

VII. Street & Streetscape Standards

7.1 General Requirements

7.1.1 Generally: Streets in Trinity Lakes need to support the overall intent for the development. They should balance all forms of mobility while maximizing convenience for residents and visitors.

7.1.2 The Regulating Plan designates the required and recommended street network within the development. This section specifies the typical configuration of streets within the development. The specifications address vehicular lane width, parkway widths, R.O.W widths, number of travel lanes, on-street parking, and pedestrian accommodation. The character of streets in Trinity Lakes will vary based on the location. Standard city street cross-sections may be used.

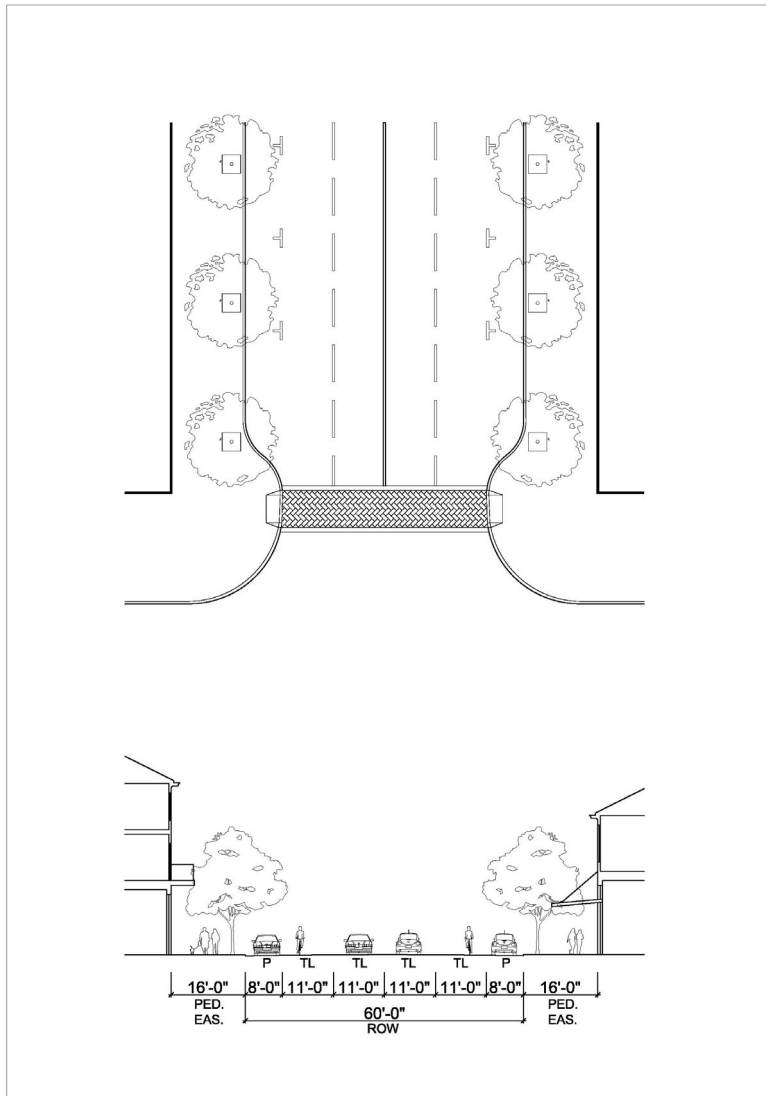
7.1.3 New Streets: This section specifies standards for all new streets in Trinity Lakes. New streets shall be addressed on a project by project basis and shall be reviewed by the Development Services Department. The design of new streets in Trinity Lakes shall follow the City of Fort Worth’s adopted Context Sensitive Solutions Policy.

7.1.4 Due to site constraints, the street to the north and east of the lake north of Trinity Boulevard is not subject to block length standards.

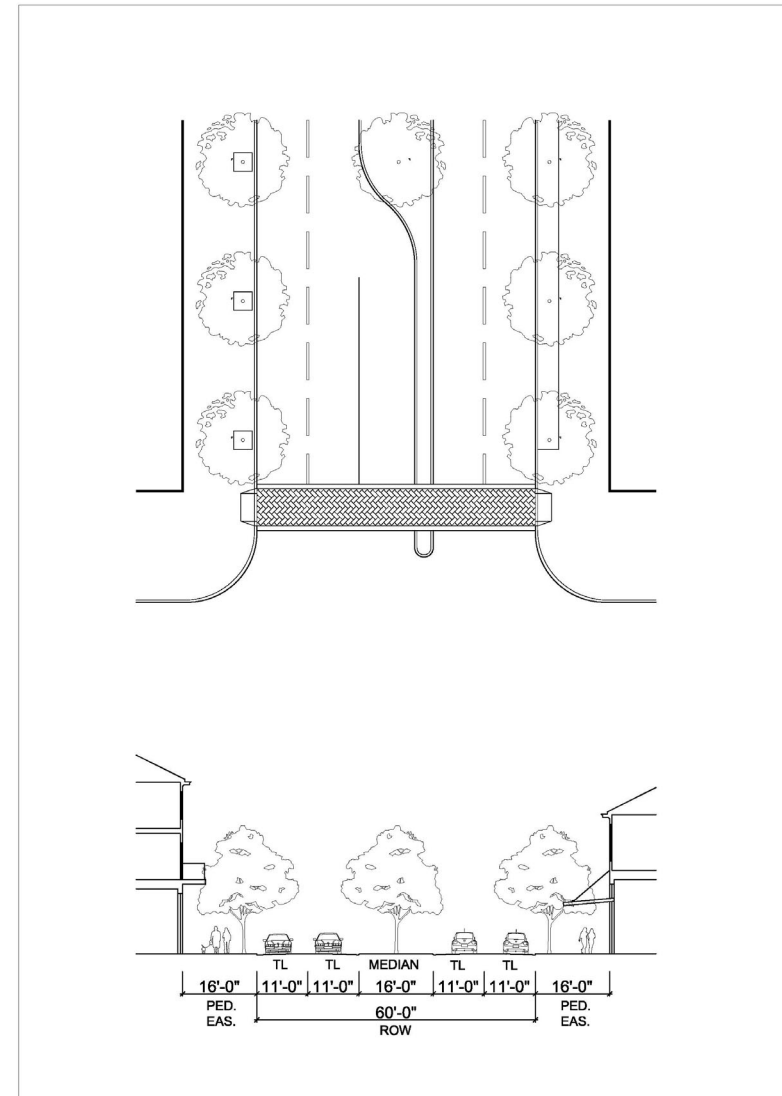
7.1.5 Street Classification Established: Table 7.1 and associated typical cross sections shall establish the cross sections for each street type. The cross sections may be adjusted with the approval of the City Engineer. In addition, the proposed cross sections may be adjusted to meet the needs of the Fire Code as adopted by the City.

Table 7.1 Street Classification									
Elements Street Classification	Street Width (Recommended minimum)		Number of Vehicular Lanes	Number of Bike Lanes	Vehicular Lane Widths	Bike Lane Widths	On-Street Parking	Pedestrian Sidewalk Width (min.)	Parkway/ Tree Well
	R.O.W. (curb to curb)	Pedestrian Easement (on both sides)							
Main Street A	60 feet	16 feet	4	0, sharrow	11 feet	N/A	Yes, both sides, parallel,	16 feet (min) within the Pedestrian Easement	Tree Well, 5x5 feet min, within the Pedestrian Easement
Avenue	60 feet with 16’ median	16 feet	4	0, sharrow	11 feet	N/A	None	6 feet (min) within the Pedestrian Easement	6’ wide min. planting strip, within the Pedestrian Easement

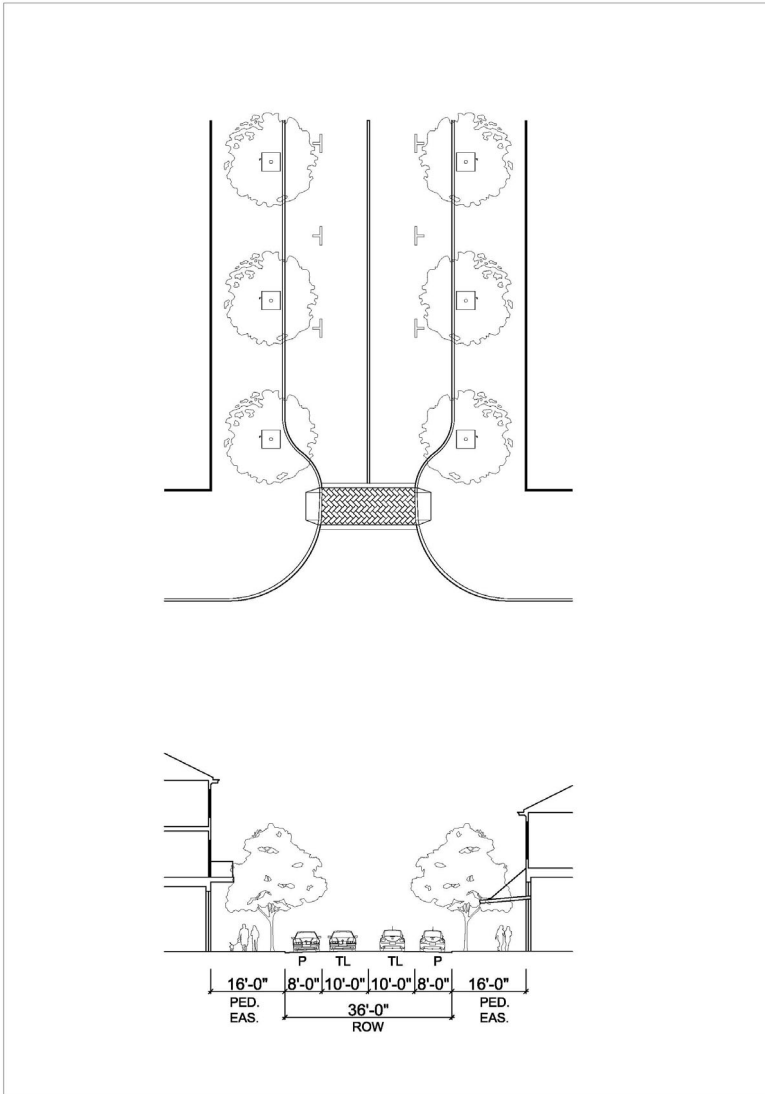
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Neighborhood Street: Type "A"	36 feet	16 feet	2	0	10 feet	N/A	Yes, both sides, parallel	10 feet (min) within the Pedestrian Easement	6' wide min. planting strip, within the Pedestrian Easement
Mixed Use General Street: Type "B"	36 feet	12 feet	2	0	10 feet	N/A	Yes, both sides, parallel	6 feet (min) within the Pedestrian Easement	Tree Well, 5x5 feet (min), or parkway, 6 feet (min) within the Pedestrian Easement
Park Edge Street	36 feet	12 feet (development side)	2	0	10 feet	N/A	Yes, both sides, parallel	6 feet (min) within the Pedestrian Easement	Parkway, 6 feet (min) within the Pedestrian Easement
Commercial Alley	20 feet	None	N/A	None	N/A	N/A	None	None	None
Residential Alley	20 feet (12 feet of paving)	None	N/A	None	N/A	N/A	None	None	None



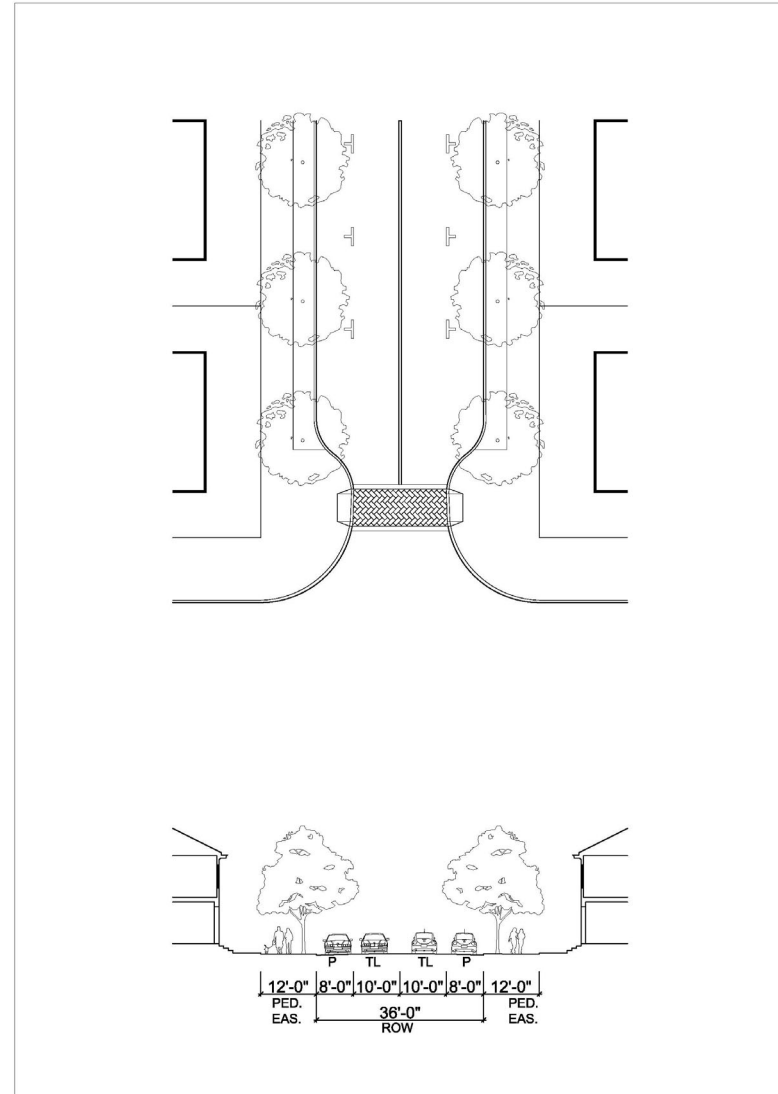
TYPICAL MAIN STREET



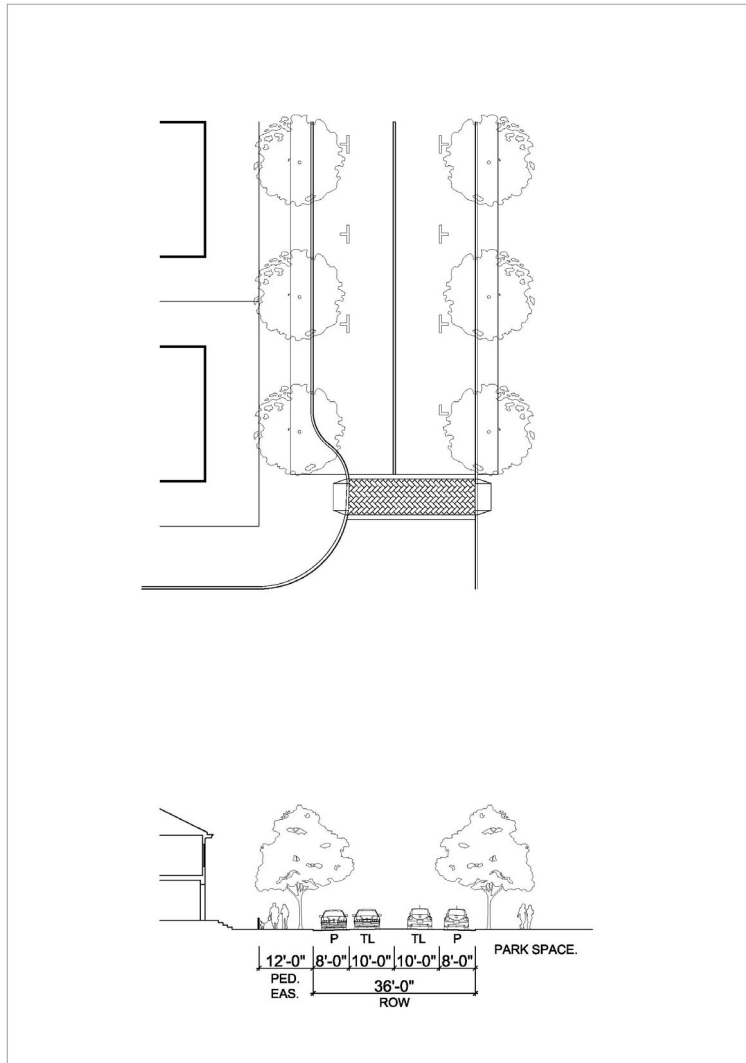
TYPICAL AVENUE



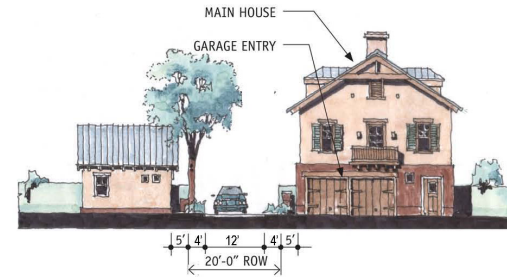
TYPICAL NEIGHBORHOOD STREET – TYPE 'A'



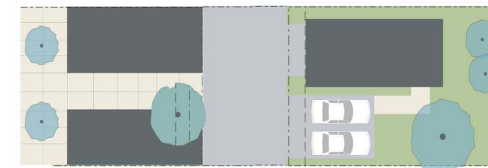
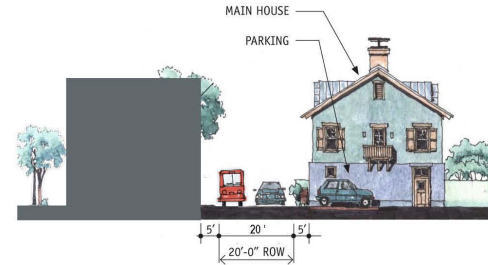
TYPICAL GENERAL MIXED USE STREET – TYPE 'B'



TYPICAL PARK EDGE



TYPICAL RESIDENTIAL ALLEY



TYPICAL COMMERCIAL ALLEY

7.2 Streetscape & Landscape Standards: Streetscape standards shall apply to all streets and development within Trinity Lakes. Streetscape standards shall address all elements between the building face and edge of the curb. Typical streetscape elements addressed are street trees, lighting, street furniture and pedestrian amenities, and materials. Maintenance of all streetscape shall be according to the City of Fort Worth standards in Chapter 6 of the City of Fort Worth Zoning Ordinance.

7.3 Street Trees and Landscaping

7.3.1 Street trees shall be required on all Trinity Lakes Type “A” Streets and along Trinity Boulevard (except on Type “B” Streets and alleys).

7.3.2 Street trees shall be planted approximately 3 feet behind the curb line.

7.3.3 Spacing shall be an average of 40 feet on center (measured per block face) along all streets.

7.3.4 The minimum caliper size¹ for each tree shall be 3 in. Each tree shall be planted in a planting area no less than 25 sq. feet.

7.3.5 Along Trinity Boulevard, trees shall be required in the median and spacing and species shall be the same as the trees in the parkway.

7.3.6 Turf and groundcover: When clearly visible from the street and alleys, all unpaved ground areas shall be planted with low growing shrubs or ground cover, ornamental grasses, or a combination thereof.

7.3.7 Species shall be selected from the Planting List in Table 6.8 Table A in Chapter 6 Development Standards of the City of Fort Worth Zoning Ordinance.

7.3.8 Maintenance of all landscape materials shall meet the requirements of Chapter 6, Article 3 of the City of Fort Worth Zoning Ordinance.

7.3.9 Tree Planting mitigation as well as landscaping requirements shall be solely subject to the TLD Code and private CC&R applicable to the subject property.

7.4 Street Furniture, Lighting, and Materials

7.4.1 Pedestrian scale lighting, with the top of fixture being no more than 20 feet from the ground, shall be provided along all streets except alleyways and Type B City Standard Streets, depicted in the Regulating Plan (Appendix A and B).

7.4.2 Street lights shall be placed at 60 feet (max.) on center, approximately 3 feet behind the curb line.

7.4.3 The light standard selected shall be compatible with the design of the street and buildings.

7.4.4 Trash receptacles and bike racks shall be required along Type “A” Streets. A minimum of one each per block face shall be required.

7.4.5 Street furniture and pedestrian amenities such as benches are recommended along all Type “A” Streets.

7.4.6 All street furniture shall be located in such a manner as to allow a clear sidewalk passageway of a minimum of 6 feet.

¹ Caliper size for a multi trunk tree shall be the total of the diameter of the largest trunk and one half (½) of the diameter of each additional trunk, measured at a height of 4 ½ feet above the ground.

7.4.7 Within the Pedestrian Easement, materials selected for paving and street furniture shall be of durable quality and require minimal maintenance.

VIII. Building Design Standards

The Building Design Standards and Guidelines for the TLD Code shall establish a coherent urban character and encourage enduring and attractive development. Site plans shall be reviewed by the Development Services Director or designee for compliance with the standards below.

The key design principles establish essential goals for Trinity Lakes to ensure the preservation, sustainability, and visual quality of different development character areas in the development. The design of buildings and their relationship to the street shall depend on the context of the development. Generally, buildings shall be located and designed so that they provide visual interest and create enjoyable, human-scaled spaces. The key design principles are:

- a. New buildings shall utilize building elements and details to achieve a pedestrian-oriented public realm along Type “A” Streets and at street intersections along Trinity Boulevard.
- b. Compatibility is not meant to be achieved through uniformity, but through the use of variations in building elements to achieve individual building identity.
- c. Building facades shall include appropriate architectural details and ornament to create variety and interest.
- d. Open space(s) shall be incorporated to provide usable public areas integral to the urban environment.

8.1 General to all Character Zones

8.1.1 Building Orientation

- (i) Buildings shall be oriented towards Type “A” Streets, where the lot has frontage along a Type “A” Street. All other buildings shall be oriented towards Trinity Boulevard or Civic/Open Spaces.

If the lot does not front a Type “A” Street or Trinity Boulevard then it may front a Type “B” Street.

- (ii) Primary entrance to buildings shall be located on the street along which the building is oriented. At intersections, corner buildings may have their primary entrances oriented at an angle to the intersection.
- (iii) All primary entrances shall be oriented to the public sidewalk for ease of pedestrian access. Secondary and service entrances may be located from internal parking areas or alleys.

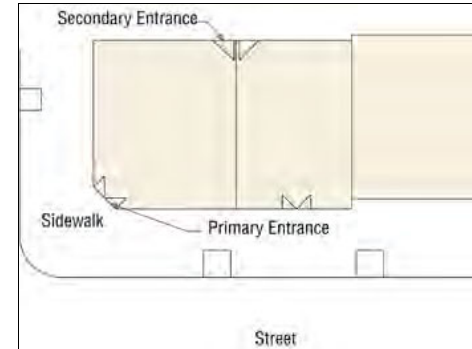


Figure showing required building orientation and location of primary entrances

8.1.2 Building Massing and Scale

- (i) Commercial and Mixed-Use buildings shall be simple, rectilinear forms with flat or low pitched roofs with parapets.
- (ii) Residential Buildings shall have relatively flat fronts and simple roofs with most building wing articulations set at the rear of the structure. Window projections, stoops, porches, balconies, and similar extensions are exempt from this standard.
- (iii) Gable roofs, if provided for residential buildings, shall have a minimum pitch of 3:12. When