildings.</p> <p>A Forecourt shall be a minimum of 150 square feet.</p>
(v) Playground	<p>Playgrounds shall be a minimum of 400 sq.ft.</p>
(vi) Community Garden	<p>Maximum size shall be 1 acre</p> <p>Gardens shall be enclosed by a fence on all open sides.</p> <p>Fences should be installed straight and plumb, with vertical supports at a minimum of 8' on center. Chicken wire, if used, should be continuously supported along all edges.</p> <p>Fencing Materials: <u>Permitted:</u> pressure treated wood (must be painted or stained medium to dark color), chicken wire, wrought iron, painted galvanized steel <u>Not permitted:</u> chain link, bobbed wire, vinyl, unpainted/stained pressure treated wood, plywood</p>

<i>Private Open Space Type</i>	<i>Standards and criteria</i>
(vii) Roof terraces	A Roof Terrace shall at least be 50% of the building footprint area. A Roof Terrace shall provide landscaping in the form of potted plants, seating, and other amenities for the users of the building. A Roof Terrace may also include a portion of the roof as a green roof which may or may not have public access.
(viii) Private Open Space Amenity (pool, play courts, picnic area, etc.)	Such private open space may be incorporated with roof terraces or courtyards based on the appropriateness of the design and accommodation of privacy.

Table 10.2 Private Open Space Standard

<i>Number of Residential Units proposed</i>	<i>Private Open Space Standard Proposed</i>
1 – 4	None
5 – 12	The development shall provide: <ul style="list-style-type: none"> At least 40% of all residential units fronting on a street, public civic space, fore court, or courtyard shall provide one balcony or patio; <u>or</u> One playground or other private open space amenity All other private open spaces are optional.
13 –25	The development shall provide: <ul style="list-style-type: none"> At least 40% of all residential units fronting on a street, public civic space, fore court, or courtyard shall provide one balcony or patio; <u>and</u> One playground area or other private open space amenity All other private open spaces are optional
26 – 50	Any 3 of the private open spaces in the list above
Over 50 units	Shall provide at least one public civic space such as a green, square, plaza or paseo
Hotel with more than 200 lodging rooms	Shall provide at least one public civic space such as a green, square, plaza or paseo

10.3 Public Civic Space Standards. The design of public Civic Space shall be regulated by the Civic Space standards herein which shall create a network of open spaces that recognizes the natural qualities of the area while providing a range of both passive and active recreational opportunities. These opportunities may be accommodated

in a variety of spaces ranging from larger parks to neighborhood-scaled greens to urban squares and plazas. The open space network will be serviced by an interconnected network of trails and paths for pedestrians and bicyclists alike. The following section shall apply to all public Civic Space proposed within the Camp Bowie Corridor.

10.3.1 Green Standards



Greens shall be appropriate where civic spaces are recommended on the Regulating Plan and will serve as important public spaces. Greens will be available for civic purposes, commercial activity, unstructured recreation and other passive uses. Greens shall primarily be naturally landscaped with many shaded places to sit. Appropriate paths, civic elements, fountains or open shelters may be included and shall be formally placed within the green. Greens are appropriate in the Ridglea Gateway, Ridglea Urban Village Core, General Corridor Mixed Use, Highway Commercial, and the Western Business District Character Zones.

Typical Characteristics
General Character
Open space
Spatially defined by landscaping and building frontages
Lawns, trees and shrubs naturally disposed
Open shelters and paths formally disposed
Location and Size
Size may range from 0.5 – 5 acres.
Typical Uses
Unstructured and passive recreation
Casual seating
Commercial and civic uses
Residential address

10.3.2 Square Standards



Squares serve as an open space available for civic purposes, commercial activity, unstructured recreation and other passive uses. The square should have a more urban, formal character and be defined by the surrounding building frontages and adjacent tree-lined streets. All buildings adjacent to the square shall front onto the square. Adjacent streets shall be lined with appropriately scaled trees that help to define the square. The landscape shall consist of lawns, trees, and shrubs planted in formal patterns and furnished with paths and benches. Shaded areas for seating should be provided. A civic element or small structure such as an open shelter, pergola, or fountain may be provided within the square. Squares are appropriate in the Ridglea Gateway, Ridglea Urban Village Core, Highway Commercial, and General Corridor Mixed Use Character Zones.

Typical Characteristics

General Character

- Formal open space
- Spatially defined by buildings and tree-lined streets.
- Open shelters, paths, lawns, and trees formally arranged
- Walkways and plantings at all edges
- Located at important intersection

Location and Size

Size shall range from 0.5 to 2 acres.

Typical Uses

- Unstructured and passive recreation
- Casual seating
- Commercial and civic uses

10.3.3 Plaza Standards



Plazas add to the vibrancy of streets within the more urban zones and create formal open spaces available for civic purposes and commercial activity. Building frontages shall define these spaces. The landscape should consist primarily of hardscape. If trees are included, they should be formally arranged and of appropriate scale. Casual seating, along with tables and chairs, should be provided. Plazas typically should be located at the intersection of important streets. Plazas are appropriate in the Ridglea Gateway, the Ridglea Urban Village Core, and the General Corridor Mixed Use Character Zones.

Typical Characteristics

General Character

- Formal open space
- Primarily hardscape surfaces
- Trees and shrubs optional
- Spatially defined by building frontages

Location and Size

Location shall be as shown on the Regulating Plan (Appendix B). Size shall range from 0.25 acre to 1 acre. Shall front on at least one (1) street.

Typical Uses

- Commercial and civic uses
- Casual seating
- Tables and chairs for outdoor dining
- Retail and food kiosks

10.3.4 Paseo Standards



A **Paseo or Pedestrian Passage** is an intimate street level passage way for pedestrians through blocks at designated locations on the Regulating Plan. These paths provide direct pedestrian access to key destinations and create unique spaces for frontages to engage and enter off of. A pedestrian passage may be used to visually reduce the impact of a large development block. Building edges may accommodate active uses such as shops and restaurants. Pedestrian passages should consist of a hardscape pathway activated by frequent entries and exterior stairways. The edges may simply be landscaped with minimal planting and potted plants. Arcades may line Paseos to provide shade and a more attractive edge. Paseos may allow access to emergency and maintenance vehicles. Paseos shall be appropriate in all character zones.

Typical Characteristics

General Character

- Hardscape pathway
- Pedestrian friendly frontages
- Small-scale commercial uses
- Frequent entries

Location and Size

- The minimum width shall be 15’.
- The maximum width shall be 50’.

Typical Uses

- Small scale commercial uses
- Residential uses
- Casual seating

XI. Definitions

In addition to Definitions in Chapter 9 of the City of Fort Worth Zoning Ordinance, the following terms shall have the corresponding interpretations.

Arcade: is a portion of the main façade of the building that is at or near the Street-Setback Line and a colonnade supports the upper floors of the building. Arcades are intended for buildings with ground floor commercial or retail uses and the arcade may be one or two stories.

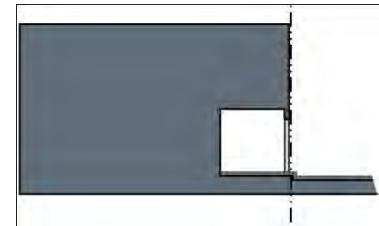


Image of an arcade

Attics/Mezzanines: the interior part of a building contained within a pitched roof structure or a partial story between two main stories of a building.

Auto-Related Sales and Service Uses: are establishments that provide retail sales and services related to automobiles including, but not limited to, cars, tires, batteries, gasoline, etc.

Build-to Zone: the area between the minimum and maximum setbacks within which the principal building’s front façade is to be built.

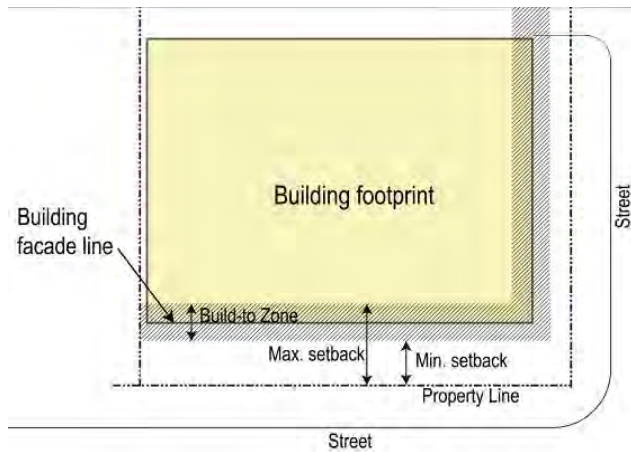
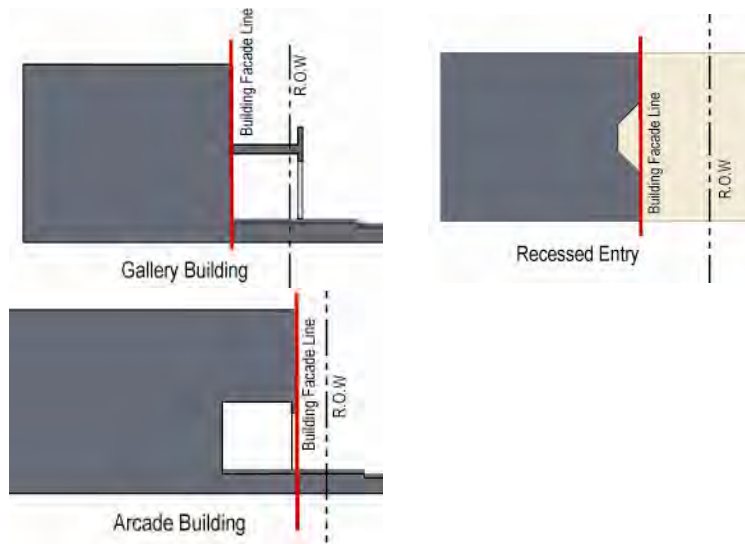


Illustration indicating the location of the build-to zone relative to the minimum and maximum setbacks and the building façade line

Building Façade Line means the vertical plane along a lot where the portion of the building’s front façade closest to the street is actually located.



Building Façade Line Illustrations

Building Form Standards: the standards established for each Character Zone that specifies the height, bulk, orientation, and elements for all new construction and redevelopment.

Building Frontage: the percentage of the building’s front façade that is required to be located at the front Build-to Line or Zone as a proportion of the block frontage along that public street. Parks, plazas, squares, improved forecourts, and pedestrian breezeway frontages shall be considered as buildings for the calculation of building frontage.

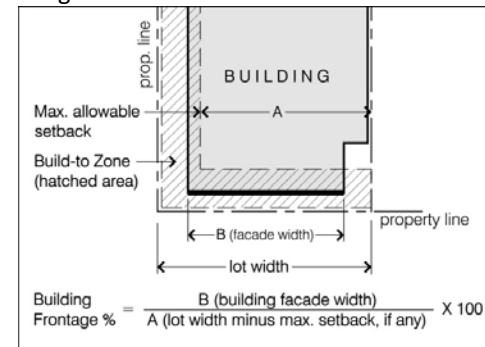


Image showing how a lot’s building frontage is calculated.

Certificate of Appropriateness (COA): is the official document issued by the Planning and Development Director, and for certain cases, is issued after recommendation by the UDC, authorizing proposed work to buildings within the District.

Character Zone means an area within the Camp Bowie Corridor that creates a distinct urban form different from other areas within the Corridor. Character Zones are identified in the Regulating Plan

Civic/Open Space: a publicly accessible open space in the form of parks, courtyards, forecourts, plazas, greens, pocket parks, playgrounds, etc. They may be privately or publicly owned. For all residential uses, privately accessible open spaces such as

courtyards, porches, and balconies may also be considered as Civic/Open Space for the purposes of this ordinance.

Green – a civic/open space intended for unstructured recreation, spatially defined by landscaping rather than building frontages.

Park – a civic/open space that is a natural preserve available for unstructured recreation.

Plaza – a primarily hardscaped, civic/open space with formal landscaping, available for civic purposes and commercial activities. A plaza shall be spatially defined by buildings.

Playground – a civic/open space designed and equipped for children’s recreation. A playground may be fenced and may include an open shelter. Playgrounds may be located within residential areas and may be placed within a block. They may be included in other civic/open spaces.

Paseo: is a civic space dedicated for pedestrian movement located between blocks, buildings or along alleys. Paseos may terminate public streets.



Image of a typical paseo

Commercial or Mixed Use Building means a building in which the ground floor of the building is built to commercial ready standards and any of the floors are occupied by non-residential or residential uses.

Commercial Ready means space constructed at a minimum ground floor height as established in each character zone which may be used for noncommercial uses and can be converted into retail/commercial use. Prior to the issuance of a certificate of occupancy for a retail/commercial use in a Commercial-Ready space, the space must comply with all building and construction codes for that use. The intent of Commercial-Ready space is to provide the flexibility of occupying a space in accordance with market demand and allowing the use in such space to change to retail/commercial uses accordingly.

Community Garden is a small to medium size garden cultivated by members of an area for small scale agricultural uses for the benefit of the same people. It may consist of individually tended plots on a shared parcel or may be communal (everyone shares a single plot).



Images of community gardens

Comprehensive Plan: City of Fort Worth Comprehensive Plan that establishes the blueprint for the long-term growth and development of the City.

Cottage Manufacturing uses means small scale assembly and light manufacturing of commodities (incl. electronics) fully enclosed within the building without producing any noise, noxious odors, gas, or other pollutants. This category shall include workshops and studios for cottage industries such as pottery, glass-blowing, metal working, screen printing, weaving, etc.

Courtyard is a landscaped open space in the center of the block with no street frontage, surrounded by walls or buildings on all

sides. It shall be large enough to allow for public activities and have sunlight during midday. It should be designed to connect to adjacent buildings or to the public sidewalk through a pedestrian passage.



Images of Courtyards

Encroachment: any structural or non-structural element such as a sign, awning, canopy, terrace, or balcony, that breaks the plane of a vertical or horizontal regulatory limit, extending into a Setback, into the Public R-O-W, or above a height limit.

Forecourt is similar to a Courtyard, however, it is located in the front of a building such that the forecourt is surrounded on two or three sides by wings of the building.



Image of a forecourt

Gallery: is an extension of the main façade of the building that is at or near the front property line and the gallery may overlap the public sidewalk.

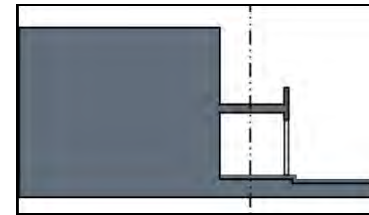


Image of a Gallery

Illustrative Concept Plan: shall be the design concepts and drawings developed during the Camp Bowie Corridor Code initiative and hereby attached as Appendix B to this Code.

Institutional Uses: are uses that are related to non-profit organizations dedicated to religious or social functions.

Live-Work Unit means a mixed use building type with a dwelling unit that is also used for work purposes, provided that the ‘work’ component is restricted to the uses of professional office, artist’s workshop, studio, or other similar uses and is located on the street level and constructed as separate units under a condominium regime or as a single unit. The ‘work’ component is usually located on the ground floor which is built to Commercial Ready standards. The ‘live’ component may be located on the street level (behind the work component) or any other level of the building. Live-work unit is distinguished from a home occupation otherwise defined by this ordinance in that the work use is not required to be incidental to the dwelling unit, non-resident employees may be present on the premises and customers may be served on site.

Living Fence: shall be a Street Screen composed of landscaping in the form of vegetation.

Patio is an outdoor space for dining or recreation that adjoins a residence and is often paved. It may also be a roofless inner courtyard within a residence, typically found in Spanish and Spanish-style dwellings.



Image of a patio

Playgrounds are open spaces designed and equipped for the recreation of children. These playgrounds should serve as quiet, safe places -- protected from the street and typically located where children do not have to cross major streets to access. Playgrounds may be fenced. An open shelter, play structures or interactive art and fountains may be included with landscaping between. Shaded areas and seating shall be provided. Playground equipment and design must be reviewed and approved by the City prior to installation. A larger playground may be incorporated into the park, whereas a more intimate playground may be incorporated into the green.



Images of playgrounds

Private Open Space Amenity shall be any other private open space that could include a pool (swimming, lap pool, spa area), play courts (basket ball), or picnic areas with shade structures.

Regulating Plan: is a Zoning Map that shows the character zones and street type designations applicable to the Camp Bowie Corridor subject to the standards in this Ordinance.

Residential Building means a building type that is built to accommodate only residential uses on all floors of the building such as townhomes, apartment buildings, duplexes, etc.

Retail Sales: Retail establishments are the final step in the distribution of merchandise. They are organized to sell in small quantities to many customers. Establishments in stores operate as fixed point-of-sale locations, which are designed to attract walk-in customers. Retail establishments often have displays of merchandise and sell to the general public for personal or household consumption, though they may also serve businesses and institutions. Some establishments may further provide after-sales services, such as repair and installation. Included in, but not limited to this category, are durable consumer goods sales and service, consumer goods, other grocery, food, specialty food, beverage, dairy, etc, and health and personal services.

Roof terraces are flat areas on top of a building which are accessible for use as a recreation space for the residents and users of the building.



Image of a roof terrace

Service Uses: This is a category for limited personal service establishments which offer a range of personal services that include (but not limited to) clothing alterations, shoe repair, dry cleaners, laundry, health and beauty spas, tanning and nail salons, hair care, etc.

Sign, Building Blade: is a pedestrian-oriented sign that is affixed perpendicular to the corner of a building or along the front façade of a building above the ground floor to provide identification for the whole building.



Image of a Building Blade Sign

Sign, Tenant Blade: is a smaller pedestrian-oriented sign that is affixed perpendicular to the building façade under a canopy or awning or immediately over a tenant space and provides identification for individual tenants within a building.



Image of a Tenant Blade Signs

Sign, Freestanding: shall include both permanent and temporary signs placed within a building's front yard. Freestanding signs may be Monument Signs.

Sign, Marquee: is a sign structure placed over the entrance to a theatre or other public gathering venue. It has signage stating

either the name of the establishment or, in the case of theatres or other public venues, the name of the event, artist, and other details of the event appearing at that venue. The marquee is often identifiable by a surrounding cache of light bulbs. Marquee signs may often be combined with Building Blade signs.



Image of a Marquee sign with a Building Blade Sign

Sign, Monument: is any freestanding sign which is connected to the ground and which has no clear space for the full width of the sign between the bottom of the sign and the surface of the ground. A monument sign may include a sign face and sign structure, and may also include a sign base and sign cap.



Image of a Monument Sign

Sign, Sandwich Board: is a portable sign consisting of two panels of equal size, which are hinged at the top or one panel with a support and placed on the ground or pavement so as to be self-supporting.



Images of sandwich board signs.

Street Screen: a freestanding wall or living fence built along the frontage line or in line with the building façade along the street. It may mask a parking lot or a loading/service area from view or provide privacy to a side yard and/or strengthen the spatial definition of the public realm.



Image of a combination masonry and living street screen

Transition Zones: are the areas with specific adjacencies within which certain limitations on building heights apply as established for each Frontage Type.