



Sites and Buildings

INTENT AND PRINCIPLES

This section includes development standards and guidelines related to the orientation and configuration of buildings and building sites. The form and scale of a building is one of the most important factors in the creation of a viable urban streetscape. The purpose of these standards is to ensure high quality, sustainable development that adapts to changing conditions over time. The following principles provide the basis for the development standards and guidelines.

- Design all sites and buildings, and the lower floors of buildings in particular, so that they promote pedestrian activity and provide an active, continuous, pedestrian-oriented street edge along public sidewalks.
- Design buildings and sites to provide visual variety and enhance Trinity Uptown's overall sense of place.
- Design buildings and sites to enhance the Trinity River's water quality and to promote a sustainable natural environment.
- Ensure that the scale of buildings enhances the public realm, and that adjacent buildings complement the scale of neighboring structures, particularly adjacent historic buildings.
- Build distinctive neighborhoods that create local identity.
- Regulate building heights and orientation so as to protect and enhance views to and from established landmarks, natural features, and skylines.
- Ensure that civic buildings are of exceptional design quality; and locate civic buildings at prominent sites, such as the terminus of an important axis, where possible.
- Design buildings that reflect the time in which the structures are built, respecting the development context and our local history.
- Choosing durable exterior building materials is an important part of shaping a coherent urban form. In addition to visual attractiveness, exterior building materials serve as the primary form of protection of the interior space of a building.
- Ensure the continuity of the greenbelt trail system designed to accommodate pedestrian, equestrian, and bicycle traffic.
- Ensure that building facades visible from public spaces contribute to an attractive streetscape and skyline.
- Locate surface parking, individual garages, and large parking garages to reduce their visual impact.
- Design and orient development within the peripheral zones to compliment Trinity Uptown.

PERIPHERAL ZONE SITES AND BUILDINGS

Circulation Network Principles

- Maximize street and path connectivity for vehicles, pedestrians, public transportation, and bicycles so as to promote efficient circulation and to provide a wide range of mobility options.
- Use streets and pedestrian paths to provide and protect views to the Tarrant County Courthouse, the Downtown skyline, waterfront areas, bluffs and other significant landmarks.

Streets and Sidewalks Principles

- Design all streets and sidewalks to ensure pedestrian activity and comfort.
- Balance the circulation requirements of automobiles, bicycles, and pedestrians.
- Ensure quality construction and attention to detail in the design and construction of streets.
- Use simple sidewalk designs to ensure easy maintenance and place greater emphasis on the design of building facades that front public sidewalks.

Waterfront Access Principles

- Ensure a continuity of public access to and along waterfronts.
- Provide pedestrian and view corridors that allow physical and visual access to the waterfront.
- Clearly define access points and edges of waterfront spaces to facilitate public use and security, and to clearly distinguish between public and semi-public or private spaces.
- Accommodate multiple travel modes along the waterfront, including pedestrians, bicycles (slower speeds along urban waterfronts), and water taxis.

Waterfront Experience Principles

- Build a distinctive and diverse network of public spaces and waterfront environments that avoid long uninterrupted monotonous designs.
- Include both informal and formal spaces and their neighborhood connectors to reflect or complement the adjoining neighborhoods character.
- Ensure comfort during hot weather with trees and other provisions for shade, water fountains, benches, and areas for rest.
- Ensure that buildings and other components of the built environment frame and complement waterfronts and public spaces.
- Ensure a sustainable, clean, and easily maintainable environment.
- Incorporate public art into the street and adjacent public realm.

Waterfront Visual Guidance



Both pictures represent the type of waterfront experience envisioned with the project.



PERIPHERAL ZONE SITES AND BUILDINGS

Parks, Schools and Open Space

Intent and Principles

Residents will choose to live in high-density urban environments like Trinity Uptown if they have convenient access to a range of usable and appealing public spaces. The Trinity Uptown Plan envisions a network of public spaces that includes pocket parks, community parks, schools, and civic gathering places. This section is intended to provide guidance to the development of those various spaces, based on the following principles:

- Connect public spaces to establish an integrated network of parks, plazas, and waterfronts.
- Support the development of pocket parks throughout neighborhoods.
- Design schools and other community facilities so that they are functional throughout the day and provide additional spaces for recreation and gatherings.
- Incorporate elements that engage all age groups, including young children and the elderly.

Public Spaces



Knoxville, Tennessee



Vancouver, British Columbia

PERIPHERAL ZONE SITES AND BUILDINGS

Build-To Range and Setback Standards

- Waterfront Build-To-Range: 100 percent of the building frontage shall be between 0 and 20 feet. For a building including a courtyard, 80 percent of the building frontage shall be between 0 and 20 feet with 20 percent of the building frontage allowing for a courtyard.

Pedestrian Connectivity

Pedestrian Passage Standard

- No waterfront shall have more than 300 feet of waterfront/ greenbelt frontage without a pedestrian passage.
- Width: Minimum of 50 feet. (Except in the case of the Marine Creek and Henderson Street Peripheral Zones - the minimum is 20 feet.) A smaller passage may be approved on two conditions:
 - If the developer has more than one passage per block and,
 - If the buildings framing the passage is not higher than 3 floors.
- Shall be publicly accessible through a public use easement.
- Shall extend through the full block to provide connections to adjacent streets.

Pedestrian Passage Guidelines

- Pedestrian passages should be attractive, safe and inviting to encourage use.
- Outdoor dining is encouraged.
- Secondary storefront entrances are encouraged.

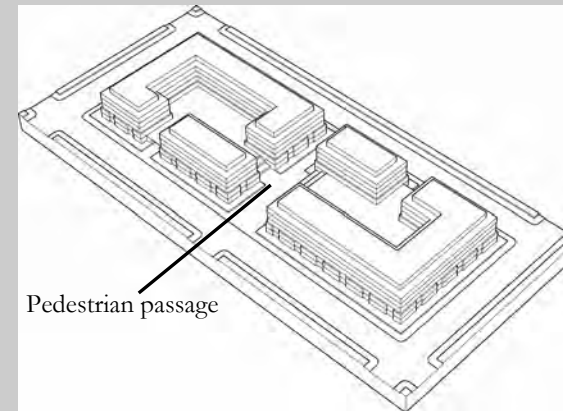
Parking Location Standard

- Waterfront Parking – Parking lots and above grade garages shall not face the waterfront or greenbelt edge.

Off-Street Parking Guidelines

- Shared, structured parking facilities are strongly encouraged.

Pedestrian Passages and View Corridors Guidelines



Pedestrian Passage Guidelines

- Pedestrian passages should be attractive, safe and inviting to encourage use.
- Outdoor dining is encouraged.
- Secondary storefront entrances are encouraged.

View Corridor Guidelines

- View corridors should be attractive, safe and inviting to encourage use.
- Outdoor dining is encouraged with in view corridors.

PERIPHERAL ZONE SITES AND BUILDINGS

Floor Height Standards

- Ground Floors of Nonresidential Buildings – Minimum 12 feet, measured floor-to-floor. Parking structures not located along local, collector, or arterial streets are exempt from this standard.
- Ground Floors of Residential Buildings – Minimum 8 feet, measured floor-to-ceiling
- Upper Floors, All Buildings – Minimum 8 feet, measured floor-to-ceiling. Parking structures may have a floor-to-floor height of less than 10 feet on all floors above the ground level.

Tower Standards

- Massing – Towers shall have a maximum floor area of 16,000 square feet above 96’.
- Orientation – The narrow side of a tower shall face the waterfront.

Vancouver, British Columbia



Vancouver provided inspiration for Trinity Uptown. The tower zones allow increased density that is intended to increase the number of residents needed to support a vibrant urban atmosphere

PERIPHERAL ZONE SITES AND BUILDINGS

Standards for Building Presentation to Streets and Water Frontage

- Parallel Frontages – Building facades shall be built parallel to the street/ water frontage, except for chamfered corners.
- Building Orientation – Orient all future development to the street or waterfront.
- Ground Floor Residential Frontages – Ground floor residential uses shall provide a clear delineation between public and private space through the use of a patio, landscaped yard, or raised stoop. Such delineation shall not conflict with any pertinent accessibility requirements.

Awnings, Galleries, Arcades, and Balconies

- Guideline for Awnings, Galleries, and Arcades – Awnings, galleries, or arcades are encouraged for all ground floor commercial uses so as to provide pedestrian protection and visual interest.
- Gallery and Arcade Width Standard – Galleries and arcades shall be a minimum of 6 feet in width..
- Balcony Guideline – Balconies are encouraged, particularly on waterfront buildings, and should be designed as an integral part of the building and should not appear to have been tacked on to the exterior.

Windows and Openings

Guideline:

- Ground floor restaurants, bars, and retail are encouraged to have windows and doors that can be opened to provide direct access to the sidewalk or public space.

Activating the Street



Residential Units



Awnings

PERIPHERAL ZONE SITES AND BUILDINGS

Roof Guidelines

- Parapet roofs or low-sloped roofs are encouraged.
- Pitched roofs with slopes greater than 6:12 are strongly discouraged.
- Green roofs are strongly encouraged.
- Utilizing rooftops for restaurants, bars, gardens, etc. is highly encouraged.

Mechanical Equipment Standards

- Exhaust/venting, trash containers, and noise-generating mechanical systems shall not be placed adjacent to the walkway in a manner that diminishes the comfort of pedestrians.

Exception for existing structures:

- The applicant can clearly demonstrate to the UDC that it is physically impossible or not economically feasible based on the original design of the building.
- Ventilation devices shall not be located in the pedestrian zone

Exception:

- The applicant can clearly demonstrate that it is a prior condition based on existing infrastructure.

Screening Standards

- Mechanical Equipment and Dumpsters – Mechanical elements and dumpsters, whether located on the ground or rooftop, shall be screened from public view.

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Screening



Both photographs represent creative ways to screen utilitarian requirements in any city such as power substations



PERIPHERAL ZONE SITES AND BUILDINGS

Public Building Standards and Guidelines

Compatibility

- All public buildings shall respect the massing, setbacks, and heights of neighboring buildings.

Civic Architecture

- The architecture shall convey the public nature of the building through the use of materials, architectural ornament, façade detailing, and lighting.
- Each case will be reviewed by the UDC.

Historic Building Guidelines

Adaptive Reuse

- Developers should seek local historic designation for historically significant buildings, and should adaptively incorporate those buildings into redevelopment plans.
- Adaptive reuse of historic buildings is strongly encouraged.
- New buildings in proximity of historic buildings shall compliment the historic buildings.

Public and Civic Buildings



Public and Civic Buildings are often some of the most important buildings in a city. The citing of these buildings are important and often do not meet the standards established by zoning and design regulations.