

VI. Building Form and Development Standards

6.1 Boulevard Mixed Use

6.1.1 Illustrations and Intent

Note: These are provided as illustrations of intent. The illustrations and statements on this page are advisory only and do not have the power of law. Refer to the standards on the following pages for the specific Building Form and Development Standards.

The Boulevard Mixed Use Zone form and development standards are intended to address development along Trinity Boulevard. Development standards in this frontage type are intended to create a vibrant, mixed-use area that leverages Trinity Boulevard as a "Complete Street" supporting multimodal traffic and linking other regional destinations. The Boulevard Mixed Use area will serve as the well-needed commercial activity area for the local community.

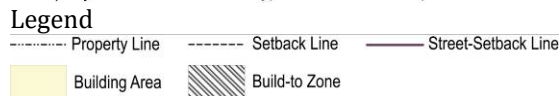
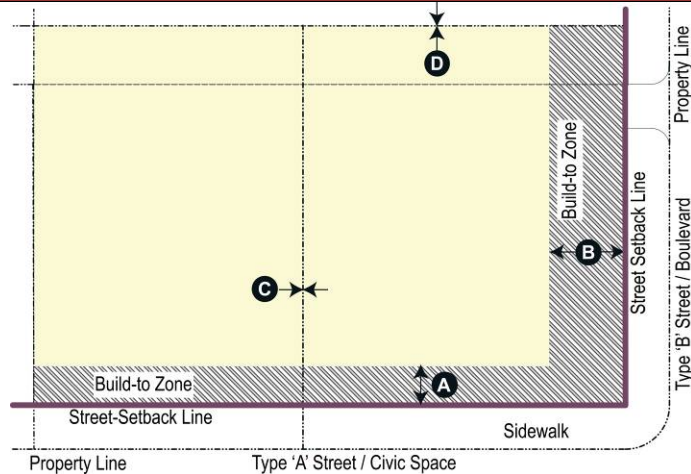
Generally, this frontage type may accommodate large-format retail or office sites with surface parking along the Trinity Boulevard frontage. The goal is to minimize the impact of large, surface parking lots and discourage the "big-box" look.

In addition, the site shall be planned in such a manner as to facilitate a more urban block infill development pattern with respect to building pads, parking, driveways, and service areas.



Images of large-format retail and office development with appropriate frontages along Trinity Boulevard and the Main Street.

6.1.2 Building Placement



(i) Street Setback Line (SSL) (Distance from center line of street cross section to edge of the BTZ)	
Main Street	46 ft.
Avenue	42 ft.
Park Edge Street	32 ft.
Neighborhood Street Type A	34 ft.
Mixed Use General Street	30 ft.
Type B	
(ii) Build-to Zone (BTZ) (measured from edge of SSL)	
Front (Type 'A' Street / Civic Space)	0' – 10' (see #1) A
Front (Boulevard / Type 'B' Street)	0' – 75' (see #2) B
Side and Rear (from property line)	0' (see #3) C D
(iii) Building Frontage	
% of building built to Type 'A' Street BTZ	70% (min.) (see #4 and #7)
% of building built to Boulevard /Type 'B' Street BTZ	25% (min.) (see #4 and #7)

Notes

#1 – Area between the building and the edge of the BTZ at the sidewalk shall be paved flush with the public sidewalk along Type 'A' streets.

#2 – The area between the building and the edge of the BTZ at the public sidewalk shall include a 6' wide (min.) landscaping strip with street trees planted at 40' on center (average), except at street intersections, where paving is optional up to 50' along the building façade. Species of the street trees shall be selected from the Planting List in Table 6.8 Table A in Chapter 6 Development Standards of the City of Fort Worth Zoning Ordinance.

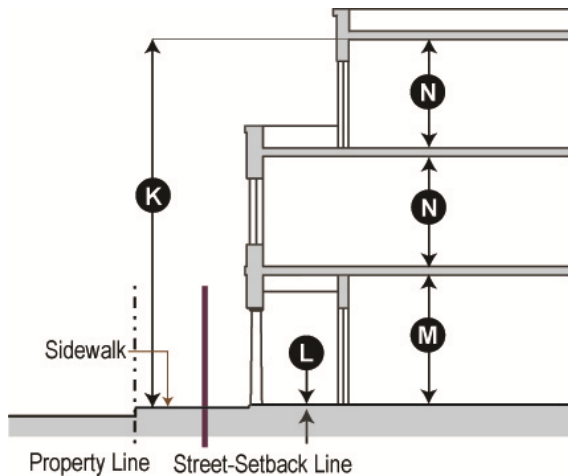
#3 – Side and rear build-to-zone shall be based on minimum fire separation required between buildings, if applicable.

#4 – Corner building street facades shall be built to the BTZ for a minimum of 20' from the corner along both streets or the width of the corner lot, whichever is less. Recessed entrances are permitted as long as the upper floors meet the build-to zone standards.

#5 – Floor to floor heights shall not apply to parking structures. Where buildings fall within the Main Street Frontage, those standards shall apply.

#6 – Attics and mezzanines less than 7 feet (avg.) height shall not be counted as a story.

6.1.3 Building Height



Principal Building Standards

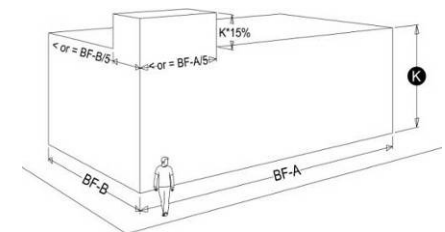
Building Maximum	6 stories (max.) (see #6 and #8) K
First floor to floor height	15' (min.) (see #5) M
Ground floor finish level	12 inches max. above sidewalk (for ground floor Commercial Ready buildings) L
Upper floor to floor height	10' (min.) (see #5) N

6.1.4 Commercial Frontage Standards

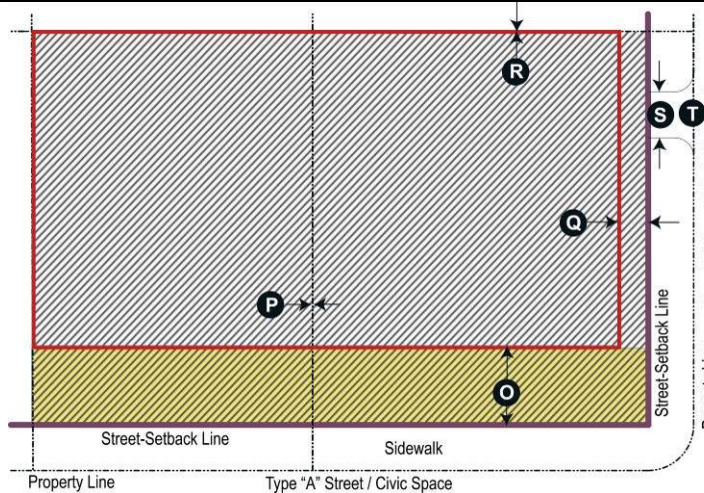
Ground floors of all buildings fronting on Trinity Boulevard or within the Main Street Frontage area shall be built to Commercial Ready standards including first floor-to-floor height, ingress and egress, handicap access, and first floor elevation flush with the sidewalk.

#7 – Any frontage along all Type 'A' Streets and the Boulevard not defined by a building at the BTZ shall be defined by a 4-foot high Street Screen. Furthermore, along all streets (Type 'A', Boulevard and Type 'B' Streets) service areas shall be defined by a Street Screen that is at least as high as the service equipment being screened. Required Street Screens shall be of either the same building material as the principal structure on the lot or masonry or a living screen composed of shrubs planted to be opaque at maturity. Species shall be selected from the Planting List in Table 6.8 Table A in Chapter 6 Development Standards of the City of Fort Worth Zoning Ordinance. The required Street Screen shall be located at the setback line along the corresponding frontage.

#8 – Corner buildings may exceed the maximum building height by 15% for 20% of the building's frontage along each corresponding street façade.



6.1.5 Parking and Service Areas **6.1.6 Other Standards**



Legend

- Surface Parking Area
- Building Footprint
- Street-Setback Line
- Above Grade Parking Area
- Property Line

(i) Parking Location

Surface/At Grade Parking		
Type 'A' Street and Civic Space setback	Shall be located behind the principal building	O
Trinity Boulevard and Type 'B' Street setback	Min. of 3 feet behind the building facade line or 5 feet from the SSL along that street, whichever is less	Q
Side and Rear setback (distance from property line)	0' (min.)	P R
Above Grade Parking		
Setback along Type 'A' Streets, Trinity Boulevard, Type 'B' Streets, or Civic Space	May be built up to the building façade line along that street	
Side and Rear setback (distance from property line)	0' (min.) (see #3, pg. 18)	P R

6.1.6 Other Standards

- (i) Canopies, signs, awnings and balconies
 1. Canopies, signs, awnings and balconies may extend over the sidewalk as long as the vertical clearance is a minimum of 8 feet. In no case shall an encroachment be located over an on-street parking or travel lane.
 2. Building projections on all other facades may not be closer than 5' to any adjacent property line.
- (ii) Arcades and Colonnades:
 1. Arcades and Colonnades are permitted within the build-to-zone and shall be a minimum of 6' in depth.
 2. The minimum interior clearance height within an arcade or colonnade shall be 12'.

(ii) Required Off-Street Parking Spaces

Non-residential uses	1 space per 300 sq.ft.
Lodging Uses	1 space per lodging room
Residential Uses	1 space/unit

6.1.7 Façade Elements **(iii) Driveways and Service areas**

- (i) Doors and Windows:
 1. There shall be no blank walls greater than 50 ft. in width along any Type 'A' Street, Trinity Boulevard and Type 'B' façade of any building. Along all other streets, there shall be no blank walls greater than 100 feet in width.
 2. Doors and windows on ground floor of all buildings shall be a minimum of 50% of the ground floor façade area along all Type 'A' Streets and Trinity Boulevard. There shall be no requirement along all other streets.
 3. Windows on the upper floors shall be a minimum of 30% of each upper floor façade area along all Type 'A' Streets and Trinity Boulevard. There shall be no requirement along all other streets.
 4. Primary entrance doors for all buildings shall be on a Type 'A' Street or Trinity Boulevard.
- (ii) Façade Articulation: Along Trinity Boulevard and Type 'A' Street façades there shall be a prominent entrance or corner element, articulated by a horizontal break of 3' max.

Driveway Widths	Along I-820, TxDOT Standards apply. City of Fort Worth Standards on Trinity Blvd and 24 feet max. on all other streets	S
Driveways and off-street loading and unloading shall not be located on Type 'A' Streets. Porte cocheres may be permitted on Type 'A' Streets to provide drop-off and valet service. Shared driveways and cross access easements are encouraged between lots to minimize curb cuts. If driveway and/or off-street service loading and unloading access is provided from Type 'A' Street, such access shall be deemed as temporary and cross access easements along the rear of the property shall be required when adjoining properties are undeveloped.		T