

SECTION 5. DEVELOPMENT STANDARDS AND GUIDELINES

5.A. Intent and Principles

This section includes standards and guidelines related to the orientation and configuration of streets, public spaces, buildings, sites, and parking facilities. The purpose of these standards and guidelines is to promote high quality, pedestrian-oriented, sustainable development that adapts to changing conditions over time, without dictating architectural style. The following principles provide the basis for the development standards and guidelines.



STREETS AND PUBLIC SPACES

1. Design all streets and sidewalks to promote pedestrian activity and comfort. Sidewalks serve as the Near Southside's most heavily used public spaces.
2. Balance the circulation requirements of automobiles, mass transit vehicles, bicycles, and pedestrians in the design of street cross-sections. Utilize context-sensitive design strategies to achieve this balance.
3. Provide designated road space for bicycles, such as striped bike lanes, on roads that would otherwise be uncomfortable or unsafe for less experienced or slow riders.
4. Emphasize attention to detail and quality construction in the design and construction of streets.
5. Use simple but effective roadside designs to allow easy maintenance.
6. Provide on-street parking in as many areas as possible to support district businesses and to calm traffic speeds.
7. Adhere to time-tested roadside design strategies that create walkable streets, including shade trees and pedestrian lights located along the curb, between the roadway and the walkway.
8. Provide a wide range of public spaces (in addition to comfortable sidewalks), including neighborhood-oriented pocket parks, community gathering places, and recreational facilities.
9. Incorporate elements into public spaces that engage all age groups, including young children and the elderly.



On-street parking, wider sidewalks, street trees, and outdoor dining areas will help create the district's most appealing and heavily used public spaces.



The Near Southside aims to accommodate multi-modal transportation solutions, including buses, bikes and trains.



A network of public spaces that includes both smaller plazas and larger parks is a key element in urban districts.



Storefronts along S. Main St.

The principles support active streets with ground level uses that are oriented to public sidewalks.



Parking lot located behind a building on Magnolia Ave.

Parking lots located behind or to the side of buildings are consistent with the district's urban character.



Historic Mehl Building on Magnolia Ave.

Historically significant buildings help define the district and should be incorporated into new projects.

5.A. Intent and Principles (cont.)

SITES AND BUILDINGS

1. Design sites and buildings, and the lower floors of buildings in particular, so that they promote pedestrian activity and provide an active, human-scale, continuous, pedestrian-oriented street edge along public sidewalks.
2. Design buildings and sites that provide visual variety and enhance the Near Southside's overall sense of place.
3. Build distinctive neighborhoods that enhance local identity.
4. Promote building scale that enhances the public realm, and promote new buildings that complement the scale of neighboring structures, particularly adjacent historic buildings.
5. Locate and design surface parking lots, individual garages, and large parking garages so as to reduce their visual impact and/or to create public amenities (e.g., through aesthetic or environmental features).
6. Design and orient buildings on Magnolia, Park Place, West Rosedale, South Main, Pennsylvania, 8th Avenue, and Vickery so as to support the streets' roles as the Near Southside's primary pedestrian-oriented commercial districts.
7. Encourage the use of durable, attractive materials that promote sustainability and the reuse of buildings.
8. Design buildings that reflect the time in which the structures are built, as the district's most treasured historic buildings do.
9. Without dictating architectural style, encourage building facade designs that contribute to an attractive streetscape and skyline.
10. Encourage all civic and publicly sponsored buildings to be of exceptional design quality.
11. Design buildings and sites so as to minimize negative impacts on air and water quality and to promote a sustainable natural environment.

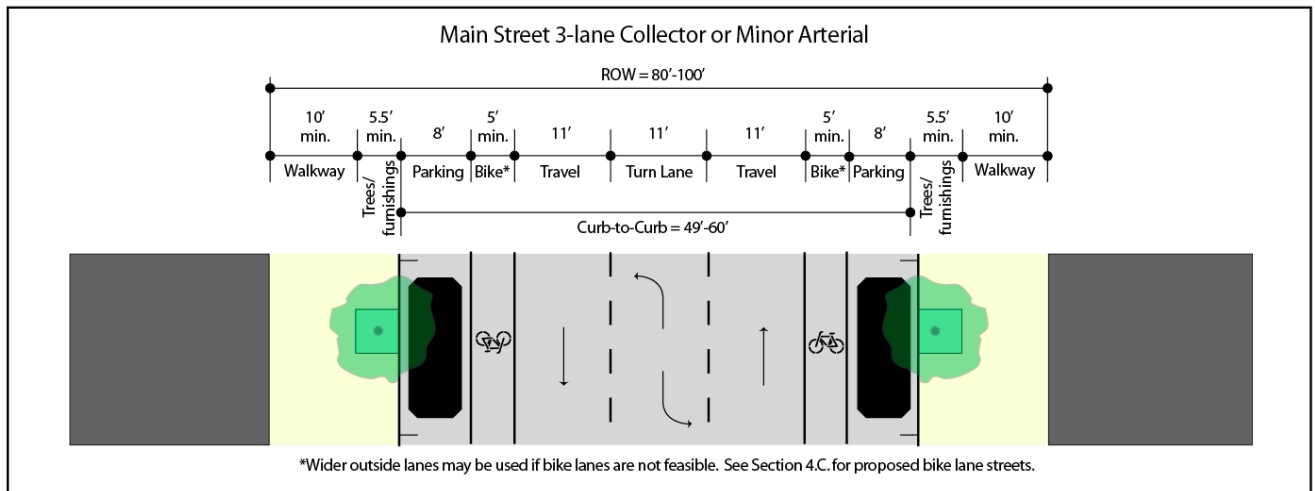
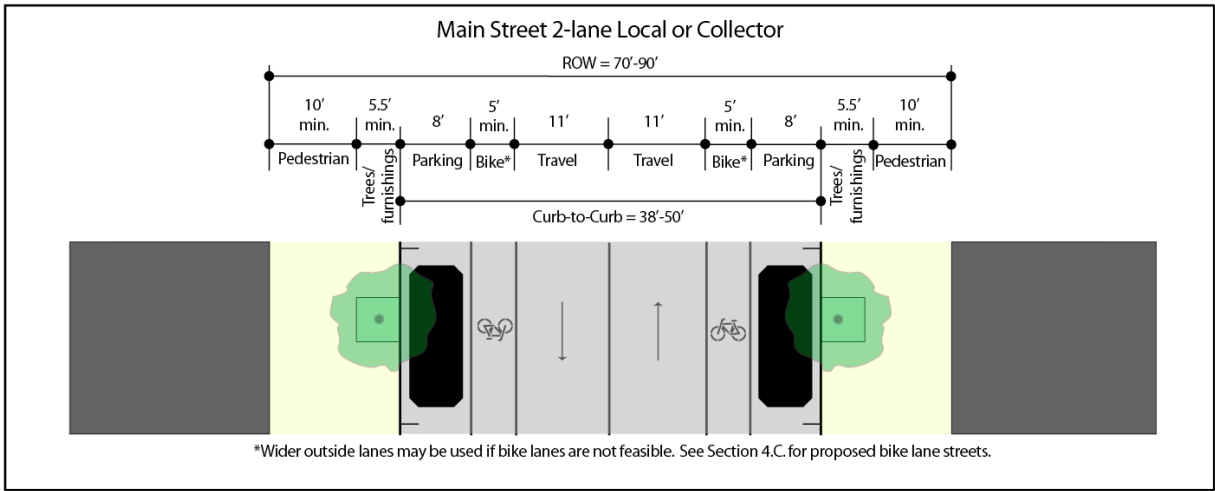
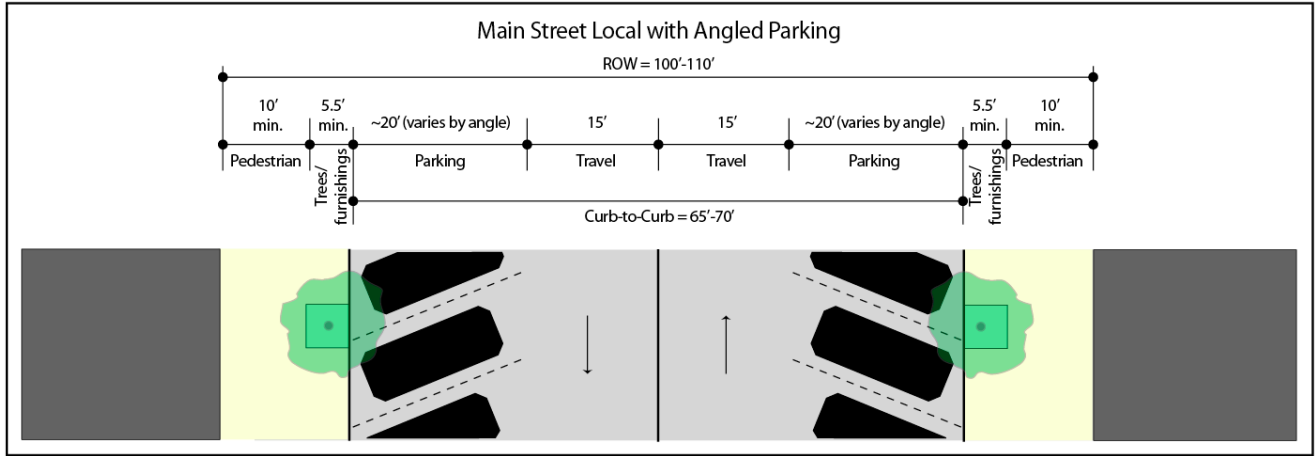


Buildings should use high quality, timeless materials that strengthen the architectural character of the district.

5.B. Streets and Other Public Spaces

1. Street Standards

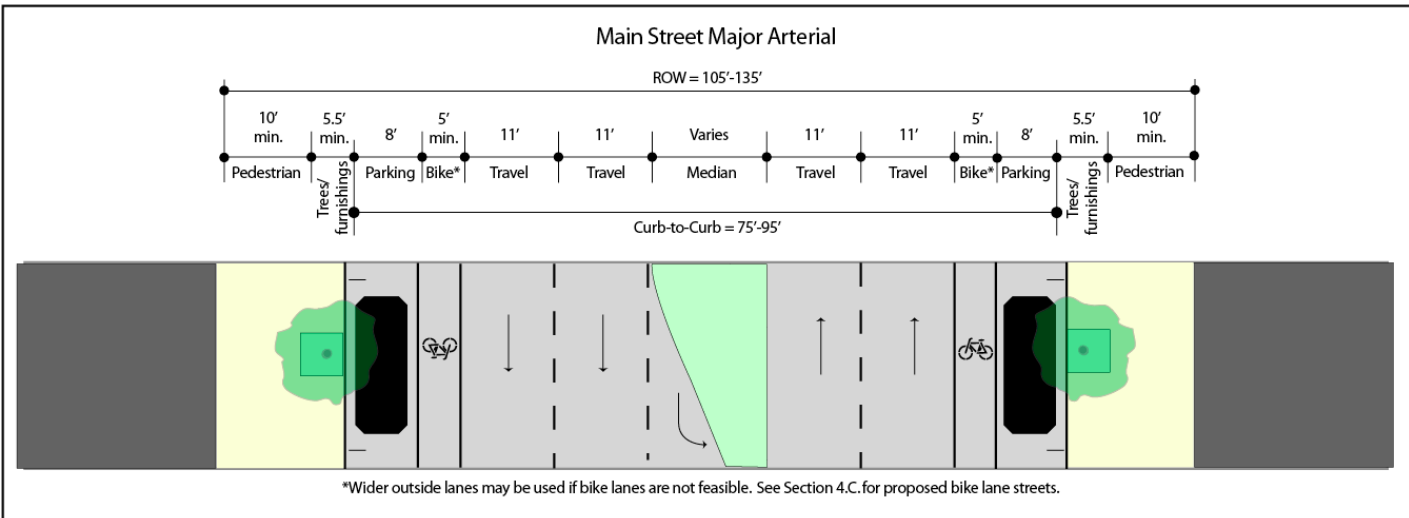
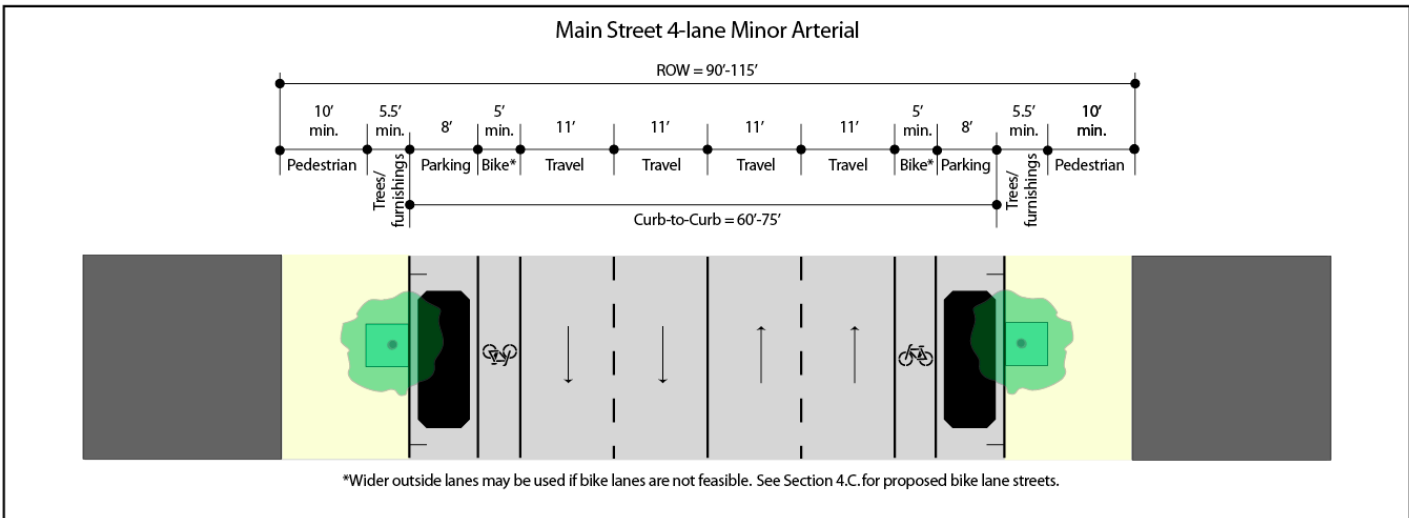
a. Main Streets



NOTES:

1) The City's Traffic Engineer is authorized to approve modifications to cross-section dimensions in response to site-specific constraints.

a. Main Streets (cont.)



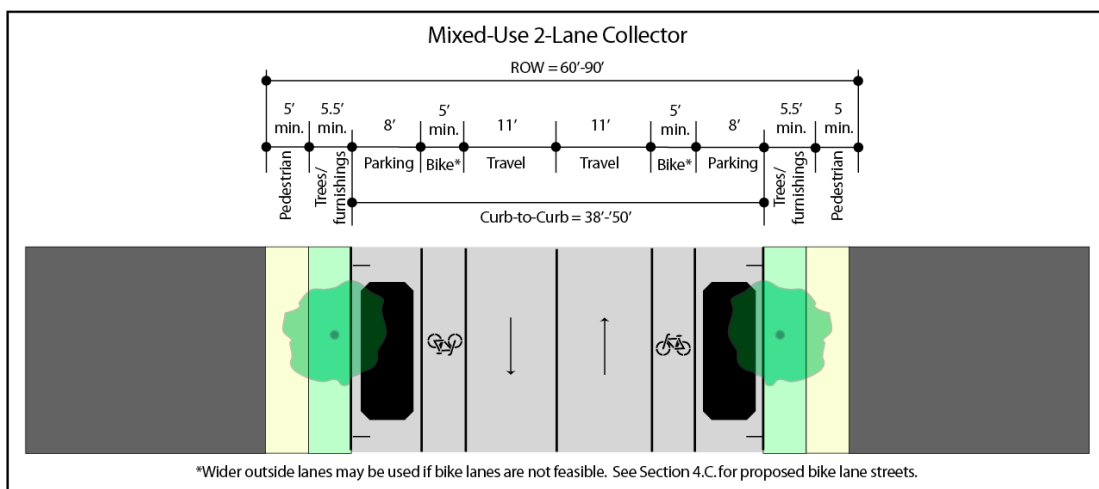
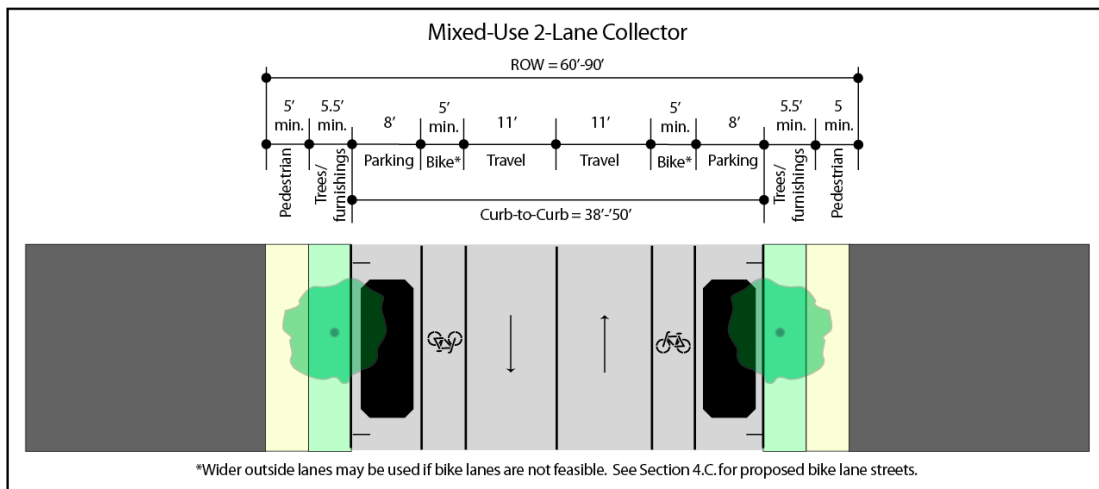
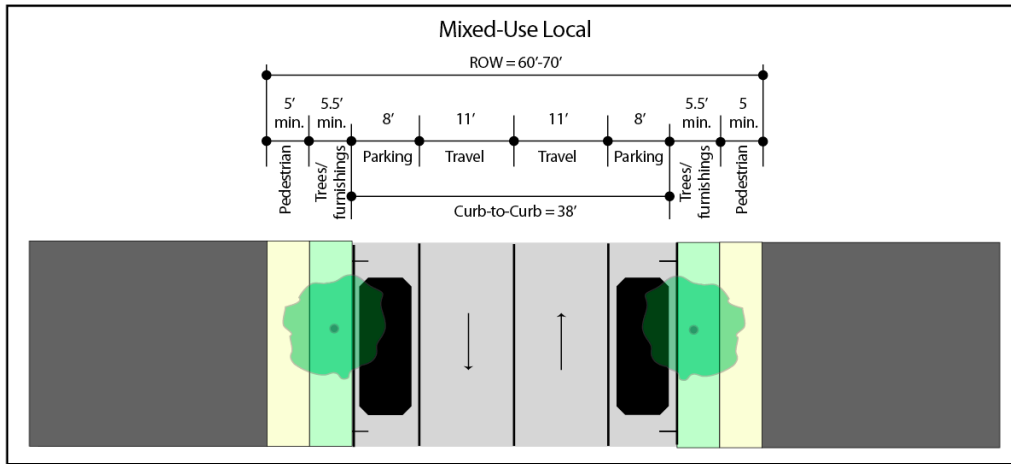
NOTES:

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5.B. Streets and Other Public Spaces (cont.)

1. Street Standards (cont.)

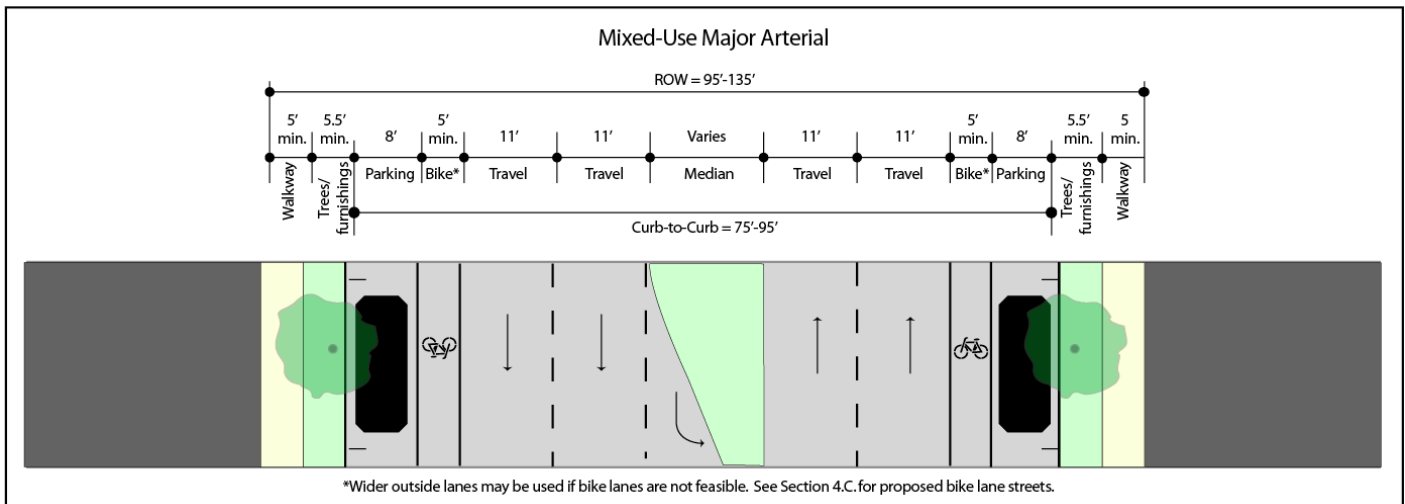
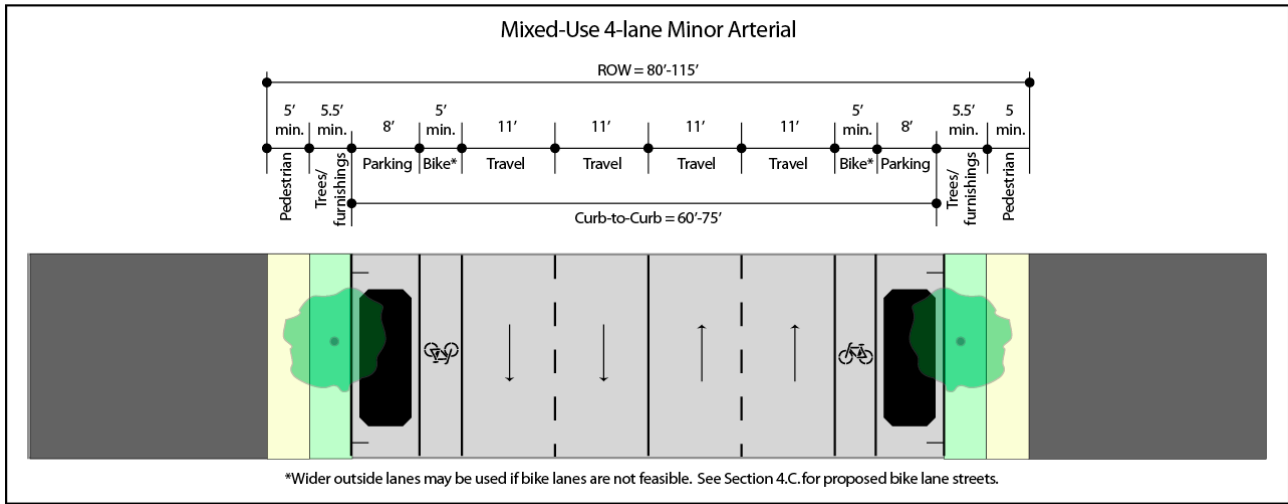
b. Mixed-Use Streets



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b. Mixed-Use Streets (cont.)



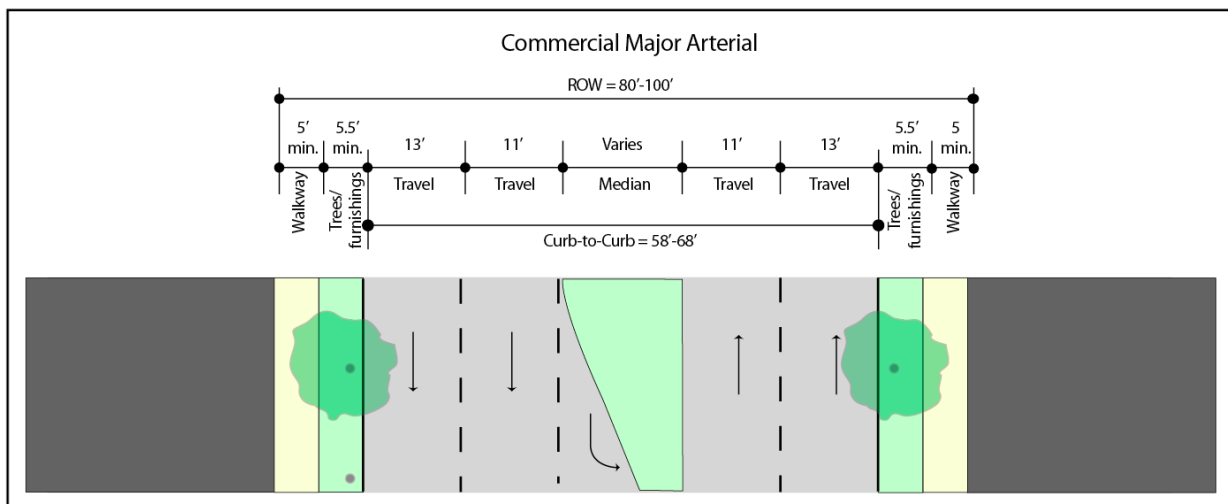
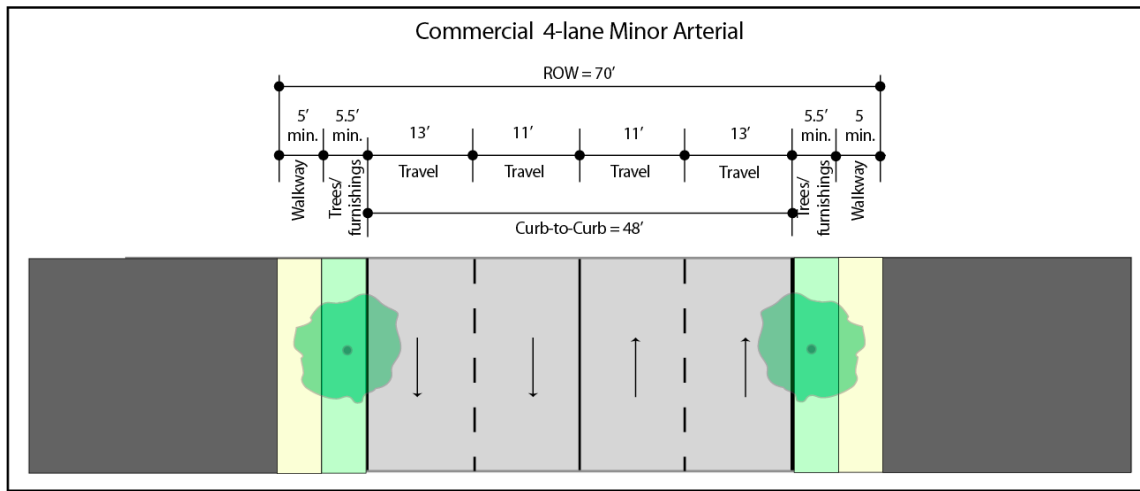
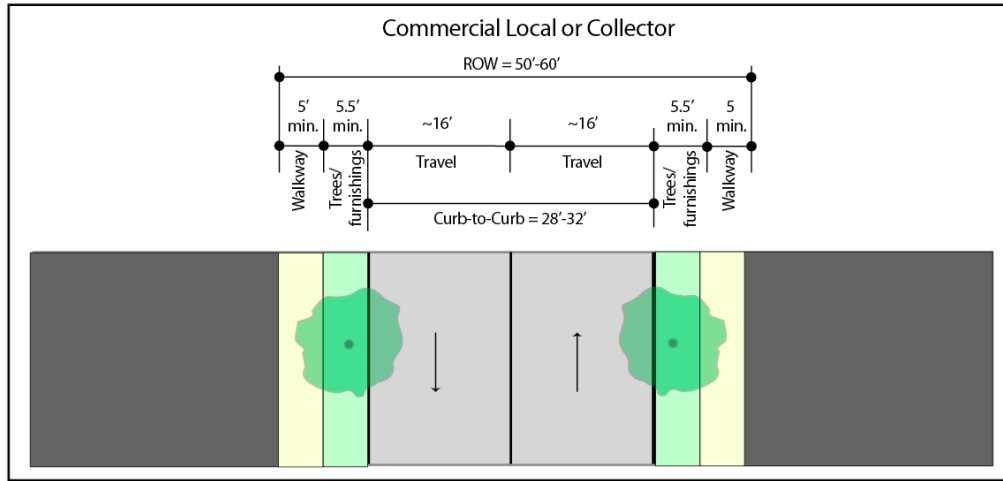
NOTES:

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5.B. Streets and Other Public Spaces (cont.)

1. Street Standards (cont.)

c. Commercial Streets



NOTES:

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d. Alleys

1. Alleys shall conform to all standards contained in the Subdivision Ordinance, Traffic Design Manual and Water & Sewer Design Manual.

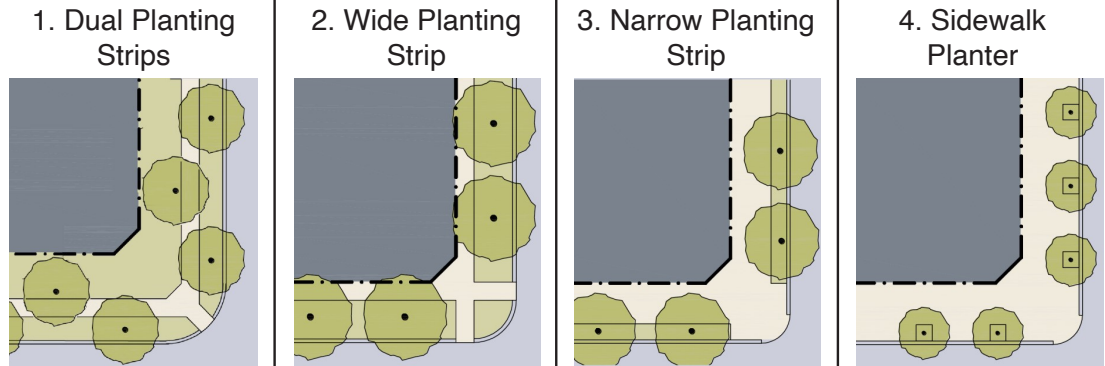


An alley is a narrow access way, often without sidewalks, that provides access to the back of buildings or garages. Alleys are often used for deliveries and garbage collection.

5.B. Streets and Other Public Spaces (cont.)

2. Public Roadsides

a. Roadside Design Options



Roadside Width - Total width of pedestrian way and street tree/furniture zone (see 5.B.2.b for minimums).

	20+ feet	13-15 feet	10-15 feet	10-20 feet
Pedestrian Way				
Paved Walkway	5 ft. minimum (6 ft. if adjacent to angled parking)	5 ft. minimum (6 ft. if adjacent to angled parking)	5-10 ft. minimum (6 ft. if adjacent to angled parking)	5-10 ft. minimum
Walkway location	Between planting strips	Along property line	Along property line, or along planting strip if sidewalk seating or display is located along property line.	Along property line, or along planting strip if sidewalk seating or display is located along property line.
Street Tree/Furniture Zone - Located along the curb; includes street trees, pedestrian lights, and other elements.				
Planter	Min 5.5 ft. wide (each)	Min 8 ft. wide	Min 5.5 ft. wide	Min 5 ft. x 5 ft tree well
Tree Spacing 5.B.3.a	25-35 ft (Must be min. 10 ft from bldg.)	15-35 ft	15-35 ft	15-35 ft
Ped Light Spacing 5.B.3.c	60 ft maximum	60 ft maximum	60 ft maximum	60 ft maximum
Other elements 5.B.3.d	-Irrigated groundcover -Fire hydrants	-Irrigated groundcover -Fire hydrants	-Irrigated groundcover -Bike racks -Trash bins -Benches -Wayfinding signs -Sidewalk tables and displays	-Bike racks -Trash bins -Benches -Wayfinding signs -Sidewalk tables and displays

2. Public Roadsides (cont.)

b. Projects subject to roadside standards – All new construction projects, as well as major renovations in which the:

1. Gross floor area to be renovated exceeds 10,000 sf, and
2. Value of the renovation exceeds the appraised value (per Tarrant Appraisal District records) of the property's improvements prior to renovation.

c. Minimum roadside widths for new construction projects – To accommodate the required minimum widths for street tree/furniture zones and pedestrian ways, minimum roadside width standards apply. These standards apply regardless of the available public right-of-way. Where insufficient right-of-way exists, the pedestrian way shall extend onto private property, with a public sidewalk easement provided. The roadside shall be measured from the back of the curb to the outside edge of the pedestrian way (closest to the building façade).

1. "Commercial" and "Mixed-Use" streets – 10.5 ft. minimum
2. "Main" streets – 15 ft. minimum

3. Roadside Elements

a. Street trees

1. Developments must conform to the tree preservation standards set forth in Section 5.G.1. Canopy of street trees can be applied towards mitigation requirements. The provisions below also apply.
2. Public and private development shall provide shade trees within the street tree/furniture zone.
3. Street trees shall be a minimum of three (3) inch caliper and placed 15-35 feet apart on center, depending on the trees' size at maturity.* (See the list on the next page for spacing standards, and the spacing note on the bottom of page 35.) Where necessary, spacing exceptions may be made to accommodate mature trees, curb cuts, fire hydrants and other infrastructure elements.
4. To maximize survival rates, trees shall be planted to ensure proper drainage and shall be irrigated.
5. Low maintenance tree planter systems, such as pervious pavers or planting strips, shall be used. Tree grates collect trash and damage trees and are not a low maintenance system.
6. Street trees shall be pruned to allow 8-foot clearance for pedestrians.
7. Trees shall be planted at the time of development, although the planting schedule may be extended to allow planting during the fall/winter season.

5.B. Streets and Other Public Spaces

3. Roadside Elements (cont.)

a. Street trees (cont.)

Best

Small Canopy (Min. 15' spacing)

Redbud
Mexican Plum
Eve's Necklace

Medium Canopy (Min. 25' spacing)

Caddo Maple
Bald Cypress

Large Canopy (Min. 35' spacing)

Texas Red Oak
Shumard Oak
Live Oak
Durand Oak
Lacebark Elm
Cedar Elm

Good

Medium Canopy (Min. 25' spacing)

Ginkgo

Large Canopy (Min. 35' spacing)

Pecan

Prohibited

Hackberry	Willow
Sycamore	Bradford Pear
Silver Maple	Chinese Pistache
Mulberry	
Siberian Elm	
Mimosa	
Arizona Ash	
Cottonwood	

b. Pedestrian Way

1. The pedestrian way shall have walkways a minimum width of 5 feet and shall comply with ADA and Texas Accessibility Standards.

Exemption: Minor renovation projects on properties with existing 4 ft. sidewalks.

2. Paving materials shall be attractive and easy to maintain. Appropriate materials:

- Concrete
- Pervious concrete
- Masonry pavers over concrete base
- Similarly durable materials that meet City standards

3. Landscape planting in the Street Tree/ Furniture Zone between the curb and pedestrian way should allow clear visibility from the street. Shrubs to be a max 36" in height.



Street tree/furniture zone
(Trees, Lights, Bike Racks, Tables)

Pedestrian Way
(Clear walkway, Awnings and other shade elements)

3. Roadside Elements (cont.)

c. Pedestrian Lights

1. New public and private development shall provide pedestrian lights within the roadside's street tree/furniture zone.

- Any new structure larger of 10,000 sq. ft. in NS-T4 shall have street lighting requirement under NS-T4 (installation of pedestrian street lighting shall be required)
- NS-T4H require non-flood lighting sufficient to cover pedestrian areas in front of property or business, but not beyond the curb, and per City code may not be more than 3,000 kelvin.
- New or rehabilitated structures may not need to install pedestrian street lighting as outlined in Section 5,B, 3,c; however, lighting for pedestrian areas in and around property is required. Lighting must blend into the architectural elements of the structure. These lighting elements shall be approved by either UDC, Planning Department and if necessary Landmarks Commission.
- Any new lighting to meet this requirement shall not be in the form of flood lighting, intermediate or strobe lighting.

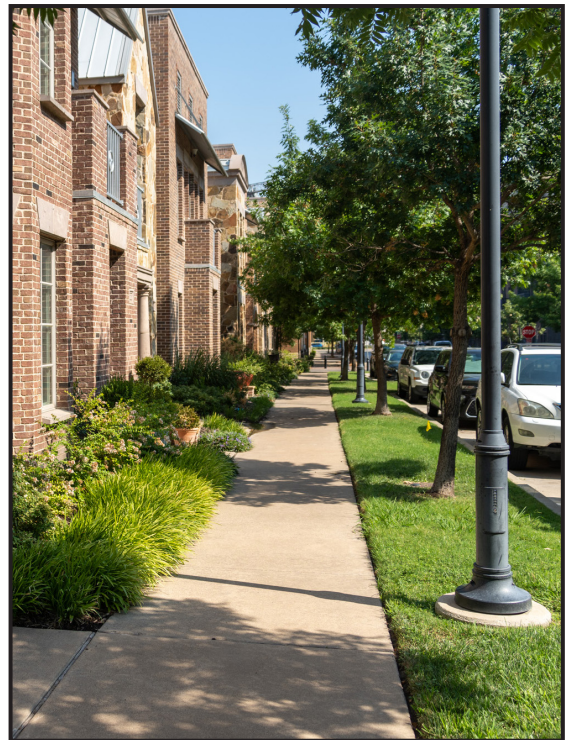
2. Pedestrian lights shall be located approximately at the midpoint between two trees and spaced a maximum of 60 feet apart.* (See note below.) Where necessary, spacing exceptions may be made to accommodate mature trees, curb cuts, fire hydrants and other infrastructure elements.

3. Guidelines

- Continuity of lighting style throughout a neighborhood is encouraged.
- Lights should be durable and easy to maintain or replace.

Spacing note for trees and lights

If no pedestrian lights or street trees exist on the project's block face, measure from the end of the block to determine spacing. (For trees: begin 40 feet from curb intersection to accommodate public open space easement requirement.) If trees or lights exist, measure from existing trees or lights.



Since its inception, Near Southside, Inc. has worked with developers to install pedestrian lights as part of new construction projects, including this development along College Avenue. The roadside standards in this section promote the installation of lights throughout the Near Southside.

5.B. Streets and Other Public Spaces

3. Roadside elements (cont.)

d. Guidelines for other roadside elements

1. Bike racks, trash bins, and seating should be incorporated into streetscape designs on “Main Streets” and other streets with high levels of pedestrian activity. Continuity of style throughout a neighborhood is encouraged. These elements should be durable, cost effective, and easy to maintain.

2. Transit shelters should:

- Be located in areas with a high level of pedestrian activity, but shall not impede pedestrian traffic or wheelchair circulation.
- Provide comfortable seating and should not use the standard, stand-alone advertising benches seen at many bus stops.
- Where feasible, incorporate other streetscape elements, such as water fountains, newspaper boxes, trash bins, and/or signage.
- Reflect design excellence and should be designed as more than simple utilitarian fixtures. Creative and timeless designs that complement other streetscape furnishings are encouraged.
- Be constructed of durable, attractive, and sustainable materials that are easy to maintain.



Bike racks that are easy to recognize, attractive, and simple to use help make the Near Southside bike-friendly, providing convenience and security.

5.B. Streets and Other Public Spaces (cont.)

4. Public Parks and Plazas

a. Park Dedication Policy – The City’s Neighborhood and Community Park dedication policy has been updated, revised and effective January 1, 2024. The developer shall pay, in accordance with the Neighborhood and Community Park Dedication Policy and House Bill 1526, a Flat Fee per each additional residential dwelling unit depending on building type (multifamily residential or single family residential). Fees will be assessed at the time of Certificate of Occupancy for multifamily and building permit for single family. Land Dedication, up to 10% of the gross site, is permitted. Developer to visit with the City of Fort Worth PRM-Planning group regarding land dedication. Land dedication must be publicly accessible and confirm to the land character outlined in the Neighborhood and Community Park Dedication Policy and the Park, Recreation and Open Space Master Plan.

b. Plazas – Plazas are urban public spaces that are more formal than parks and have a higher degree of hard surfaces and pedestrian traffic. Guideline for impervious surface area: Maximum 40 percent.

c. Parks – Parks are open spaces that have less hard surface and pedestrian traffic than plazas. Parks typically include both active and passive recreation areas. Guideline for impervious surface area: Maximum 20 percent.

d. Hours – Publicly and privately maintained public spaces shall be publicly accessible during daylight hours. Access may be limited at other times.



Magnolia Green hosts frequent community events and festivals.



Evans Avenue Plaza incorporates plaques with biographies of leaders who shaped the neighborhood.

5.B. Streets and Other Public Spaces (cont.)

4. Public Parks and Plazas (cont.)

e. Design guidelines – Publicly and privately developed public spaces should conform to the following guidelines, to the extent possible.

1. Design all public spaces other than large recreational parks to be human-scale and visually interesting.
2. Locate and design public spaces so that they are clearly visible and easily accessible.
3. Incorporate space-defining and active edges – such as multi-story façades with ground floor restaurants – but avoid blank walls. Cafés and shops that attract pedestrians are ideal edge uses.
4. Plan for prevailing sun angles and climatic conditions.
5. Avoid locating public spaces on corner lots. Corners are better suited for buildings that establish a strong urban street edge.
6. Avoid sunken plazas and architectural bench arrangements; these often fail to promote use.
7. Provide flexible space for programmed uses, but design such spaces so that they do not appear barren when there is no programming.
8. Incorporate features that attract users, such as fountains, public display areas, or interactive sculpture.
9. Incorporate landscaping to provide natural shade and/or to soften hardscape areas.



Crawford Park,
known as “The Skinny”
in South Main Village

The standards and guidelines encourage a variety of public spaces on the Near Southside, ranging from the type of active urban plazas and more passive and heavily landscaped urban neighborhood parks shown here.

5.B. Streets and Other Public Spaces (cont.)

5. Public Art Guidelines

- a. Public art in private projects – Where feasible, developers are encouraged to integrate art into the design process for buildings and public spaces.
- b. Public art in public projects – Public agencies are encouraged to integrate art in the design of all publicly visible infrastructure, including retaining walls and public spaces.
- c. Fort Worth Art Commission assistance – The Fort Worth Art Commission may assist with identifying appropriate artists and/or advise on selection processes for projects.



The firefighter murals at Fire Station #5 was funded through the City's public art program. In addition to art that is integrated into City projects, privately sponsored public art can greatly enhance a development project's appeal and value.



Benito Huerta's sculptures along South Main Street add interest and artistic detail to the pedestrian realm.