

7.4.7 Within the Pedestrian Easement, materials selected for paving and street furniture shall be of durable quality and require minimal maintenance.

VIII. Building Design Standards

The Building Design Standards and Guidelines for the TLD Code shall establish a coherent urban character and encourage enduring and attractive development. Site plans shall be reviewed by the Development Services Director or designee for compliance with the standards below.

The key design principles establish essential goals for Trinity Lakes to ensure the preservation, sustainability, and visual quality of different development character areas in the development. The design of buildings and their relationship to the street shall depend on the context of the development. Generally, buildings shall be located and designed so that they provide visual interest and create enjoyable, human-scaled spaces. The key design principles are:

- a. New buildings shall utilize building elements and details to achieve a pedestrian-oriented public realm along Type “A” Streets and at street intersections along Trinity Boulevard.
- b. Compatibility is not meant to be achieved through uniformity, but through the use of variations in building elements to achieve individual building identity.
- c. Building facades shall include appropriate architectural details and ornament to create variety and interest.
- d. Open space(s) shall be incorporated to provide usable public areas integral to the urban environment.

8.1 General to all Character Zones

8.1.1 Building Orientation

- (i) Buildings shall be oriented towards Type “A” Streets, where the lot has frontage along a Type “A” Street. All other buildings shall be oriented towards Trinity Boulevard or Civic/Open Spaces.

If the lot does not front a Type “A” Street or Trinity Boulevard then it may front a Type “B” Street.

- (ii) Primary entrance to buildings shall be located on the street along which the building is oriented. At intersections, corner buildings may have their primary entrances oriented at an angle to the intersection.
- (iii) All primary entrances shall be oriented to the public sidewalk for ease of pedestrian access. Secondary and service entrances may be located from internal parking areas or alleys.

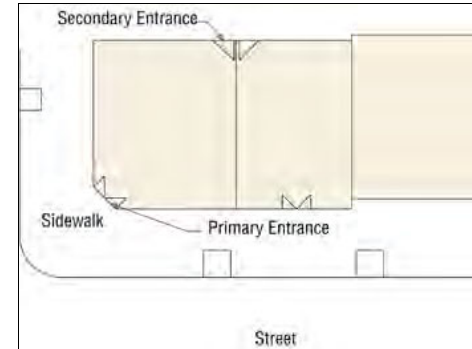


Figure showing required building orientation and location of primary entrances

8.1.2 Building Massing and Scale

- (i) Commercial and Mixed-Use buildings shall be simple, rectilinear forms with flat or low pitched roofs with parapets.
- (ii) Residential Buildings shall have relatively flat fronts and simple roofs with most building wing articulations set at the rear of the structure. Window projections, stoops, porches, balconies, and similar extensions are exempt from this standard.
- (iii) Gable roofs, if provided for residential buildings, shall have a minimum pitch of 3:12. When

hipped roofs are used, the minimum pitch shall be 3:12. Other roof types shall be appropriate to the architectural style of the building. Porch roofs may be a minimum pitch of 3:12.

- (iv) The following standards shall apply for all buildings with mansard roofs in Trinity Lakes:
 - Mansard roofs shall only be used on buildings that are three stories or higher.
 - The mansard roof shall project no more than 18” forward of the building façade line.
 - The lower slope of the roof should be inclined at no greater than 75 degrees to the horizontal.
 - Windows on a mansard roof shall be constructed as a dormer, with a roof so that the window does not appear to be punched through the roof.

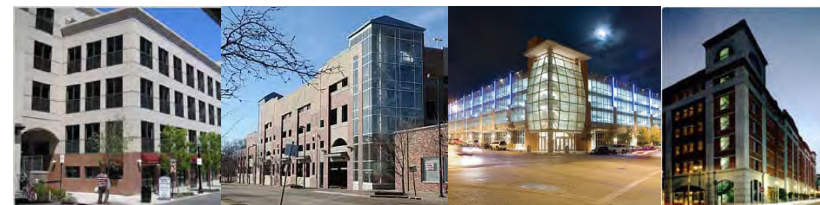
8.1.3 Design of Surface Parking

- (i) On Type ‘A’ Streets, surface parking shall be placed behind or to the side of the primary building.
- (ii) Where the surface parking is visible from the public realm on Type “A” Streets, street screening shall be used along the Street Setback Line.

8.1.4 Design of Parking Structures

- (i) All frontages of parking structures located on Type “A” Streets shall not have parking uses on the ground floor to a minimum depth of 30 feet along the Type “A” Street frontage.
- (ii) The amount of Type “A” Street frontage devoted to a parking structure shall be minimized by placing the shortest dimension(s) along the Type “A” Street edge(s).

- (iii) Parking structure facades on all Type “A” Streets and Trinity Boulevard shall be designed with both vertical (façade rhythm of 20 feet to 30 feet) and horizontal (aligning with horizontal elements along the block) articulation.
- (iv) Where above ground structured parking is located at the perimeter of a building with frontage along a Type “A” Street or Trinity Boulevard; it shall be screened in such a way that cars on all parking levels are completely screened from pedestrian view from all adjacent public streets. Parking garage ramps shall not be visible from any public street. Ramps should not be located along the perimeter of the parking structure. Architectural screens shall be used to articulate the façade, hide parked vehicles, and shield lighting.
- (v) When parking structures are located at corners, corner architectural elements shall be incorporated such as corner entrance, signage and glazing.
- (vi) Parking structures and adjacent sidewalks shall be designed so pedestrians are clearly visible to entering and exiting automobiles.



Images showing appropriate design of Parking Structures

8.1.5 Design of Automobile Related Building Site Elements (only when permitted in the Schedule of Uses per Table 5.1)

- (i) Drive-through lanes for commercial uses shall not be located along any Type “A” Street. Drive-through lanes shall be hidden behind a Street

Screen along Type “B” Streets and the Trinity Boulevard frontage.

- (ii) No more than 50% of a lot’s frontage along Trinity Boulevard or Type “B” Streets shall be occupied by gas pumps, canopies, and/or service bays.
- (iii) Any buildings associated with any automobile related use shall also have a pedestrian entrance at a Type “A” Street and/or Trinity Boulevard (if available).
- (iv) Outdoor storage of vehicles or other products sold shall not be permitted along Type “A” Streets. Along Trinity Boulevard and Type “B” Streets, outdoor storage of vehicles or other products sold shall not exceed 50% of a lot’s frontage along the Boulevard. There shall be no such limitation along alleys.

form and development standards in Section 6. Any off-street loading, unloading, or trash pick-up areas shall be screened using a Street Screen that is at least as tall as the trash containers and/or service equipment it is screening at the BTZ. The Street Screen shall be made up of (i) the same material as the principal building or (ii) a living screen or (iii) a combination of the two.

8.2 Specific to Boulevard Mixed Use, Village Mixed Use, and Highway Mixed Use Character Zones

8.2.1 Massing and Façade Composition

- (i) Buildings are generally built upon a rectangular layout schemes with single or multiple components with mostly flat front, with square, round or octagonal corner towers.
- (ii) Buildings shall maintain a prevalent façade rhythm of 20’ to 30’ or multiples thereof along all Type “A” Streets and Trinity Boulevard.
- (iii) This rhythm may be expressed by changing materials, or color, or by using design elements such as columns and pilasters, or by varying the setback of portions of the building façade.
- (iv) Doors or windows forming regular patterns of openings, some accentuated by balconies.
- (v) Commercial and Mixed-Use building facades shall be designed with tripartite architecture (with a distinct base, middle and cap) and shall maintain the alignment of horizontal elements along the block.
- (vi) Building entrances may be defined and articulated by architectural elements such as lintels, pediments, pilasters, columns, porticos, porches, overhangs, railings, balustrades, and others as appropriate. All building elements should be compatible with the architectural style, materials, colors, and details of the building as a whole. Entrances to upper level uses may be defined and

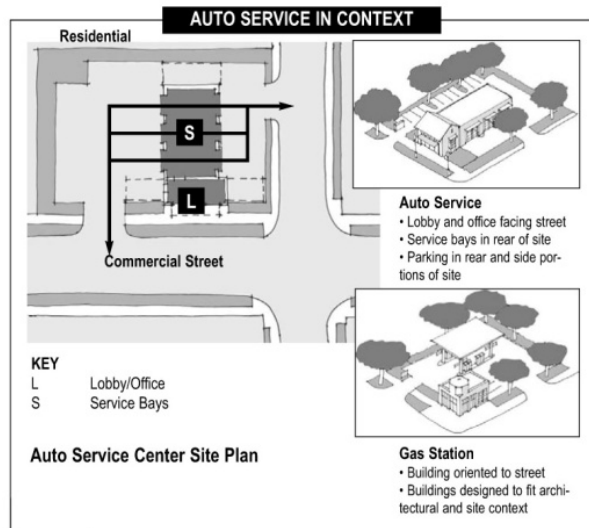


Illustration showing a site concept plan for an auto service centers

- (v) All off-street loading, unloading, and trash pick-up areas shall be located along Type “B” Streets or alleys unless permitted in the specific building

integrated into the design of the overall building facade.



Image of Tri-Partite Architecture

- (vii) Buildings are capped with wide and continuous eaves supported by open rafters and decorative brackets, or finished with elaborate parapet walls covered by tile and very shallow eaves.
 - (viii) Awnings, blade signs, arcades, galleries, café seating and balconies should be used along commercial storefronts fronting a Type “A” Street and Trinity Boulevard to add pedestrian interest.
- 8.2.2 Building Materials:
- (i) At least 80% of a building’s façade along all Type “A” Streets and Trinity Boulevard shall be finished in one of the following materials:
 - Masonry (brick, stone, stucco utilizing a three-step process, cast stone, glass, or glass block)
 - Split face concrete block or pre-cast, or poured in place concrete.
 - (ii) No more than 20% of a building’s façade along all Type “A” Streets and Trinity Boulevard shall use other accent materials: wood, architectural metal panel, split-face concrete block, tile, or pre-cast

concrete panels. EIFS shall not be permitted along any Type “A” Street or Trinity Boulevard façade.

- (iii) All facades along Type “B” Streets or alleys shall be of a similar finished quality and color that blend with the front of the building. Building materials for these facades may be any of the primary and accent façade materials listed above.
 - EIFS shall be limited the upper floor facades along Type “B” Streets and alleys.
 - Cementitious-fiber clapboard (not sheet) with at least a 50-year warranty may only be used on the upper floors of any Type “B” Street or alley facades.
- (iv) Roofing materials for pitched roofs visible from any public right-of-way shall be clay barrel tile, copper, factory finished standing seam metal, slate, synthetic slate, or similar materials.
- (v) Other materials will be considered as primary building materials on a case-by-case basis and may only be approved by the UDC.

8.3 Specific to Campus Commercial Character Zone

8.3.1 Façade Composition

- (i) Buildings shall maintain a façade rhythm of 20’ to 30’ or multiples thereof for facades along all Type “A” Streets and along Trinity Boulevard.
- (ii) This rhythm may be expressed by changing materials, or color, or by using design elements such as fenestration, columns and pilasters, or by varying the setback of portions of the façade.
- (iii) Buildings shall be designed and built in tri-partite architecture so that they have a distinct Base, Middle and Cap.



Image of Tri-Partite Architecture

- (iv) For retail storefront buildings, a transom, display window area, and bulkhead at the base shall be utilized.
- (v) Storefronts on façades that span multiple tenants shall use architecturally compatible materials, colors, details, awnings, signage and lighting fixtures.
- (vi) Building entrances may be defined and articulated by architectural elements such as lintels, pediments, pilasters, columns, porticos, porches, overhangs, railings, balustrades, and others as appropriate. All building elements should be compatible with the architectural style, materials, colors, and details of the building as a whole. Entrances to upper level uses may be defined and integrated into the design of the overall building facade.
- (vii) Buildings shall generally maintain the alignment of horizontal elements along the block.



Campus Commercial building organization

8.3.2 Commercial and Mixed-Use Building Materials

- (i) At least 60% of each building’s Base façade (excluding doors and windows) along any Type “A” Street or Trinity Boulevard shall be finished in one of the following materials:
 - a) Masonry (brick, stone, stucco utilizing a three-step process, cast stone, glass, or glass block)
 - b) Split face concrete block or pre-cast, or poured in place concrete.
- (ii) No more than 40% of each façade along any Type “A” Street or Trinity Boulevard shall use accent materials such as wood, architectural metal panel, or EIFS.
 - EIFS and Cementitious-fiber clapboard (not sheet) with at least a 50-year warranty may only be used on the upper floors only of any commercial frontage on any street or alley façade.
- (iii) Roofing materials visible from any public right-of-way shall be copper, factory finished standing seam metal, slate, synthetic slate, or similar materials.
- (iv) Other materials will be considered as primary building materials on a case-by-case basis and may only be approved by the UDC.



Images showing appropriate building materials within the Campus Commercial Character Zone.

8.4 Specific to Transition and Neighborhood Character Zones

8.4.1 Façade Composition

- (i) For non-residential buildings, buildings shall maintain a façade rhythm of 20’ to 30’ along all Type “A” Streets.
- (ii) For non-residential buildings, this rhythm may be expressed by changing materials, or color, or by using design elements such as fenestration, columns and pilasters, or by varying the setback of portions of the façade.
- (iii) For non-residential buildings, buildings shall be designed and built in tri-partite architecture so that they have a distinct Base, Middle and Cap.
- (iv) For non-residential buildings, building entrances may be defined and articulated by architectural elements such as lintels, pediments, pilasters, columns, porticos, porches, overhangs, railings, balustrades, and others as appropriate. All building elements should be compatible with the architectural style, materials, colors, and details of the building as a whole. Entrances to upper level uses may be defined and integrated into the design of the overall building façade.

- (v) For non-residential buildings, buildings shall generally maintain the alignment of horizontal elements along the block.
- (vi) Garages for Residential Buildings shall be located on Type “B” Streets, alleys or shared driveways.
- (vii) Garages on lots 50’ or wider:
 - a) Front entry garages shall not project more than 8 feet from the building facade.
 - b) J-swing garage types are excluded from the 8 feet restriction.
- (i) On corner lots, the garage may be rotated with windows facing the primary street.

8.4.2 Commercial and Mixed-Use Building Materials

- (i) At least 80% of each building’s façade (excluding doors and windows) along any Type “A” Street shall be finished in one of the following materials:
 - a) Masonry (brick, stone, stucco utilizing a three-step process, cast stone, glass, or glass block)
- (ii) No more than 20% of each façade along any Type “A” Street shall use accent materials such as wood, architect metal panel, split-face concrete block, tile, or pre-cast concrete panels. EIFS shall not be permitted along any Type “A” facade.
- (iii) A building’s facades along all other streets or alleys shall be of a similar finished quality and color that blend with the front of the building. Building materials for these facades may be any of the primary and accent façade materials listed above.
 - EIFS shall be limited to 25% of all other facades.
 - Cementitious-fiber clapboard (not sheet) with at least a 50-year warranty.

- (iv) Roofing materials visible from any public right-of-way shall be copper, factory finished standing seam metal, slate, synthetic slate, or materials with similar durability and lifespan.
- (v) Other materials will be considered as primary building materials on a case-by-case basis and may only be approved by the UDC.



Image showing appropriate character and building materials within the Transition Character Zone.

8.4.3 Live-work and Residential Building Materials

- (i) The following shall be permitted finishes for a minimum of 80% of all street fronting facades (except alleys) of residential buildings. No more than three different materials shall be used on any single façade:
 - Cementitious-fiber clapboard (not sheet) with at least a 50-year warranty;
 - Masonry (brick; stone; man-made stone; or stucco utilizing a three-step process);
 - Architectural Metal Panels.
- (ii) The following may only be allowed up to 20% as an accent material:
 - a) Exterior Insulating Finishing System (EIFS) or similar material over a cementitious base, rock, glass block and tile.

- (iii) All other facades shall be of finished quality and of the same color and materials that blend with the front of the building.
- (iv) Roofing materials visible from any public right-of-way shall be copper, factory finished standing seam metal, slate, synthetic slate, or similar materials.
- (v) An enclosed garage or carport shall be designed and constructed of the same material as the primary building.
- (vi) Other materials will be considered as primary building materials on a case-by-case basis and may only be approved by the UDC.
- (vii) Chain link fences and plastic vinyl fences shall not be permitted in any character zone.

8.4.4 Accessory Buildings and Accessory Dwelling Units Building Materials:

- (i) The facades shall be built of similar materials as the primary building.
- (ii) The roof shall be built of similar materials as the primary building.