

6.5 Transition

6.5.1 Illustrations and Intent

Note: These are provided as illustrations of intent. The illustrations and statements on this page are advisory only and do not have the power of law. Refer to the standards on the following pages for the specific Building Form and Development Standards.

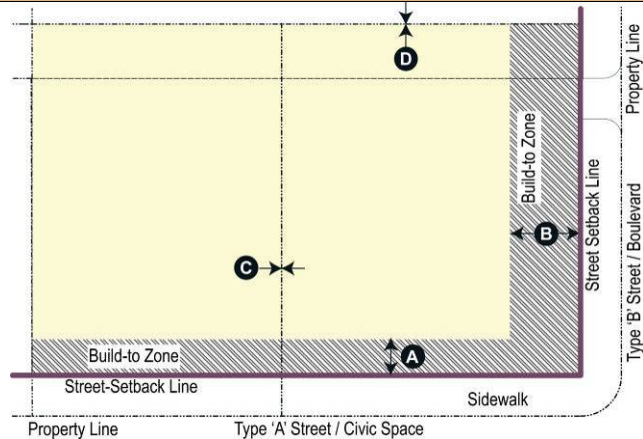
The Transition Zone building form and development standards are intended to provide for a range of small scale office and residential (low-density apartments, live-work, townhomes, multi-unit homes, patio homes, etc.) transitions between higher intensity development and the existing and proposed neighborhoods.

Generally, this character zone emphasizes keeping a smaller scale for residential uses and limiting building types to be compatible with the adjoining neighborhoods. Natural drainage and open space are envisioned to be amenities for these areas and should be treated as a park open to the public and open space.



Different building types and scale that is permitted in the Transition Character Zone.

6.5.2 Building Placement



(i) Street Setback Line (Distance from center line of street cross section to edge of the BTZ)			
Main Street	46 ft.	Neighborhood Street Type A	34 ft.
Avenue	42 ft.	Mixed Use General Street	30 ft.
Park Edge Street	32 ft.	Type B	
(ii) Build-to Zone (BTZ) (measured from edge of SSL)			
Front (Type 'A' Street / Civic Space)	5' – 20'		A
Front (Boulevard/ Type 'B' Street)	0' – 30'		B
Side and Rear (from property line)	0' (see #3)		C D
(iii) Building Frontage			
% of building built to Type 'A' Street BTZ	80% (min.)		
	(see #4 and #7)		
% of building built to Type 'B' Street BTZ	20% (min.)		
	(see #4 and #7)		

Notes

#1 – Area between the building and the edge of the BTZ at the sidewalk shall be paved flush with the public sidewalk.

#2 – The area between the building and the edge of the BTZ at the public sidewalk shall include a 6' wide (min.) landscaping strip with street trees planted at 20' on center (average), except at street intersections, where paving is optional up to 50' along the building façade. Species of the street trees shall be selected from the Planting List in Table 6.8 Table A in Chapter 6 Development Standards of the City of Fort Worth Zoning Ordinance.

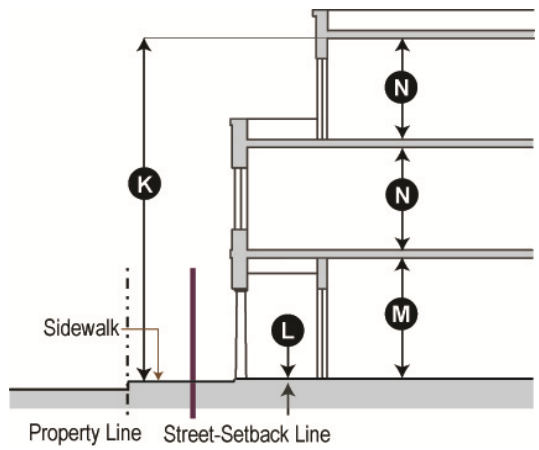
#3 – Side and rear setbacks shall be based on minimum fire separation required between buildings, if applicable.

#4 – Corner building street facades shall be built to the BTZ for a minimum of 40' from the corner along both streets or the width of the corner lot, whichever is less. Recessed entrances are permitted as long as the upper floors meet the build-to zone standards.

#5 – Floor to floor heights shall not apply to parking structures.

#6 – Attics and mezzanines less than 7 feet (avg.) height shall not be counted as a story.

6.5.3 Building Height



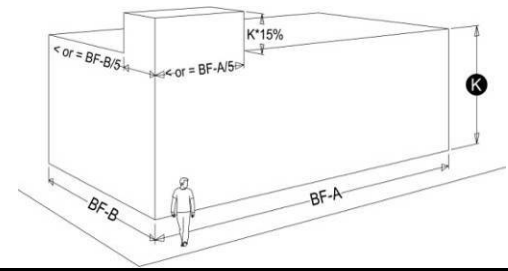
Principal Building Standards			
Building Maximum	4 stories (max.)		K
	(see #6 and #8)		
First floor to floor height	15' (min.) for commercial		M
	12' (min.) for residential		
	(see #5)		
Ground floor finish level	12 inches max. above sidewalk (for ground floor Commercial Ready buildings)		L
Upper floor to floor height	10' (min.) (see #5)		N

6.5.4 Commercial Frontage Standards

Ground floors of all buildings fronting on Type 'A' Streets shall be built to Commercial Ready standards including first floor-to-floor height, ingress and egress, handicap access, and first floor elevation flush with the sidewalk.

#7 – Any frontage along all Type 'A' Streets and the Boulevard not defined by a building at the BTZ shall be defined by a 4-foot high Street Screen. Furthermore, along all streets (Type 'A', Boulevard and Type 'B' Streets) service areas shall be defined by a Street Screen that is at least as high as the service equipment being screened. Required Street Screens shall be of either the same building material as the principal structure on the lot or masonry or a living screen composed of shrubs planted to be opaque at maturity. Species shall be selected from the Planting List in Table 6.8 Table A in Chapter 6 Development Standards of the City of Fort Worth Zoning Ordinance. The required Street Screen shall be located at the setback line along the corresponding frontage.

#8 – Corner buildings may exceed the maximum building height by 15% for 20% of the building's frontage along each corresponding street façade.



<p>6.5.5 Parking and Service Areas</p>	<p><i>(i) Parking Location</i></p>	<p>6.5.6 Other Standards</p>																											
<p>Legend</p> <ul style="list-style-type: none"> Surface Parking Area (Red dashed line) Property Line (Dotted line) Building Footprint (Yellow) Street-Setback Line (Red solid line) 	<table border="1"> <tr> <th colspan="3">Surface/At Grade Parking</th> </tr> <tr> <td>Type 'A' Street and Civic Space setback</td> <td>Shall be located behind the principal building</td> <td>O</td> </tr> <tr> <td>Type 'B' Street setback</td> <td>Min. of 3 feet behind the building facade line or 5 feet from the SSL along that street, whichever is less</td> <td>Q</td> </tr> <tr> <td>Side and Rear setback (distance from property line)</td> <td>0' (min.)</td> <td>P R</td> </tr> <tr> <th colspan="3"><i>(ii) Required Off-Street Parking Spaces</i></th> </tr> <tr> <td>Non-residential uses</td> <td>1 space per every 300 square feet (gross)</td> <td></td> </tr> <tr> <td>Lodging Uses</td> <td>1 space per lodging room</td> <td></td> </tr> <tr> <td>Residential Uses</td> <td>1 space/unit</td> <td></td> </tr> <tr> <td>Accessory Dwelling Unit</td> <td>None Required</td> <td></td> </tr> </table>	Surface/At Grade Parking			Type 'A' Street and Civic Space setback	Shall be located behind the principal building	O	Type 'B' Street setback	Min. of 3 feet behind the building facade line or 5 feet from the SSL along that street, whichever is less	Q	Side and Rear setback (distance from property line)	0' (min.)	P R	<i>(ii) Required Off-Street Parking Spaces</i>			Non-residential uses	1 space per every 300 square feet (gross)		Lodging Uses	1 space per lodging room		Residential Uses	1 space/unit		Accessory Dwelling Unit	None Required		<p>(i) Canopies, signs, awnings and balconies</p> <ol style="list-style-type: none"> Canopies, signs, awnings and balconies may extend over the sidewalk as long as the vertical clearance is a minimum of 8 feet. In no case shall an encroachment be located over an on-street parking or travel lane. Building projections on all other facades may not be closer than 5' to any adjacent property line. <p>(ii) Arcades and Colonnades:</p> <ol style="list-style-type: none"> Arcades and Colonnades are permitted within the build-to-zone and shall be a minimum of 6' in depth. The minimum interior clearance height within an arcade or colonnade shall be 12'. <p>(iii) Accessory Buildings, Accessory Dwelling Units and Garages:</p> <ol style="list-style-type: none"> Accessory Buildings and garages located at-grade shall be no taller than one (1) story with 12' maximum floor to floor height, except when an accessory dwelling unit is above. Accessory dwelling units located above garages or accessory buildings shall be no taller than one (1) story above the garage or accessory building with 12' maximum floor to floor height. The height of the accessory structure shall not exceed the height of the primary building. Where an alley is available, the accessory building, dwelling unit or garage shall be accessed from the alley. An accessory building shall have no more than two dwelling units. On corner lots, the accessory building, accessory dwelling unit or garage must align with the building façade line along the side street.
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<p>(i) Doors and Windows:</p> <ol style="list-style-type: none"> There shall be no blank walls greater than 25 ft. in width along any Type 'A' Street and Type 'B' façade of any building. Along all other streets, there shall be no blank walls greater than 50 feet in width. Doors and windows on ground floor of all buildings shall be a minimum of 50% of the ground floor façade area along all Type 'A' Streets and the Boulevard. There shall be no requirement along all other streets. Windows on the upper floors shall be a minimum of 30% of each upper floor façade area along all Type 'A' Streets and the Boulevard. There shall be no requirement along all other streets. Primary entrance doors for all buildings shall be on a Type 'A' Street or the Boulevard. <p>(ii) Façade Articulation: Along the Boulevard façade there shall be a prominent entrance or corner element, articulated by a horizontal break of 3' max.</p>	<table border="1"> <tr> <td>Driveway Widths</td> <td>City of Fort Worth Standards on all streets</td> <td>S</td> </tr> <tr> <td colspan="3">Driveways and off-street loading and unloading shall not be located on Type 'A' Streets. Porte cocheres may be permitted on Type 'A' Streets to provide drop-off and valet service. Shared driveways and cross access easements are encouraged between lots to minimize curb cuts. If driveway and/or off-street service loading and unloading access is provided from Type 'A' Street, such access shall be deemed as temporary and cross access easements along the rear of the property shall be required when adjoining properties are undeveloped.</td> </tr> <tr> <td></td> <td></td> <td>T</td> </tr> </table>	Driveway Widths	City of Fort Worth Standards on all streets	S	Driveways and off-street loading and unloading shall not be located on Type 'A' Streets. Porte cocheres may be permitted on Type 'A' Streets to provide drop-off and valet service. Shared driveways and cross access easements are encouraged between lots to minimize curb cuts. If driveway and/or off-street service loading and unloading access is provided from Type 'A' Street, such access shall be deemed as temporary and cross access easements along the rear of the property shall be required when adjoining properties are undeveloped.					T																			
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