



NEIGHBORHOOD GROUP NOTICES

A zoning change is requested for the property shown on the attached map. You are listed as an organization within a ½ mile of the proposed change. The purpose of this notice is to provide you with an opportunity for public comment.

You may:

1. Attend the public hearing to present your views and opinions or just merely to observe the proceedings; or
2. Provide a written statement to the Chair of the Commission expressing your support, concerns, or opposition to this case; or
3. Take no further action

Approval or denial of the proposed zoning change by the Zoning Commission is only a recommendation to the City Council. City Council makes the final determination on the outcome of a zoning change.

If you want to comment on this case, please return the form below with any additional written commentary. Letters can be submitted via mail or email as described below. Please submit your response by the Monday before the hearing by 5:00 pm. All letters should reference the relevant case number.

Email: zoninglanduse@fortworthtexas.gov

Mail: Chair of the Zoning Commission
c/o Development Services, City Hall
200 Texas St, Fort Worth, TX 76102

To register to speak at the Zoning Commission hearing, please visit fortworthtexas.gov/calendar and select the Zoning Commission meeting date. The deadline for speaker registration is 5:00 p.m. the day before the hearing.

To register to speak at the City Council hearing, please visit fortworthtexas.gov or contact the City Secretary's Office at 817-392-6150.

PUBLIC HEARING DATES	
Zoning Commission	
City Council	
Location: Council Chambers, Second Floor of City Hall	
LOCATION MAP	

Case Number:		
Applicant:	Site Address:	Council District:
Current Zoning:	Proposed Zoning:	Proposed Use:

Please complete the section below for your organization, or send a separate letter to the email or mailing address listed above.

Organization Name:	Oppose	Support
Signature of Representative:	Printed Name of Representative:	

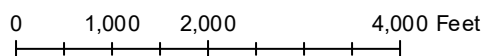
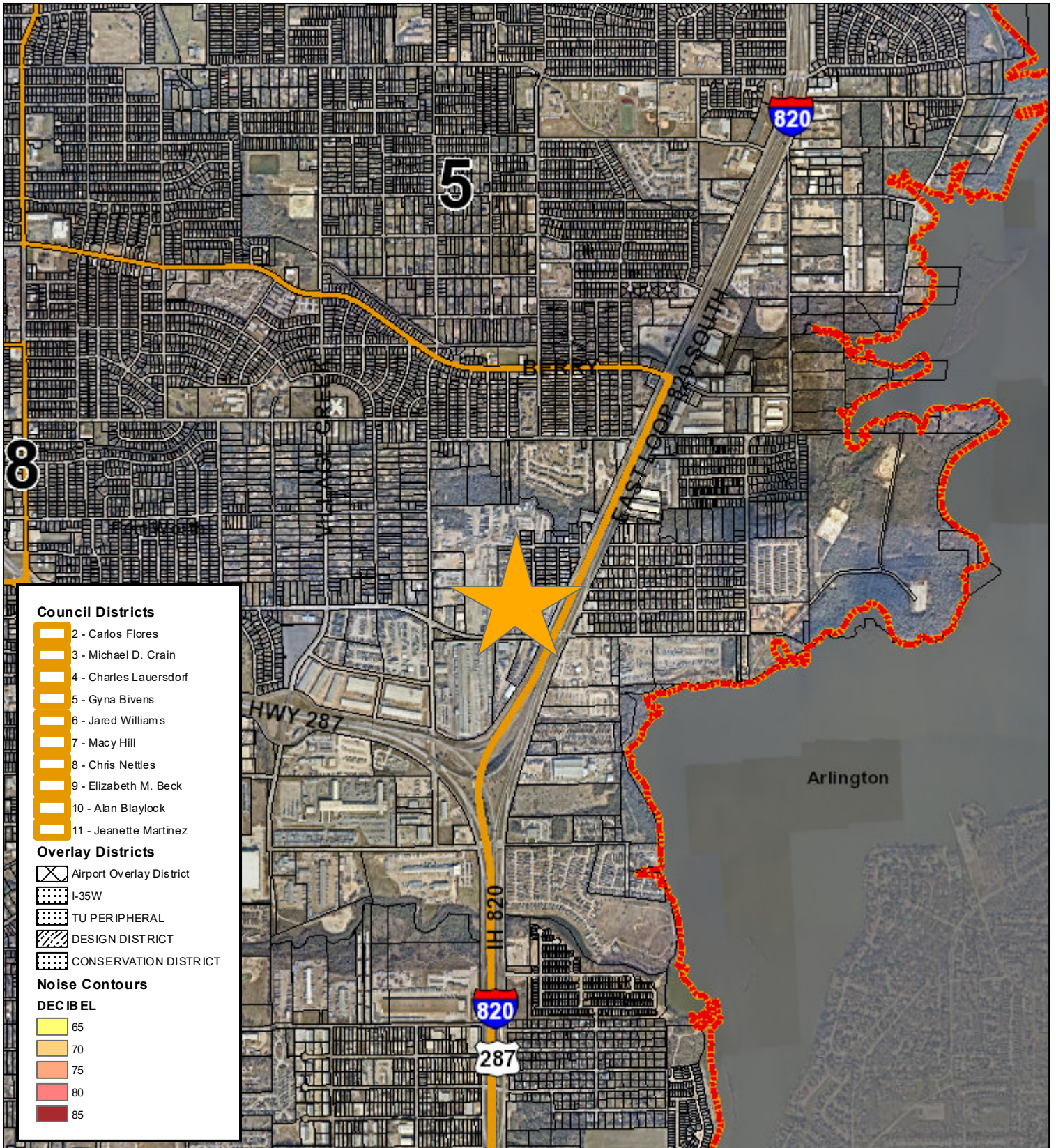
Aerial Photo Map



0 45 90 180 Feet



Area Map

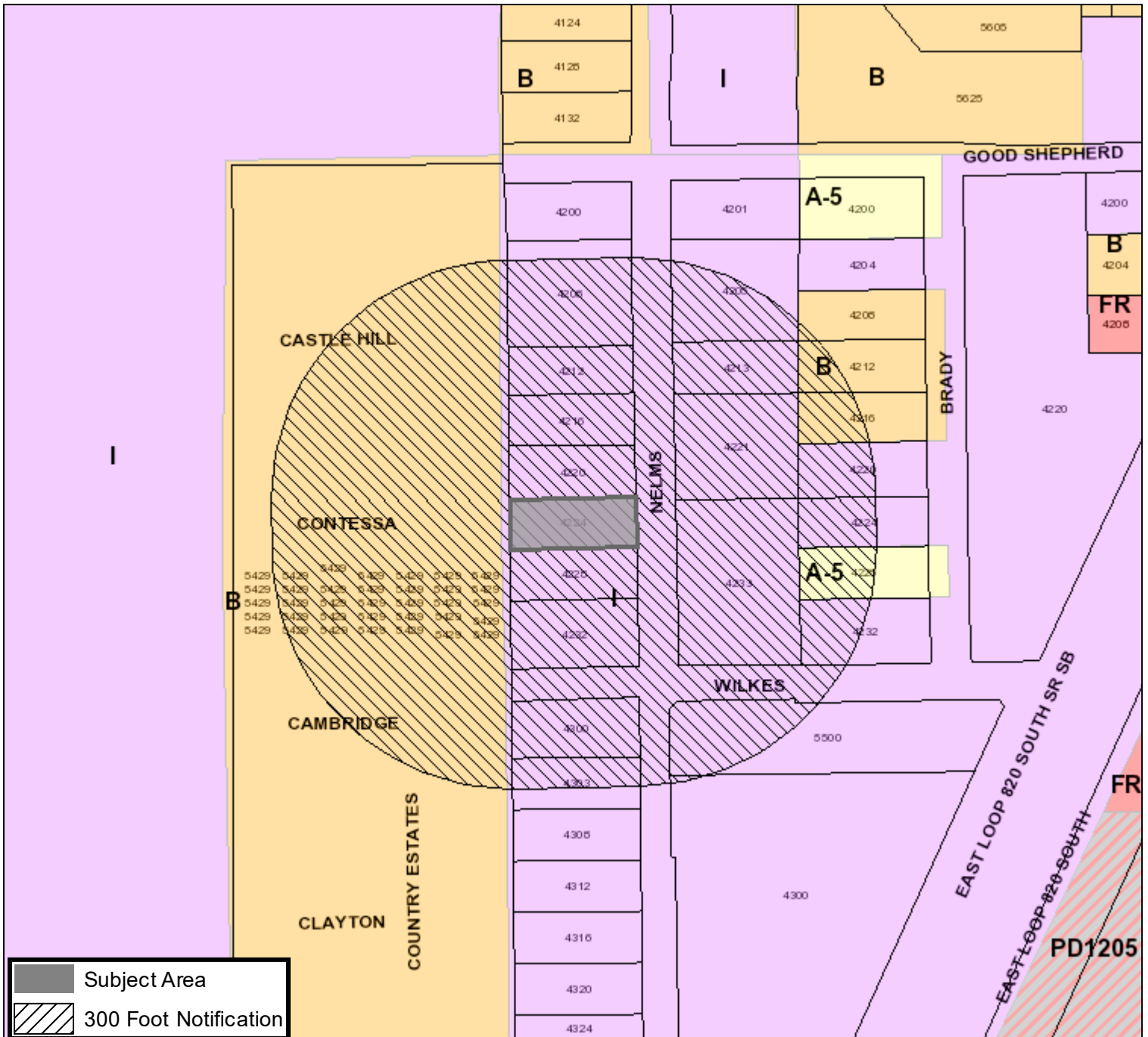






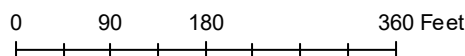
ZC-24-070

Area Zoning Map

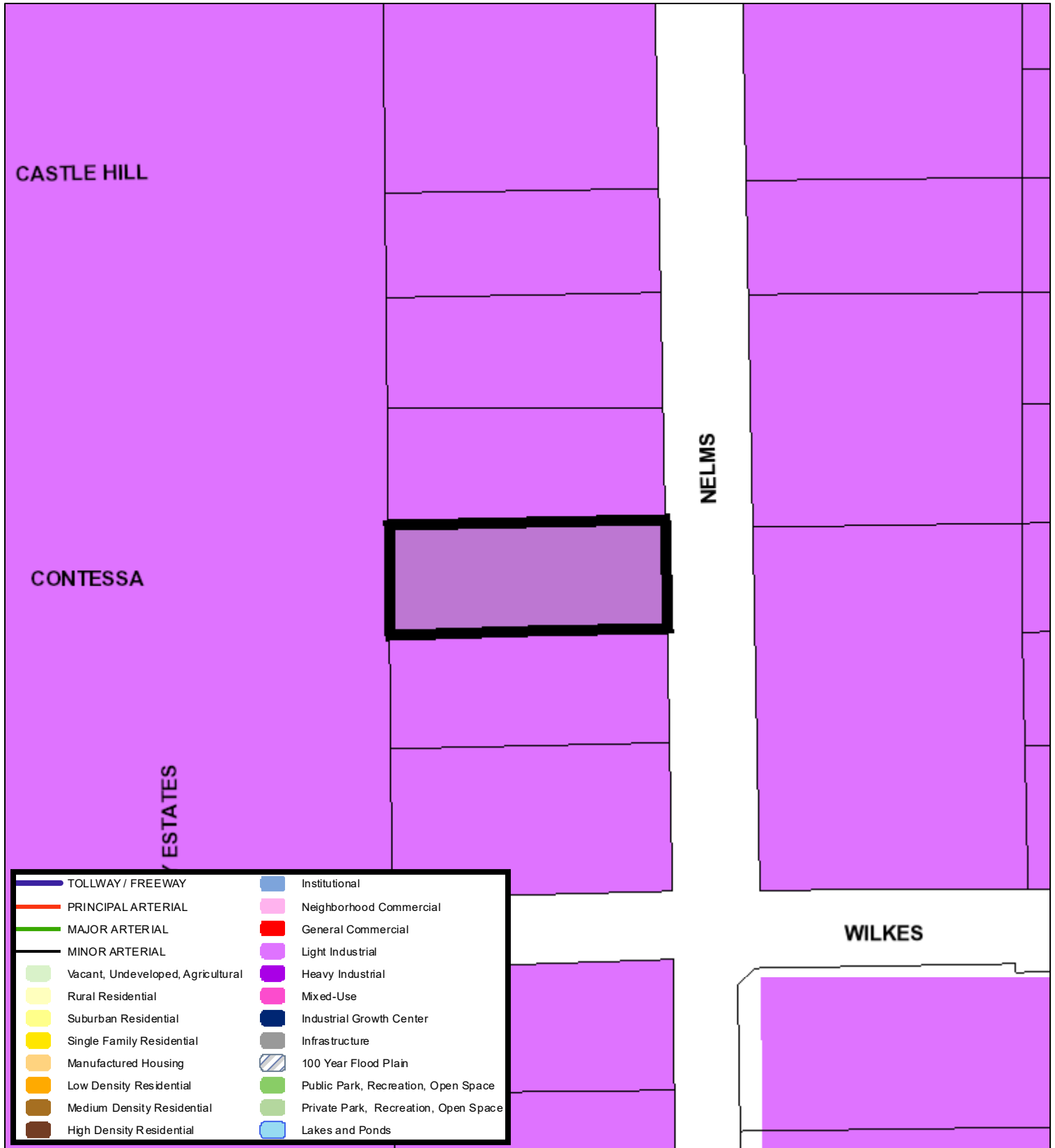
Applicant: Billy Thomas/JST Rentals
 Address: 4224 Nelsms Drive
 Zoning From: I
 Zoning To: MU
 Acres: 0.22669588
 Mapsco: Text
 Sector/District: Southeast
 Commission Date: 8/14/2024
 Contact: null



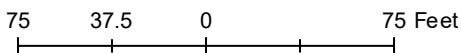
 Subject Area
 300 Foot Notification



Future Land Use



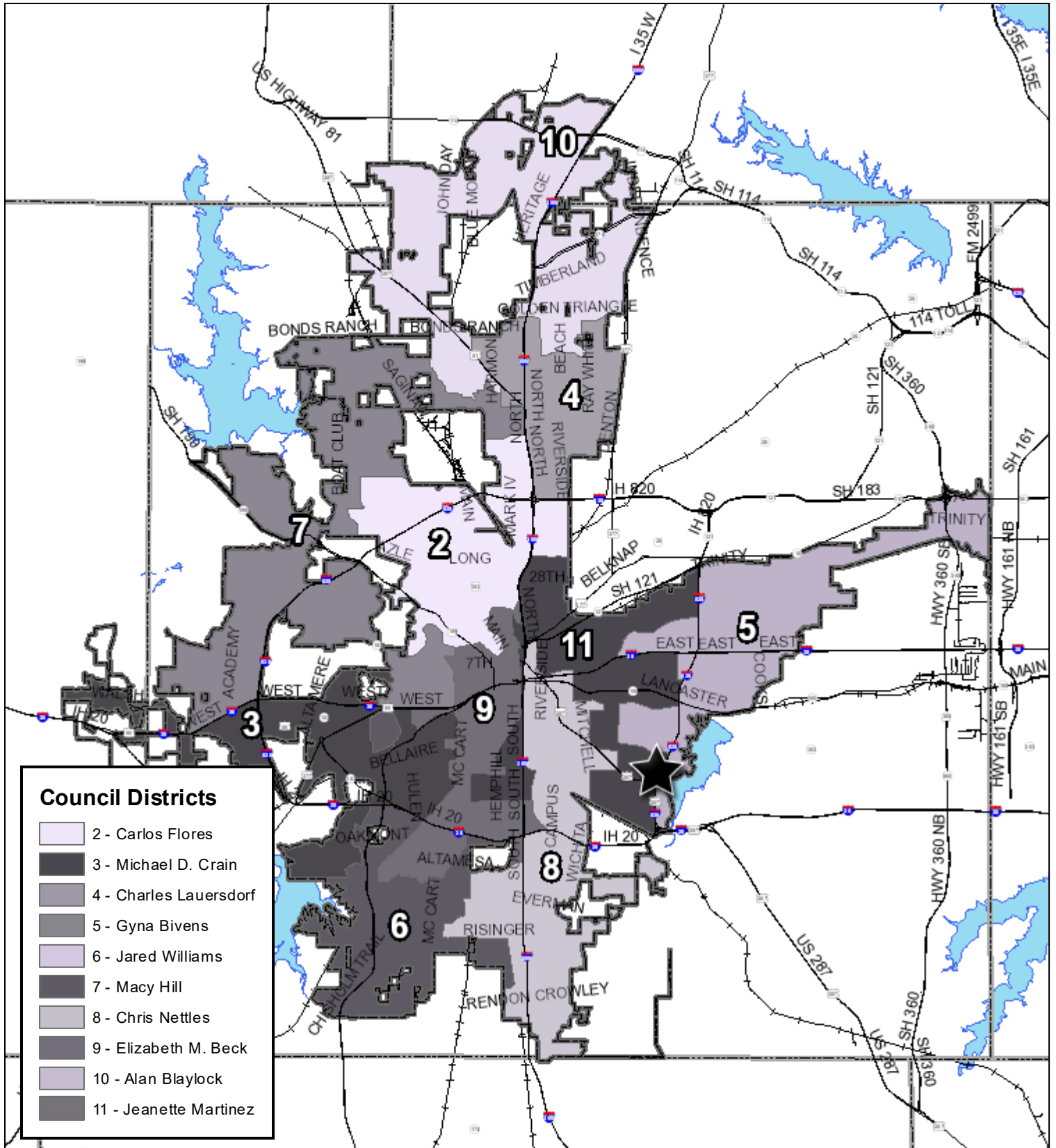
	TOLLWAY / FREEWAY		Institutional
	PRINCIPAL ARTERIAL		Neighborhood Commercial
	MAJOR ARTERIAL		General Commercial
	MINOR ARTERIAL		Light Industrial
	Vacant, Undeveloped, Agricultural		Heavy Industrial
	Rural Residential		Mixed-Use
	Suburban Residential		Industrial Growth Center
	Single Family Residential		Infrastructure
	Manufactured Housing		100 Year Flood Plain
	Low Density Residential		Public Park, Recreation, Open Space
	Medium Density Residential		Private Park, Recreation, Open Space
	High Density Residential		Lakes and Ponds



A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



Location Map





ZONING CHANGE / SITE PLAN APPLICATION

CONTACT INFORMATION

PROPERTY OWNER Billy Thomas / JST Rentals

Mailing Address 8319 Silent River DR City, State, Zip Richmond TX 77406

Phone 817 937 9881 Email STAS THOMAS@sbcglobal.net

APPLICANT Billy Thomas

Mailing Address 8319 Silent River DR City, State, Zip Richmond TX 77406

Phone 817 937-9881 Email STAS THOMAS@sbcglobal.net

AGENT / OTHER CONTACT _____

Mailing Address _____ City, State, Zip _____

Phone _____ Email _____

Note: If the property owner is a corporation, partnership, trust, etc., documentation must be provided to demonstrate that the person signing the application is legally authorized to sign on behalf of the organization.

PROPERTY DESCRIPTION

Site Location (Address or Block Range): 4224 NELMS DR

Total Rezoning Acreage: LESS THAN I certify that an exhibit map showing the entire area to be rezoned is attached.
ACRE

If multiple tracts are being rezoned, the exhibit map must clearly label each tract and the current and proposed zoning districts. A platted lot description or certified metes and bounds description is required for each tract, as described below.

Is the property platted?

YES - PLATTED

Subdivision, Block, and Lot (list all): LOT 3 BLOCK 4 VILLAGE GARDENS

Is rezoning proposed for the entire platted area? Yes No Total Platted Area: LESS THAN acres
ACRE

Any partial or non-platted tract will require a certified metes and bounds description as described below.

NO - NOT PLATTED

A Registered Texas Surveyor's certified metes and bounds legal description is required. The boundary description shall bear the surveyor's name, seal, and date. The metes and bounds must begin at a corner platted lot or intersect with a street. All metes and bounds descriptions must close. If the area to be rezoned is entirely encompassed by a recorded deed, a copy of the deed description is acceptable. The certified metes and bounds description must be provided in Microsoft Word format.

Total Area Described by Metes and Bounds: _____ acres

APPLICATION TYPE

Please check the box next to the description that applies to your project. Make sure to select the corresponding application type when submitting your application in Accela (Zoning Change or Site Plan Amendment).

Zoning Change Application	Site Plan Amendment
<input type="checkbox"/> Rezoning from one standard zoning district to another <input checked="" type="checkbox"/> Rezoning to Planned Development (PD) District <input type="checkbox"/> Adding a Conditional Use Permit (CUP) Overlay <input type="checkbox"/> Modifying development standards, waivers, and/or land uses for an existing PD or CUP	<input checked="" type="checkbox"/> Submitting a required site plan for an existing PD <i>(no change to development standards or waivers)</i> <input type="checkbox"/> Amending a previously approved PD or CUP site plan Existing PD or CUP Number: _____ Previous Zoning Case Number: _____

DEVELOPMENT INFORMATION

Current Zoning District(s): I Proposed Zoning District(s): M U

Current Use of Property: Vacant Land

Proposed Use of Property: Multi family

For Planned Development (PD) Requests Only

First, reference Ordinance [Section 4.300](#) to ensure your project qualifies for PD zoning. If so, complete the following:

Base Zoning District Proposed for PD: _____

Land Uses Being Added or Removed: _____

Are Development Standards or Waivers being requested? Yes No If yes, please list below:

- Site Plan Included (completed site plan is attached to this application)
- Site Plan Required (site plan will be submitted at a future time for approval by Zoning Commission and City Council)
- Site Plan Waiver Requested (in the box above, explain why a waiver is needed)

For Conditional Use Permit (CUP) Requests Only

Current Zoning of Property: _____

Additional Use Proposed with CUP: _____

Are Development Standards or Waivers being requested? Yes No If yes, please list below:

A site plan meeting requirements of the attached checklist is included with this application (required for all CUP requests)

DETAILED PROJECT DESCRIPTION

Please provide a detailed summary of your proposal below. This should include a detailed description of the proposed use and reason for rezoning, how this use is compatible with surrounding land uses and the City's Comprehensive Plan, and any other details relevant to your request. Feel free to attach additional pages, concept plans, etc. as needed.

For PD or CUP requests, please explain why your proposal cannot be accommodated by standard zoning districts, clarify if any waivers are being requested and why, and detail any changes from previously approved site plans or development standards.



ADDITIONAL QUESTIONS

1. Is this property part of a current Code Compliance case? Yes No If yes, please explain:

2. Is the purpose of this request to provide a reasonable accommodation for a person(s) with disabilities? Yes No

If yes, this application will be directed to the Development Services Director or Zoning Administrator for review pursuant to Ordinance No. 22098-03-2016, "Reasonable Accommodation or Modification for Residential Uses." Applications under a Reasonable Accommodation Ordinance review will not be heard by the Zoning Commission. Please see Ordinance No. 22098-03-2016 (Chapter 17, Division V) for more information. (Note to staff: If yes, send a copy of this application and any attachments to the Zoning Administrator as soon as possible.)

3. Have you contacted the relevant Council Member to discuss your proposal? Yes No [Click to find your Council District.](#)

4. Have you contacted nearby neighborhood organizations and property owners to discuss your proposal? Yes No

The [Fort Worth Neighborhood Database](#) includes contact information for each registered organization. To find a list of organizations in close proximity to your site, please use the [Online Zoning Map](#) or contact [Community Engagement](#). All registered groups within ½ mile of your site and property owners within 300 feet will be notified of the request.

5. Would you need Translation Services to explain your case and answer questions at either the Zoning Commission and/or at City Council hearing? (at no cost to you)

¿Va usted a necesitar servicios de traducción para explicar y contestar preguntas sobre su caso ante la Comisión de Zonificación y/o frente al Consejo de la Ciudad? (sin coste para usted) Sí No

If yes, please explain in which language you need translation/ Si así lo quiere, explique en qué idioma: _____

6. The following items are required with your application. Please confirm submittal by checking each item below.

- Completed copy of Zoning Change Application with original signatures (pages 2-6)
- Corporate documents demonstrating signature authority if property owner is a corporation, partnership, trust, etc.
- A copy of the recorded plat or certified metes and bounds description (page 2)
- An exhibit map showing the entire area to be rezoned with labels for current and proposed zoning districts
- If requesting Planned Development (PD) zoning or a Conditional Use Permit (CUP):
 - Site Plan meeting requirements of attached checklist (pages 7-8)
 - A list of all waiver requests with specific ordinance references

ACKNOWLEDGEMENTS / LETTER OF AUTHORIZATION FOR ZONING CASE REPRESENTATION

I certify that the above information is correct and complete to the best of my knowledge and ability and that I am now, or will be, fully prepared to present the above proposal before the Zoning Commission and City Council public hearings. I further certify that I have read and understand the information provided, concerning the policies and procedures regarding consideration of my zoning request.

I understand that Planning staff will not conduct a plan review for this development and any and all development / design standards must be adhered to unless otherwise specified through a waiver.

I understand that all recommendations of the Zoning Commission will be forwarded to the City Council for final determination, normally scheduled for the second Tuesday of the following month. I further understand that any actions of the Zoning Commission are considered recommendations to the City Council and that I may be heard by the City Council at the prescribed Council hearing date where a final decision will be made.

I further understand that if I am not present nor duly represented at the Commission's public hearing, the Zoning Commission may dismiss my request, which constitutes a recommendation that the request be denied. I further understand that if I am not present, or duly represented, at the City Council public hearing, the City Council may deny my request.

I reserve the right to withdraw this proposal at any time, within 14 days of the deadline filing date, upon written request filed with the Executive Secretary of the Commission. Such withdrawal shall immediately stop all proceedings thereon; provided, however, case withdrawal, filed any time after the 14 days following the filing deadline, shall constitute a denial by the Commission and City Council. I understand my filing fee is not refundable upon withdrawal of my case application after public notice, nor following denial by the Commission or Council of my case. I / we respectfully request approval and adoption of the proposed zoning / land use of property, within the City of Fort Worth, as identified in this application.

SIGN INSTALLATION AUTHORIZATION

Authority is hereby granted to the City of Fort Worth, or its agent, to install upon the above described property, sign or signs in a conspicuous place, or places, at a point, or points nearest any right-of-way, street, roadway or historic designation, or, special exception or public thoroughfare abutting said property. Such sign or signs indicate that a zoning amendment is proposed and that further information can be acquired by telephoning the number indicated. I shall inform City Staff if the sign is removed, lost, or otherwise ceases to be displayed on my property during the processing of the zoning case.

Owner's Signature (of the above referenced property): Billy Thomas

Owner's Name (Printed): Billy Thomas

If application is being submitted by an applicant or agent other than the property owner, complete the section below:

AUTHORITY IS HEREBY GRANTED TO (NAME) _____ ACTING ON MY BEHALF AS THE OWNER OF THIS PROPERTY AS INDICATED AT THE APPRAISAL DISTRICT, TO FILE AND PRESENT AN APPLICATION TO THE CITY OF FORT WORTH, TEXAS, TO REQUEST A CHANGE IN ZONING CLASSIFICATION FOR THE FOLLOWING PROPERTY:

_____ (CERTIFIED LEGAL DESCRIPTION)

Owner's Signature (of the above referenced property)

Applicant or Agent's Signature

Owner's Name (Printed)

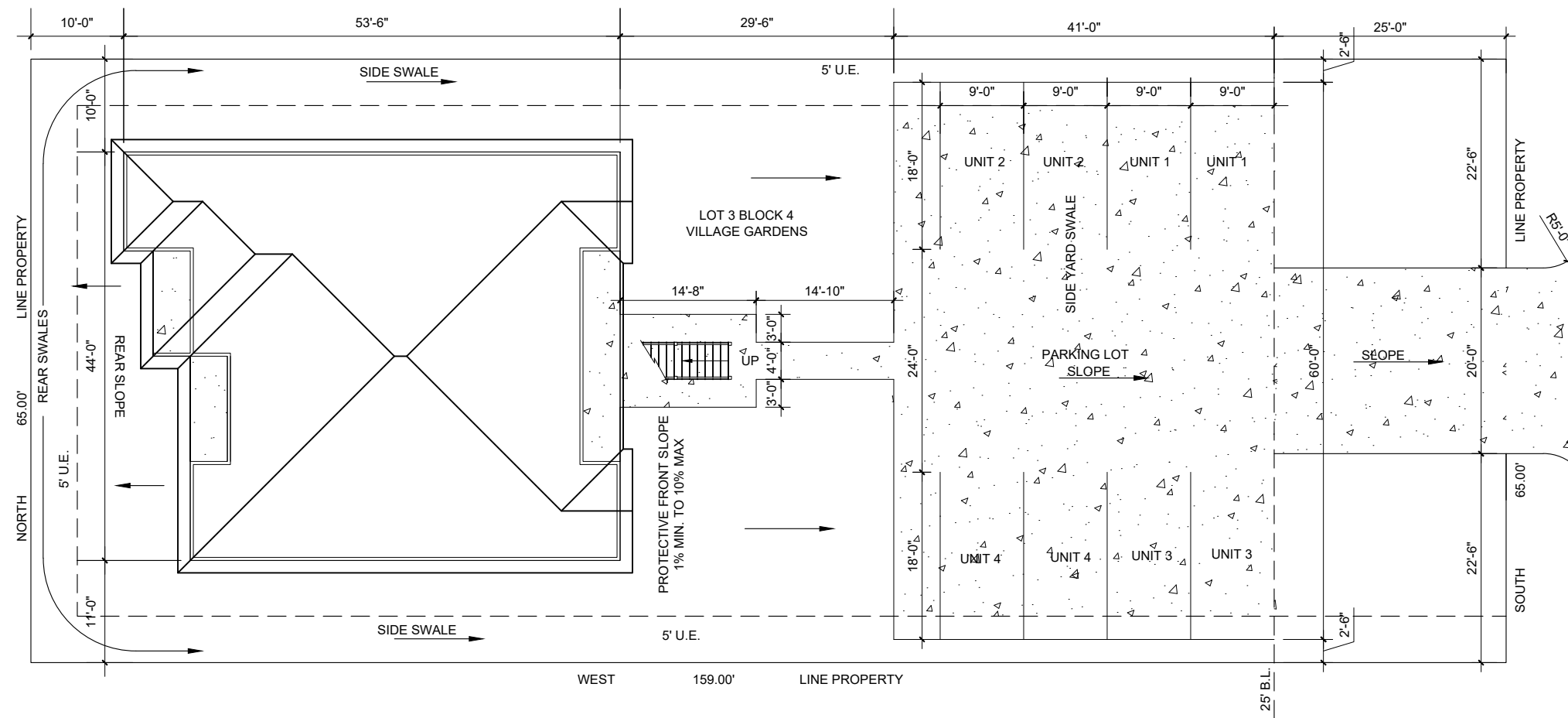
Applicant or Agent's Name (Printed):

AREAS

Space	Sq. ft.	%
RESIDENTIAL SLAB	2160.50	20.90
PARKING LOT SLAB	3160.00	30.58
LOT SIZE	10335.00	100
GRADING LOT TYPE "A"		

NOTES:

THIS PLAN IS GRAPHIC REPRESENTATION FOR ESTIMATING PURPOSES/ ACTUAL FIELD CONDITIONS MAY VARY AND MUST BE VERIFIED BEFORE PROCEEDING WITH CONSTRUCTION.



4224 NELMS DR.
50.00' R.O.W.

1 SITE PLAN
1/16" = 1'-0"

PROJECT NAME AND ADDRESS:
GUADALUPE
4224 NELMS ST.
FORT WORTH
TEXAS
76119
TARRANT COUNTY

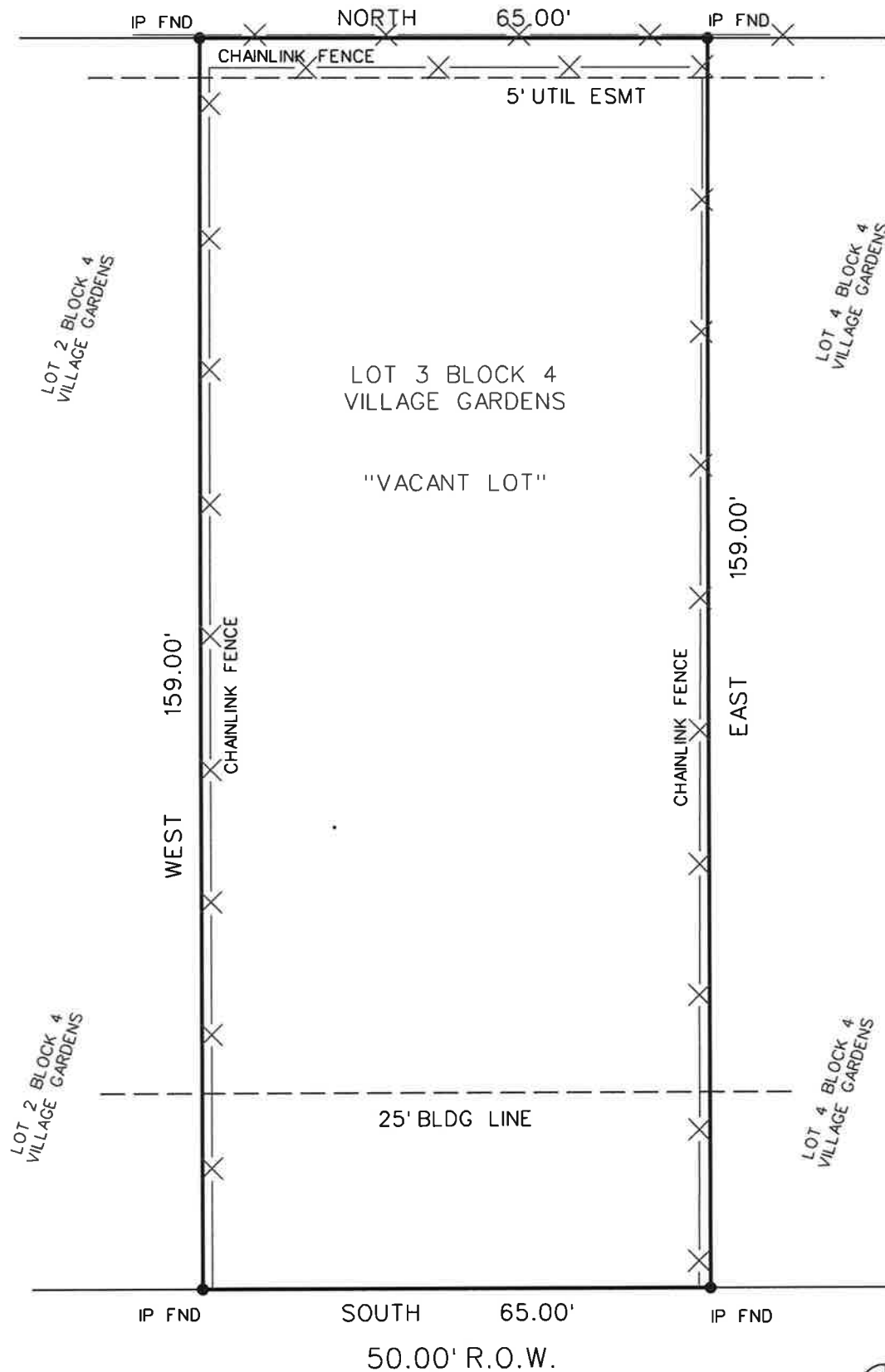
DESIGNER:
HILDA CORTES
hilda_cl85@hotmail.com
909-273-7239

PROJECT:
SITE PLAN
DATE:
3/22/2023
SCALE:
1/16" = 1'-0"
SHEET:

A-03

MULBERRY HEIGHTS
MOBILE HOME PARK

MULBERRY HEIGHTS
MOBILE HOME PARK



4224 NELMS DRIVE

BORROWER: JST RENTALS, LLC
GF NO: 8992-22-31837

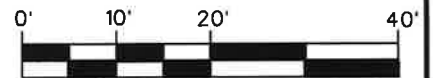


LEGAL DESCRIPTION:

LOT 3, BLOCK 4, VILLAGE GARDENS, A SUBDIVISION OUT OF THE JAMES M. DANIEL SURVEY, AN ADDITION TO THE CITY OF FORT WORTH, TARRANT COUNTY TEXAS, ACCORDING TO THE PLAT RECORDED IN VOLUME 388-Y, PAGE 84, DEED RECORDS OF TARRANT COUNTY, TEXAS.

THE PROPERTY SHOWN APPEARS TO BE LOCATED IN ZONE "X" (AREA DETERMINED TO BE OUTSIDE THE 500-YEAR FLOOD PLAIN) ACCORDING TO THE FLOOD INSURANCE RATE MAP.

The undersigned hereby certifies to [lender] and/or (owner) and Title Company that this survey (1) was made on the ground as per the property description shown hereon, (2) correctly shows the boundary lines and dimensions and area of the land indicated hereon (3) correctly shows the location of all buildings, structures, and other improvement and visible items on the property, and (4) correctly shows the locations of all alleys, streets, roads, other right-of-way, easements, and other matters of record of which the undersigned has been advised effecting the property according to the description in such recorded instruments; and except as shown, there are no visible easements, rights-of-way, party walls or other common structures or use of the property by adjacent property owners, encroachments of improvements of adjoining premises, protrusions of improvements onto adjoining premises, or boundary conflicts.



SCALE: 1"=20'

DATE 10-27-22

JOB NO.:



REGISTERED PROFESSIONAL LAND SURVEYOR



STD LAND SURVEYING



305 W BUFFALO STREET
FORNEY, TEXAS 75126
Office 817-247-6307

SETTING THE "STANDARD"
SINCE 1995

E-Mail us at:

stdlandsurveying@yahoo.com

Building Official
City of Fort Worth

March 21, 2023

Re: Foundation Design For
Residence At
4224 Nelms Dr
Fort Worth, Texas

Building Official:

The foundation design for the above residence was designed using acceptable engineering practices in accordance with the 2021 International Residential Code.

The following presumptive soil bearing data from the 2021 International Residential Code was the design data used along with USDA Soil Survey Data of the area:

Web Soil Survey:

Soil Type: Ponder-Urban / Wilson-Urban
Silty Clay, Clay Loam
CH, CL
Plasticity Index: 20-48

Presumptive: Bearing Capacity: 1,500 PSF

Sincerely,

Elliott Stovall, P.E.
817 879-1808
F-19938



RESIDENTIAL CONSTRUCTION PLANS FOR

4224 NELMS Dr.
FORT WORTH, Tx. 76119

Contact. Guadalupe At (469) 826-1354



INDEX:

SHEET A-1	COVER SHEET
SHEET A-2	GENERAL NOTES
SHEET A-3	SITE PLAN
SHEET A-4	FOUNDATION
SHEET A-5	FLOOR PLAN
SHEET A-6	ELEVATIONS
SHEET A-7	ROOF PLAN
SHEET A-8	ELECTRICAL
SHEET A-9	MECHANICAL
SHEET A-10	PLUMBING
SHEET A-11	BRACED WALL PLAN

MARCH 22, 2023

NOTES:

THIS PLAN IS GRAPHIC REPRESENTATION FOR ESTIMATING PURPOSES/ACTUAL FIELD CONDITIONS MAY VARY AND MUST BE VERIFIED BEFORE PROCEEDING WITH CONSTRUCTION.

PROJECT NAME AND ADDRESS:

GUADALUPE
4224 NELMS Dr.
FORT WORTH
TEXAS
76119
TARRANT COUNTY

DESIGNER :

HILDA CORTES
hilda_cl85@hotmail.com
909-273-7239

PLAN :
COVER SHEET

DATE :
3/22/2023

SCALE :

SHEET :

A-01

GENERAL REQUIREMENTS:

- 1.- DRAWING ARE NOT TO BE SCALED IN THE FIELD, WRITTEN DIMENSIONS TAKE PRECEDENCE OVER DRAWING DIMENSIONS, VERIFY ALL DISCREPANCIES, ERRORS OR OMISSIONS WITH THE DRAWER BEFORE PROCEEDING WITH WORK.
- 2.- VERIFY SITE SURVEY AND DIMENSIONS WITH THE ACTUAL CONDITIONS IN FIELD, VERIFY ANY DISCREPANCIES, CONFLICTING CONDITIONS OR DIMENSIONS WITH DRAWER.
- 3.- GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL BE FAMILIAR WITH ALL DRAWINGS FOR THE PROJECT.
- 4.- CONTRACTOR IS RESPONSIBLE FOR REVIEWING ALL PLANS AND SPECIFICATIONS, VERIFYING ALL EXISTING CONDITIONS PRIOR TO PROCEEDING WITH CONSTRUCTION AND IMMEDIATELY NOTIFYING DRAWER OF ANY DISCREPANCIES OR CONFLICTS.
- 5.- SUBMIT SHOP DRAWINGS PREPARED BY CONTRACTORS, SUPPLIERS, ETC. FOR REVIEW BY OWNER FOR CONFORMANCE WITH DESIGN INTENT. DO NOT START WORK WITHOUT SUCH REVIEW, GENERAL CONTRACTOR MUST REVIEW ALL SHOP DRAWINGS PRIOR TO SUBMIT TO OWNER.
- 6.- GENERAL CONTRACTOR MUST CHECK FOR THE SIZE AND LOCATION OF OPENINGS, SLEEVES, CHASES, CONDUITS, DEPRESSED AREAS, FLOOR FINISH FILLS, ANCHORS, HANGERS, CURBS, EQUIPMENT SUPPORTS, INSERTS, CONCRETE PADS AND OTHER MISCELLANEOUS ITEMS CONNECTED WITH CONCRETE CONSTRUCTIONS BEFORE PLACING CONCRETE.
- 7.- CONTRACTORS TO ASSUME FULL RESPONSIBILITY UNRELIEVED BY REVIEW OF SHOP DRAWINGS AND BY PERIODIC OBSERVATION OF CONSTRUCTION. FOR THE FOLLOWING:
 - A) COMPLIANCE WITH CONTRACT DOCUMENTS.
 - B) DIMENSIONS TO BE CONFIRMED AND CORRELATED ON THE JOB SITE BETWEEN INDIVIDUAL DRAWINGS OR SETS OF DRAWINGS.
 - C) FABRICATION PROCESS AND CONSTRUCTION TECHNIQUES (INCLUDING EXCAVATION, SHORING, SCAFFOLDING, BRACING, ERECTION, FORM WORK, ETC.)
 - D) WORK OF THE CONTRACTOR AND THE VARIOUS TRADES.
 - E) SAFE CONDITIONS AT THE JOB SITE.
- 8.- ALL MATERIAL DESIGN AND CONSTRUCTION MUST CONFORM TO ALL STATE AND LOCAL BUILDING CODES AND REGULATIONS.
- 9.- SECTIONS, DETAILS AND NOTES ARE INTENDED TO APPLY TO SIMILAR SITUATIONS/CONDITIONS ELSEWHERE.
- 10.- LOCATION OF ALL CONSTRUCTION JOINTS TO BE REVIEWED BY THE DRAWER AND OWNER.
- 11.- PROVIDE TEMPORARY SHORING AND SUPPORT AS REQUIRED TO MAINTAIN STRUCTURAL INTEGRITY DURING EXECUTION OF THE WORK.
- 12.- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL CONSTRUCTIONS MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES.
- 13.- PROVIDE THE DRAWER/OWNER ACCESS TO THE WORK IN PREPARATION OR PROGRESS, WHEREVER LOCATED.
- 14.- DESIGN REQUIREMENTS SHALL BE FOLLOWED ENTIRELY REGARDLESS OF WHETHER THEY ARE GIVEN BY BOTH THE SPECIFICATIONS AND DRAWINGS OR BY EITHER ONE ONLY.
- 15.- DESIGN, PROVIDE, INSTALL AND MAINTAIN ALL UNDERPINNING, SHORING, BRACING, ETC. AS MAY BE REQUIRED FOR THE SUPPORT AND PROTECTION OF SURROUNDING EXISTING PROPERTY, BUILDINGS, UTILITIES, UTILITY EQUIPMENT, ETC. THE COST OF THIS WORK IS INCIDENTAL TO THE CONTRACT.

GENERAL NOTES:

- 1.- ALL WORK SHALL BE DONE IN A WORKMANLIKE MANNER AND ALL MATERIALS SHALL BE NEW, BRICK EXTERIOR WALL & INTERIOR GYPSUM BOARD PARTITIONS SHALL BE 5/8' GYP. BD. ON 2X4 WOOD STUDS @ 16" O.C.
- 2.- ALL MATERIALS SHALL BE CLASS IN ACCORDANCE WITH THE LOCAL BUILDING AUTHORITY FLAME SPREAD RATING, SHALL BE 0.25 UNLESS OTHERWISE NOTED.
- 3.- ALL STAIRS SHALL HAVE A HANDRAIL ONE SIDE 2'-8" HEIGHT, STAIR WITH MINIMUM SHALL BE 36", MINIMUM TREAD INS 9" + 1" NOSE. MAXIMUM RISER IS 8".
- 4.- PROVIDE APPROVED SMOKE DETECTOR WITHIN 15' OF EVERY EXIST DOOR AND AT OF STAIRS WELLS, MINIMUM ONE PER LEVEL.
- 5.- CONTRACTOR SHALL MAINTAIN ADEQUATE PROTECTION OF ALL WORK FROM DAMAGE AND TO PROTECT OWNER PROPERTY FROM INJURY OR LOSS OF ANY TYPE ARISING OUT OF THIS WORK.
- 6.- CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS FOR SAFETY OF THE EMPLOYEES ENGAGE ON THE PROJECT AND SHALL COMPLY WITH ALL APPLICABLE PROVISIONS OF GENERAL, STATE AND LOCAL LAWS AND ORDINANCES INCLUDING BUT NOT LIMITED TO O.S.H.A. SO AS TO PREVENT INJURY OR ACCIDENT TO PERSONS ON ADJACENT TO THE AREA WHERE THIS WORK IS PERFORMED.
- 7.- CONTRACTOR SHALL MAINTAIN LIABILITY INSURANCE AS REQUIRED BY LAW, AND AS AGREED WITH THE OWNER.
- 8.- THE CONTRACTOR AND SUBCONTRACTOR DURING AND AT COMPLETION OF WORK, SHALL REMOVE ALL SUPPLY CONSTRUCTION MATERIAL INCLUDING, BOXES DEBRIS ETC. AND DISPOSE AT SAME OFF SITE LEAVE ALL SURFACES BROOM CLEAN AT THE END OF EACH DAY.
- 9.- THE CONTRACTOR SHALL INSPECT THE SITE AND SHALL VERIFY ALL DATA PERTAINING TO THE EXIST BUILDING AND IT'S RELATION TO THE WORK, AND REPORT TO THE ARCHITECT ANY DISCREPANCIES WHICH MAY AFFECT THIS WORK.

ELECTRICAL NOTES:

- 1.- THE ELECTRICAL CONTRACTOR SHALL INCLUDE ALL NECESSARY LABOR, MATERIALS, AND EQUIPMENT FOR THE INSTALLATION OF A COMPLETE AND OPERABLE ELECTRICAL SYSTEM.
- 2.- ALL ELECTRIC PERMITS THAT ARE NOT TAKEN OUT WITH THE GENERAL BUILDING PERMIT SHALL BE TAKEN OUT AND PAID FOR BY THE ELECTRICAL CONTRACTOR.
- 3.- THE ELECTRICAL CONTRACTOR SHALL INSTALL ALL WORK IN ACCORDANCE WITH ALL APPLICABLE STATE, LOCAL, AND NATIONAL CODES AND ORDINANCES.
- 4.- THE ELECTRICAL CONTRACTOR SHALL PROVIDE COPPER WIRE THROUGHOUT, WIRING SHALL BE RIGID METAL CONDUIT OR EMT.
- 5.- THE ELECTRICAL CONTRACTOR SHALL PROVIDE 120/240 VOLT, 1 PHASE, 3 WIRE SERVICE.
- 6.- DISTRIBUTION PANELS TO BE WITH 20 POLES SPACES MINIMUM PROVIDE BREAKERS AS REQUIRED.
- 7.- WIRING DEVICES:
 - A.- PLANS INDICATE APPROXIMATE OUTLET LOCATIONS, ALL OUTLETS SHALL BE GROUNDED DUPLEX PLUGS.
 - B.- SWITCHES SHALL BE SINGLE POLE, 3 WAY, ETC. AS INDICATED.
 - C.- ALL PLUGS AND SWITCHES SHALL BE IVORY UNLESS SPECIFIED OTHERWISE ALL COVER PLATES SHALL BE AS SELECTED BY THE OWNER.
- 8.- PROVIDE AND INSTALL GROUND FAULT PROTECTED OUTLETS AT ALL BATHROOMS, KITCHENS, SHOWER AND EXTERIOR OUTLETS.
- 9.- PROVIDE AND INSTALL DISCONNECTING MEANS AS REQUIRED BY CODE FOR FIXED APPLIANCES, INCLUDE FURNACE.
- 10.- PROVIDE ONE SMOKE DETECTOR IN EACH ROOM AND ONE IN EACH CORRIDOR ACCESSING BEDROOMS, CONNECT SMOKE DETECTORS TO HOUSE POWER AND INTER-CONNECT SMOKE DETECTORS TO HOUSE POWER AND INTERCONNECT SO THAT WHEN ANY ONE IS TRIPPED THEY ALL WILL SOUND, PROVIDE BATTERY BACKUP FOR ALL UNITS.

CARPENTRY NOTES:

- 1.- ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE CODES AND ORDINANCES.
- 2.- ALL WALLS AND BEARING PARTITIONS SHALL BE DOUBLE TOP PLATES.
- 3.- ALL EXTERIOR HEADERS TO BE (2) 2"x12" MINIMUM WITH 1/2" PLYWOOD SPACERS, PROVIDE DOUBLE CRIPPLE UNDER ALL OPENINGS LARGER THAN 6'-0".
- 4.- PROVIDE DOUBLE FLOOR JOIST UNDER ALL PARALLEL PARTITIONS AND AROUND STAIRS, OPENINGS, CHIMNEYS, SKYLIGHTS, AND ANY OTHER OPENINGS IN FLOOR DECK.
- 5.- PROVIDE TREATED WOOD SILL PLATES ON TOP OF FOUNDATIONS, INSTALL PORTLAND NON-SHRINK GROUT AT ALL VOIDS AND LET CURE PRIOR TO CONSTRUCTION.
- 6.- ALL PLYWOOD SUBFLOORING TO BE 3/4" THICK TONGUE & GROOVE PLYWOOD GLUE AND NAILED, REPLACE ALL PLYWOOD DAMAGED BY WEATHER.
- 7.- ALL PLYWOOD ROOF SHEATHING TO BE NAILED AS SPECIFIED BY THE AMERICAN PLYWOOD ASSOCIATION, ALL DELAMINATED PLYWOOD PRIOR TO ROOFING.
- 8.- INSULATE ALL ACCESS DOORS/HATCHES TO CRAWL SPACES AND ATTICS TO THE EQUIVALENT RATING OF THE WALL, FLOOR OR CEILING THOROUGH WHICH THE PENETRATE ON PLANS.

ATTIC	R-26
WALLS	R-13
FLOORS	R-19
- 9.- PROVIDE "TYVEK" OR EQUAL INFILTRATION BARRIER LAPPED AND TAPED IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATION.
- 10.- CARPENTRY CONTRACTOR TO FURNISH ALL HANGERS, FASTENERS AND NAILS AS REQUIRED. ALL EXTERIOR NAILS AND TRIM TO BE GALVANIZED.
- 11.- CARPENTRY CONTRACTOR TO CLEAN ALL SCRAP ALL DEBRIS ON A DAILY BASIS AND PLACE IN DUMPSTER.
- 12.- ALL WOOD JOIST TO BE MINIMUM 1250 P.S.I. AND E=1.5 10 P.S.I. UNLESS NOTED OTHERWISE.
- 13.- ALL STRUCTURAL WOOD MEMBERS (BEAMS) TO BE MINIMUM 1500 P.S.I. AND E=1.6 10 P.S.I.
- 14.- ALL DOOR & WINDOW HEADERS TO BE MINIMUM (2) 2"x12" WITH 1/2" PLYWOOD SPACERS AND SPIKED.
- 15.- ALL HANGERS TO BE HEAVY DUTY "TECO" OR EQUAL.
- 16.- NO STUDS OR JOISTS TO BE NOTCHED-DRILLED ONLY.

NOTES:

THIS PLAN IS GRAPHIC REPRESENTATION FOR ESTIMATING PURPOSES/ ACTUAL FIELD CONDITIONS MAY VARY AND MUST BE VERIFIED BEFORE PROCEEDING WITH CONSTRUCTION.

PROJECT NAME AND ADDRESS:

GUADALUPE
4224 NELMS ST.
FORT WORTH
TEXAS
76119
TARRANT COUNTY

DESIGNER :

HILDA CORTES
hilda_cl85@hotmail.com
909-273-7239

PLAN :
GENERAL NOTES

DATE :
3/22/2023

SCALE :

SHEET :

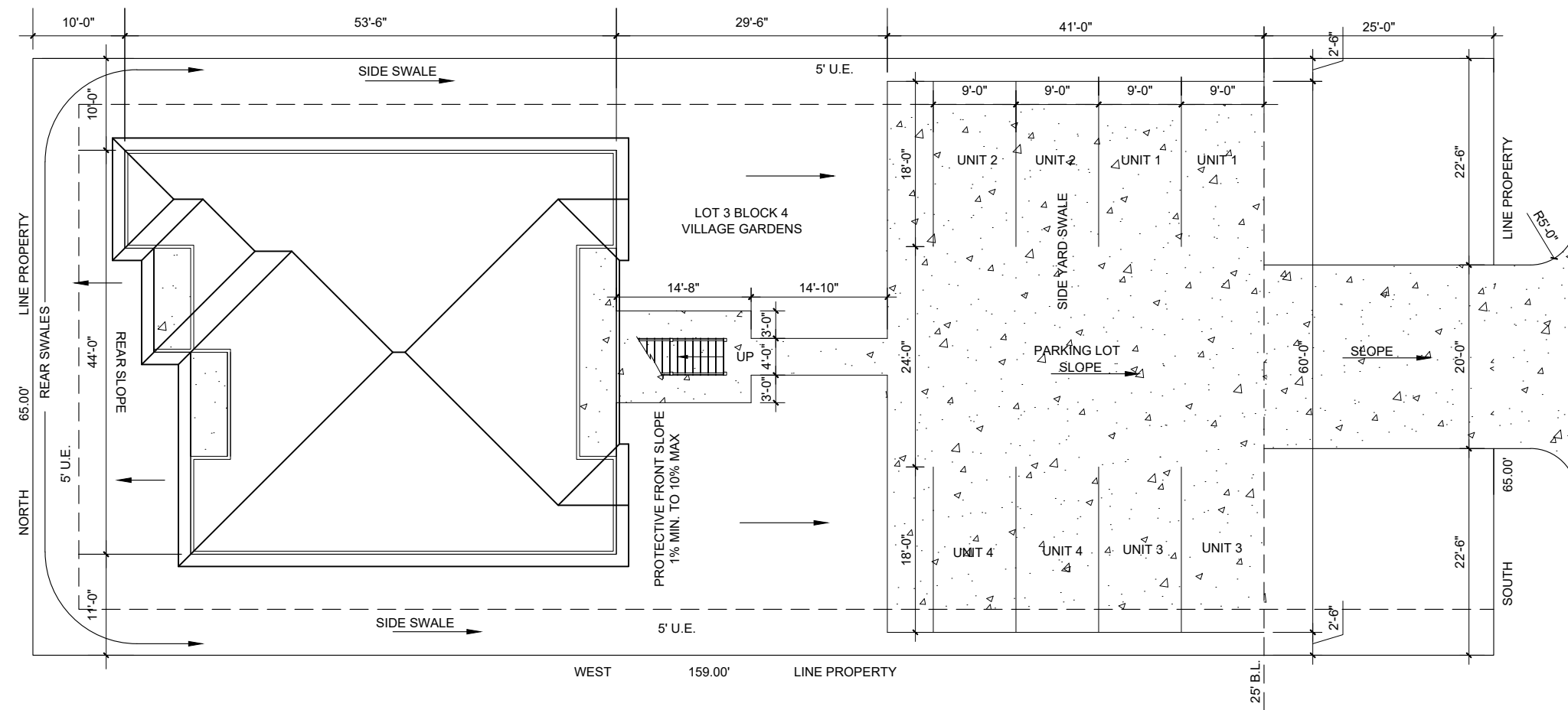
A-02

AREAS

Space	Sq. ft.	%
RESIDENTIAL SLAB	2160.50	20.90
PARKING LOT SLAB	3160.00	30.58
LOT SIZE	10335.00	100
GRADING LOT TYPE "A"		

NOTES:

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4224 NELMS DR.
50.00' R.O.W.

1 SITE PLAN
1/16" = 1'-0"

PROJECT NAME AND ADDRESS:
GUADALUPE
4224 NELMS ST.
FORT WORTH
TEXAS
76119
TARRANT COUNTY

DESIGNER:
HILDA CORTES
hilda_cl85@hotmail.com
909-273-7239

PROJECT:
SITE PLAN
DATE:
3/22/2023
SCALE:
1/16" = 1'-0"
SHEET:

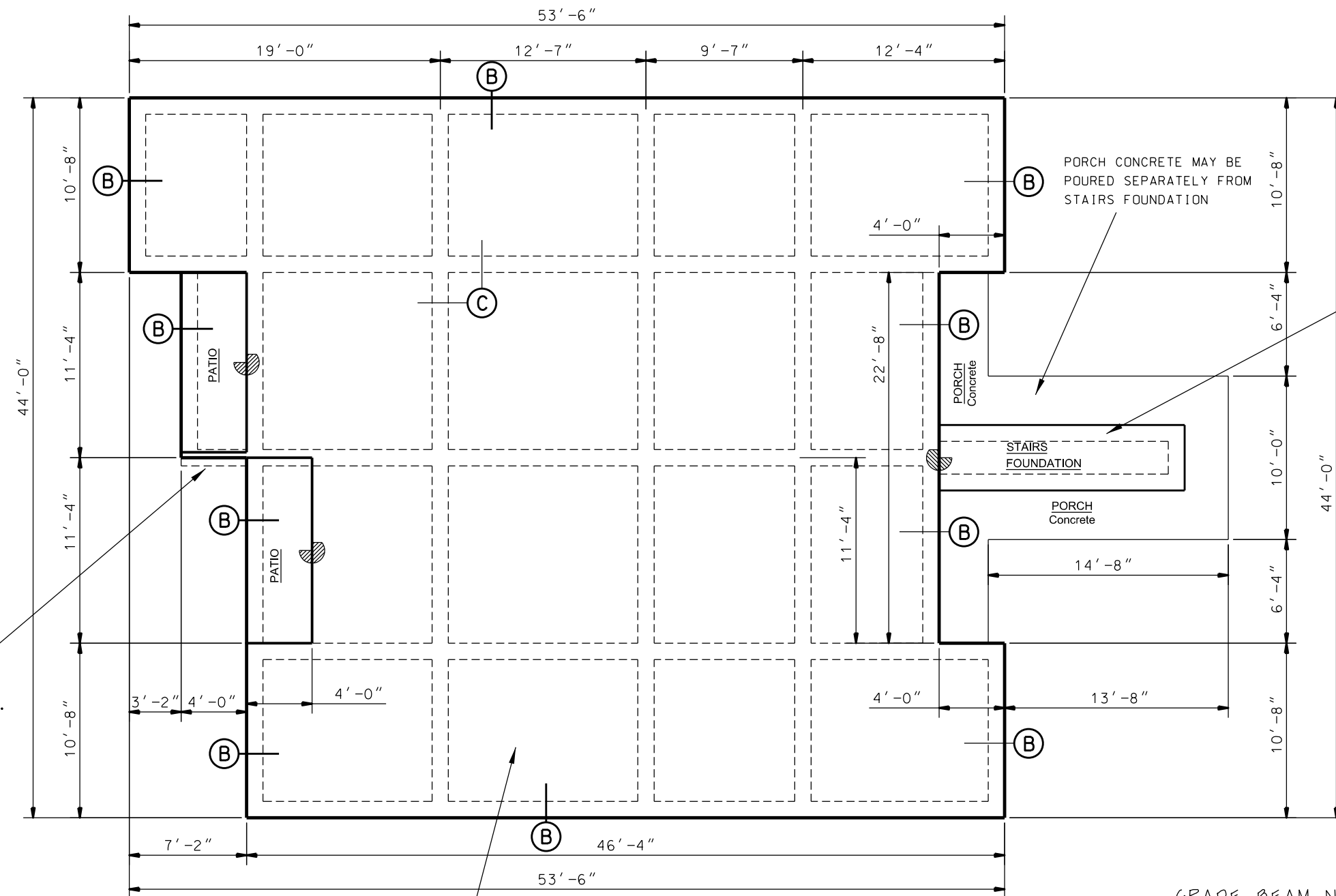
A-03

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY ELLIOTT STOVALL, P.E. 82774 ON 3/21/23



Elliott Stovall

ELLIOTT STOVALL, P.E.
ELLIOTT STOVALL, LLC
2000 WANDA WAY
ARLINGTON, TX 76001
F-19938 817 879-1808



PORCH CONCRETE MAY BE POURED SEPARATELY FROM STAIRS FOUNDATION

SLAB TO BE 4" MIN. CONCRETE W/ #3 REBAR @ 15" O.C.E.W. GRADE BEAM TO BE 12" WIDE X 24" DEEP W/ 2 - #5 BARS TOP AND BOT. EXTEND REBAR 24" INTO BLDG. FOUNDATION. GRADE BEAM STEEL TO BE TURNED INTO INTERSECTING GRADE BEAM.

Beam Extend Beyond Edge of Slab Below Ground to Provide Anchorage for Cable. Beam Depth 24"

ALL SLABS TO BE 4" MIN. CONCRETE

GRADE BEAM NOTE:
ALL EXTERIOR GRADE BEAMS ARE 12" WIDE X 30" DEEP.
ALL INTERIOR GRADE BEAMS ARE 12" WIDE X 30" DEEP.
BOTTOM OF GRADE BEAM TO BE FOUNDED 12" MIN. INTO UNDISTURB SOIL OR COMPACTED BACKFILL.

FOUNDATION PLAN SEE NOTES ON SHEET 2

SCALE: 1/8" = 1'-0"

CONTRACTOR TO VERIFY ALL SLAB DIMENSIONS WITH ARCHITECTURAL PLANS

--- CAUTION ---
LOCATE UNDERGROUND UTILITIES BEFORE DIGGING
CALL 1-800-DIG-TESS
1-800-344-8377

FOUNDATION PLAN

New Residence at
4224 Nelms Dr
Fort Worth, Tx
Tarrant County, Texas

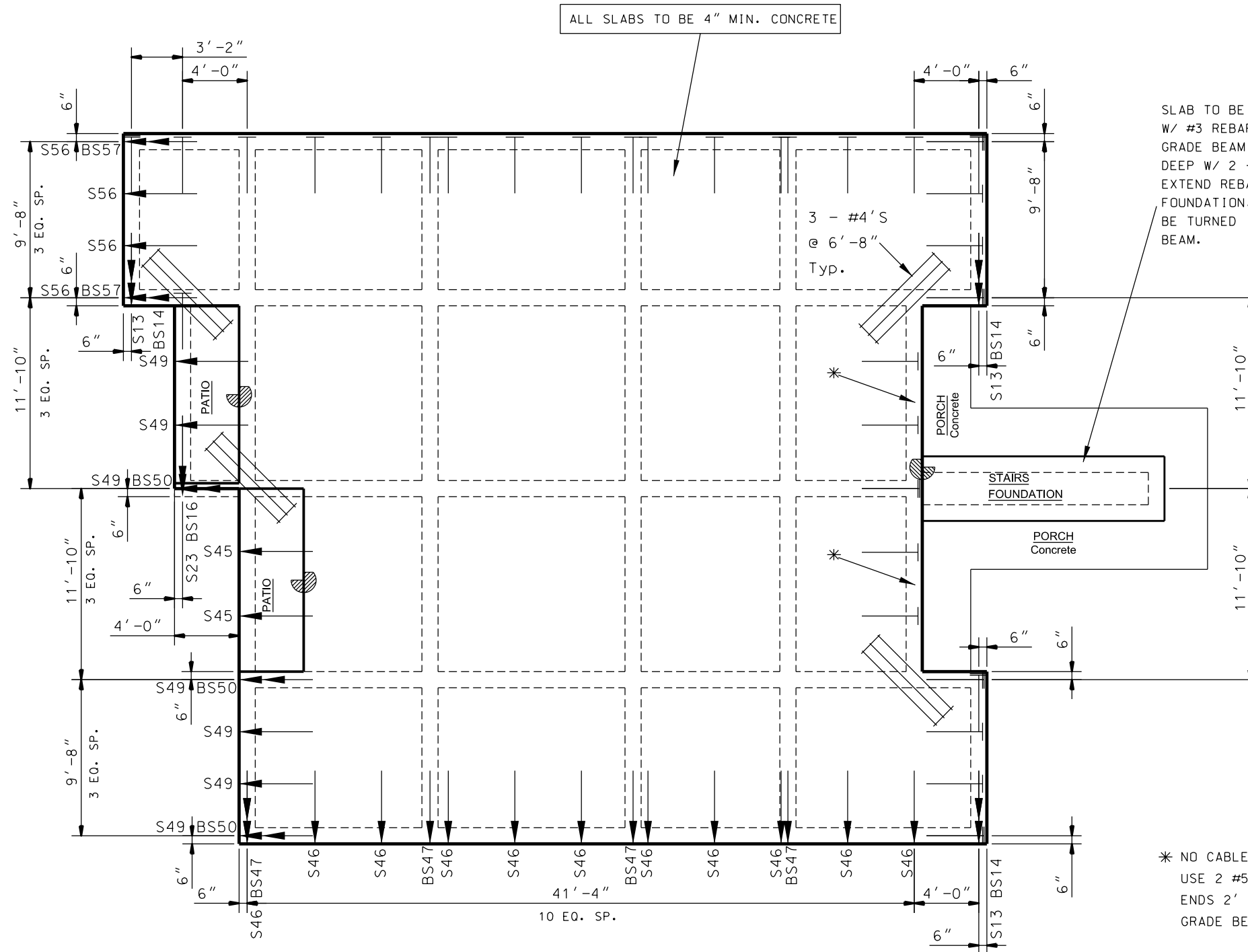
SHEET
1
OF 3 SHEETS

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY ELLIOTT STOVALL, P.E. 82774 ON 3/21/23



Elliott Stovall

ELLIOTT STOVALL, P.E.
ELLIOTT STOVALL, LLC
2000 WANDA WAY
ARLINGTON, TX 76001
F-19938 817 879-1808



CABLE TAKE OFF	
STRAND	#
S-13	3
S-23	1
S-45	2
S-46	11
S-49	7
S-56	4
BS-14	3
BS-16	1
BS-47	4
BS-50	3
BS-57	2

TOTAL = 1735 41
VERIFY BEFORE ORDERING QTY SHOWN INCL. 2' BEYOND SLAB DIM. AND 3' BEYOND BEAM DIM. TO ALLOW FOR STRESSING OF CABLE.

* NO CABLE AT BOT. OF THIS BEAM USE 2 #5 BARS AT BOT. TURN ENDS 2' INTO INTERSECTING GRADE BEAMS

- (X) DENOTES - SEE DETAIL "X"
- DENOTES - CABLE STRESSING END
- ⊥ DENOTES - CABLE FIXED END

FOUNDATION PLAN SEE NOTES ON SHEET 2

SCALE: 1/8" = 1'-0"

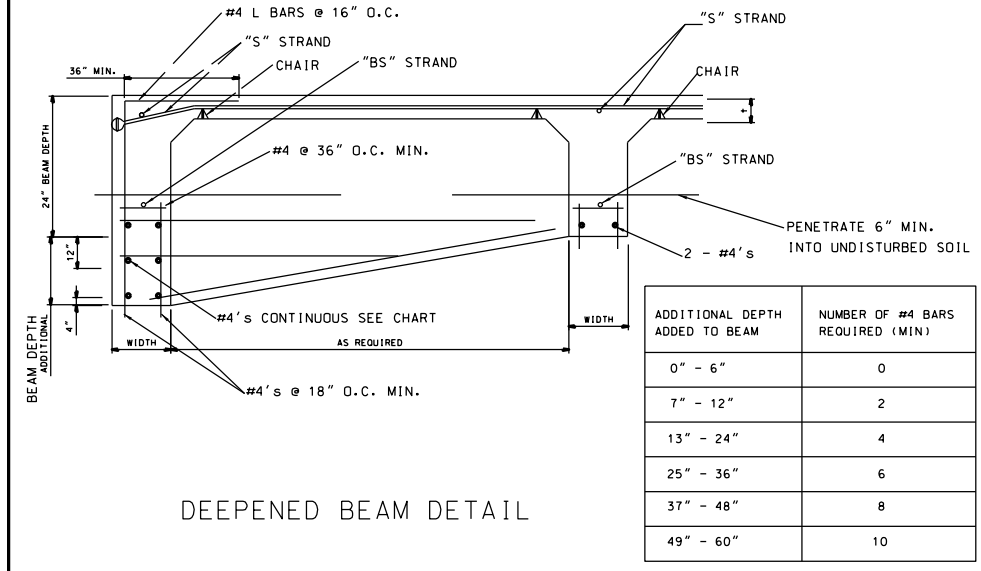
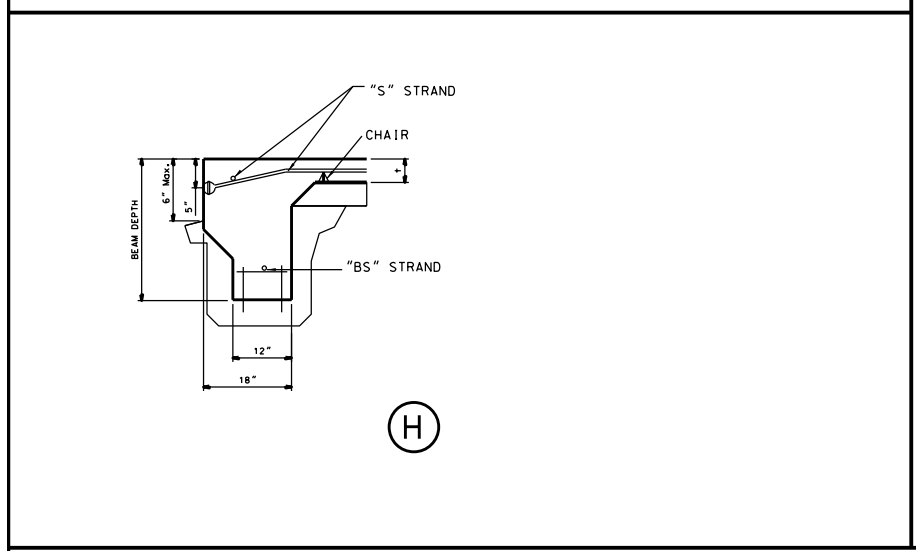
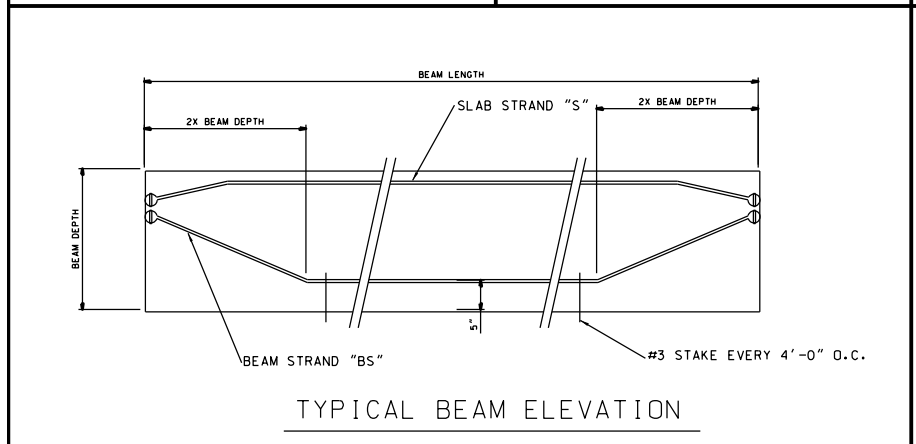
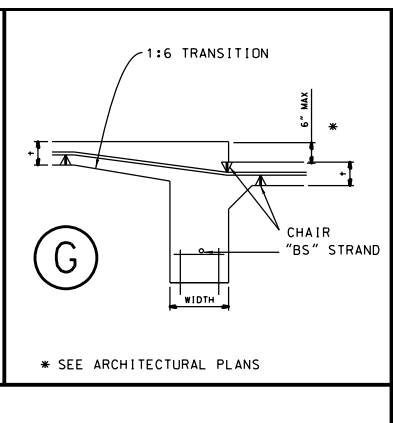
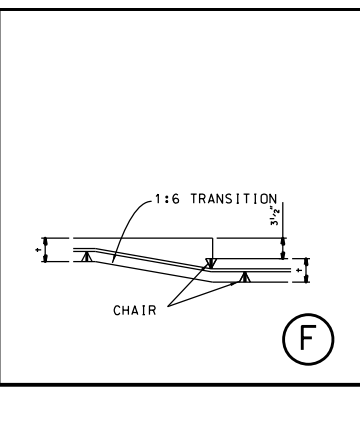
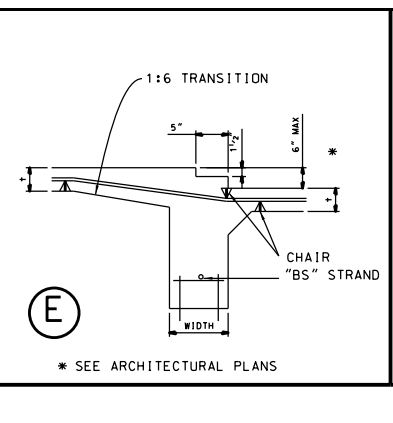
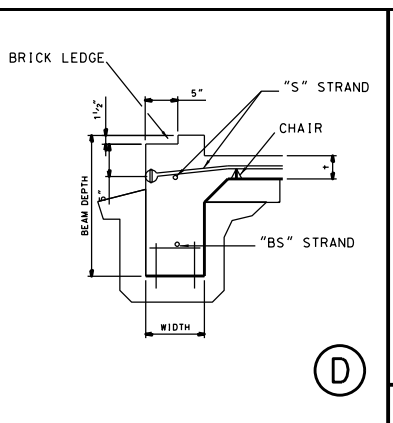
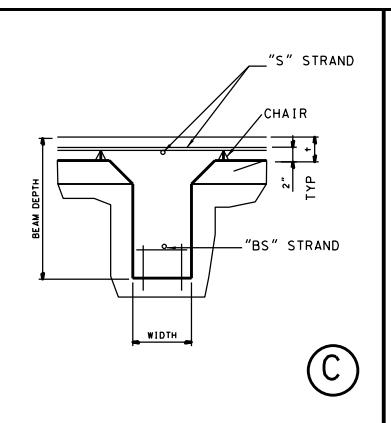
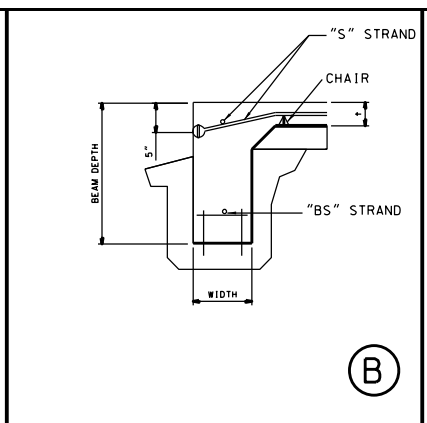
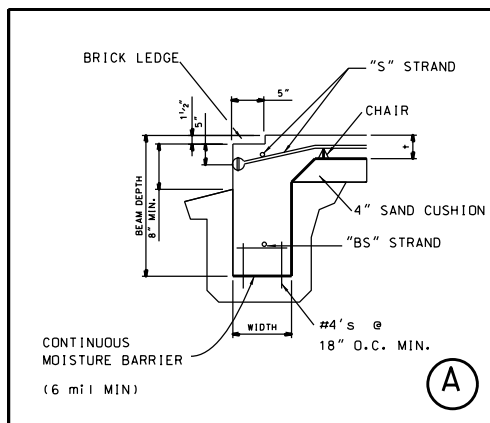
CONTRACTOR TO VERIFY ALL SLAB DIMENSIONS WITH ARCHITECTURAL PLANS

--- CAUTION ---
LOCATE UNDERGROUND UTILITIES BEFORE DIGGING
CALL 1-800-DIG-TESS
1-800-344-8377

FOUNDATION PLAN

New Residence at
4224 Nelms Dr
Fort Worth, Tx
Tarrant County, Texas

SHEET
2
OF 3 SHEETS



DESIGN

1. THE DESIGN OF THIS FOUNDATION IS IN ACCORDANCE WITH ACCEPTABLE INDUSTRY PRACTICES AND IN ACCORDANCE WITH THE POST-TENSIONING INSTITUTE PUBLICATION "DESIGN OF POST TENSIONED SLABS-ON-GROUND", THIRD EDITION.
2. This drawing is primarily for beam and cable placement. The contractor is required to coordinate the post-tension foundation plan with architectural, mechanical, and other trades for offsets, drops, openings and inserted items. Contractor shall verify all dimensions and field conditions before construction of the slab.

MATERIALS

1. FILL MATERIAL USED SHALL BE COMPACTED SELECT FILL.
2. POST-TENSIONING STEEL SHALL BE 1/2" DIAMETER 270 KSI AND CONFORM TO THE REQUIREMENTS OF ASTM-A416. THE POST-TENSIONING SYSTEM SHALL MEET THE REQUIREMENTS OF THE "SPECIFICATION FOR UNBONDED SINGLE STRAND TENDONS", PTI 1993 AND BE FABRICATED BY A COMPANY CURRENTLY CERTIFIED BY PTI IN THE 'PLANTS PRODUCING UNBONDED SINGLE STRAND TENDONS' CERTIFICATION PROGRAM AND SHALL MAINTAIN THE CERTIFICATION FOR THE DURATION OF THE PROJECT. THE ANCHORAGE SYSTEM SHALL BE STANDARD MANUFACTURE AND BE ICBO APPROVED. THE POST-TENSIONING STEEL SHALL BE STRESSED TO 33 KIPS AND ANCHORED AT 28.9 KIPS. STRESSING SHOULD OCCUR BETWEEN 3 DAYS AND 10 DAYS AFTER CONCRETE PLACEMENT UNLESS SUFFICIENT STRENGTH IS NOT MET.
3. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 P.S.I. AT 28 DAYS. STRANDS SHALL NOT BE STRESSED TO FINAL REQUIRED FORCE UNTIL CONCRETE STRENGTH IS A MINIMUM OF 2000 P.S.I.
4. MILD STEEL REINFORCEMENT SHALL BE GRADE 60, EXCEPT #3'S AND STIRRUPS IF USED MAY BE GRADE 40.

CONSTRUCTION

1. CONSTRUCTION OF THE FOUNDATION SHALL BE IN ACCORDANCE WITH THE POST-TENSIONING INSTITUTE, "CONSTRUCTION AND MAINTENANCE PROCEDURES MANUAL FOR POST-TENSIONED SLAB-ON-GROUND CONSTRUCTION" - 2nd EDITION.
2. FILL MATERIAL USED SHALL BE COMPACTED SELECT FILL.
3. SITE GRADING AND DRAINAGE AROUND THE FOUNDATION SHALL BE MAINTAINED AT ALL TIMES IN SUCH A MANNER THAT SURFACE OR GROUND WATER WILL NOT COLLECT UNDER OR ADJACENT TO THE SLAB. CONTRACTOR IS RESPONSIBLE TO ADVISE OWNER AND OCCUPANT OF PROPER FOUNDATION MAINTENANCE. MOISTURE CONTENT SHOULD BE KEPT CONSISTENT ANNUALLY WITH CONSIDERATION TO SEASONAL CHANGES OF TEMPERATURE AND MOISTURE VARIATIONS. PROPER DRAINAGE AWAY FROM SLAB IS IMPERATIVE TO PRESERVE THE PERFORMANCE OF THE FOUNDATION.
4. TRENCHES FOR DEEP PLUMBING LINES SHOULD NOT BE LOCATED DIRECTLY UNDER BEAMS. TAMPING OF BACK FILL AT PLUMBING LINES IS REQUIRED PRIOR TO FINAL GRADING.

CONSTRUCTION

5. IF PLASTIC SLEEVE IS DAMAGED AND STRAND IS EXPOSED FOR MORE THAN 3", IT SHOULD BE REPAIRED TO PREVENT BONDING OF CONCRETE TO CABLE. MAXIMUM 12" EXPOSED AT DEAD END IS ACCEPTABLE.
6. CONCRETE MUST BE WELL CONSOLIDATED AROUND ALL END ANCHORS TO AVOID BEARING FAILURES AT TIME OF STRESSING.
7. ADMIXTURES SHOULD NOT CONTAIN ANY CHEMICALS IN QUANTITY THAT MAY HAVE A HARMFUL EFFECT ON THE PRE STRESSING STEEL OR CEMENT. CHLORIDES, SULFITES AND NITRATES SHOULD NOT BE USED.
8. STRESSING POCKETS SHOULD BE GROUTED WITHIN 7 DAYS OF THE FINAL STRESSING OPERATION TO PREVENT CORROSION OF THE ANCHOR AND WEDGE ASSEMBLY.
9. POST-TENSION CONCRETE SLAB SHALL BE 4" THICK. A 4" SAND LEVELING CUSHION SHALL BE PLACED UNDER SLABS (UNLESS NOTED OTHERWISE). A 6 MIL MIN. VAPOR BARRIER SHALL BE PLACED UNDER SLABS.

INSTALLATION

1. ALL ANCHORS SHALL BE INSTALLED A MINIMUM OF 4" BELOW REQUIRED ELEVATION OF CONCRETE AT EDGE OF SLAB AND A MINIMUM OF 6" AWAY FROM CORNERS.
2. STRANDS MUST BE TIED AT ALL INTERSECTIONS STARTING AT FIXED END ANCHORS WORKING TOWARD LIVE END TO REMOVE SLACK AND ELIMINATE EXCESSIVE DISPLACEMENT DURING POUR.
3. ALL STRANDS AND BARS SHALL BE SUPPORTED ON CHAIRS NOT TO EXCEED 4'-0" CENTER TO CENTER SPACING.
4. ALL ANCHORS WITH POCKET FORMERS MUST BE SECURELY FASTENED TO FORM BOARDS TO PREVENT CEMENT PAST ENTERING INTO WEDGE CHANNEL. 2-20D NAILS ARE TO BE USED. FIXED ANCHORS SHOULD BE ATTACHED WITH 3/4" CLEARANCE FROM FORM BOARD.

GENERAL

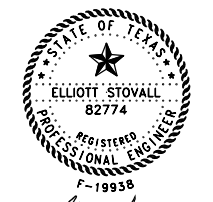
THIS DRAWING IS PRIMARILY FOR BEAM AND CABLE PLACEMENT. THE CONTRACTOR IS REQUIRED TO COORDINATE THIS FOUNDATION PLAN WITH THE ARCHITECTURAL DRAWING FOR OFFSETS, DROPS, OPENINGS AND INSERTED ITEMS. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND FIELD CONDITIONS BEFORE CONSTRUCTION OF SLAB. ANCHOR LOCATIONS MAY BE ADJUSTED TO PROVIDE PROPER CLEARANCE FROM PIPES NO MORE THAN 6"

NOTE: THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED. THIS DOCUMENT AND ANY ACCOMPANYING DESIGN DOCUMENT IS NULL AND VOID IF NOT ACCOMPANIED BY AN ORIGINAL DESIGN LETTER, SIGNED AND SEALED BY THE ENGINEER OF RECORD. ANY REPRODUCTION OR REUSE, OR DISCLOSURE BY ANY METHOD, IN WHOLE OR IN PART, IS PROHIBITED. THIS PLAN AND ITS SPECIFICATIONS CONTAIN PROPRIETARY INFORMATION AND ARE THE SOLE PROPERTY OF ELLIOTT STOVALL, P.E., ARLINGTON, TEXAS.

INSPECTION NOTES

1. SCHEDULE INSPECTION AT LEAST 48 HOURS IN ADVANCE.
2. INSPECTIONS ARE REQUIRED AND OFFERED AS A SERVICE TO OUR CLIENTS. CONTACT ELLIOTT STOVALL, P.E. AT (817) 879-1808 TO ORDER INSPECTION

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY ELLIOTT STOVALL, P.E. 82774 ON 3/21/23



Elliott Stovall

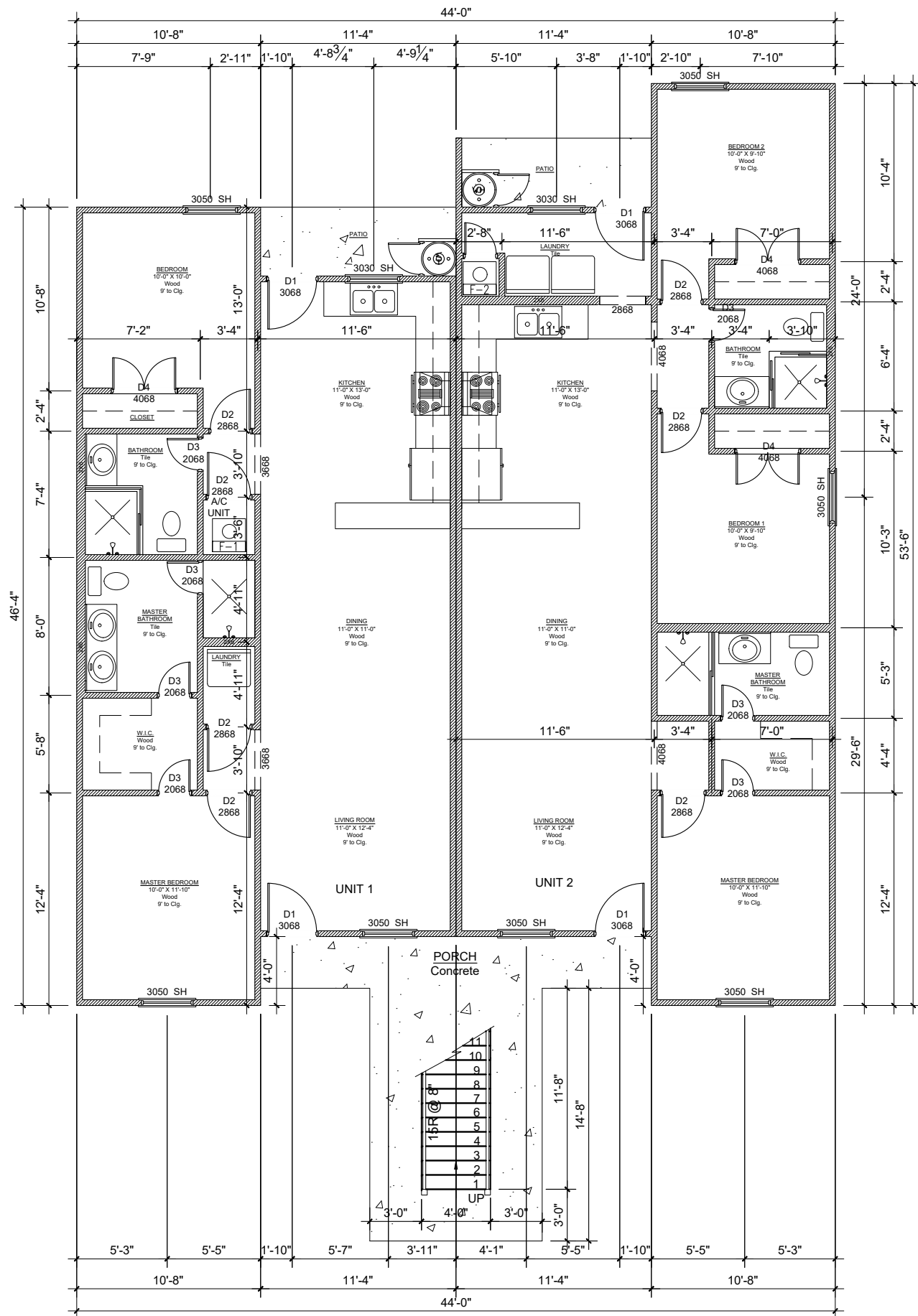
ELLIOTT STOVALL, P.E.
ELLIOTT STOVALL, LLC
2000 WANDA WAY
ARLINGTON, TX 76001
817 879-1808

FOUNDATION DETAILS

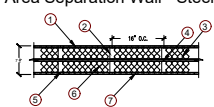
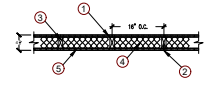
New Residence at
4224 Neims Dr
Fort Worth, Tx
Tarrant County, Texas

FOUNDATION DETAILS

SHEET
3
OF 3 SHEETS



AREAS	
Space	Sq. ft.
UNIT 1	928.50
UNIT 2	1050.50
TOTAL 1ST. FL.	1979.00
	0.00
UNIT 3	928.50
UNIT 4	1050.50
TOTAL 2ND FL.	1979.00
TOTAL LNG SP	3958.00
SLAB AREA	2160.50

WALL TYPE (CONSTRUCTION)	NOTE	WALL MATERIALS AND RATING
Area Separation Wall - Steel Stud 	(A)	DESIGN No. U493 (1 h.) System Thickness 7 1/4 in. 1.- Gypsum Board: 5/8" Thick Gypsum Board (UL Type SCX) 2.- Steel Stud: 2-1/2" Steel Studs, EQ20 (0.020"), Staggered, Spaced 16" O.C. 3.- Insulation: 2-1/2" Glass Fiber Batt Insulation. 4.- Air Space: 1" Air Space. 5.- Steel Stud: 2-1/2" Steel Studs, EQ20 (0.020"), Staggered, Spaced 16" O.C. 6.- Insulation: 2-1/2" Glass Fiber Batt Insulation. 7.- Gypsum Board: 5/8" Thick Gypsum Board (UL Type SCX)
Interior Partitions - Wood Stud. 	(B)	DESIGN No. U305 (1 h.) System Thickness 4 3/4 in. 1.- Gypsum Board: 5/8" Thick Gypsum Board (UL Type SCX) 2.- Joints and Nail-heads: Joints covered with joint compound and paper tape. 3.- Wood Studs: 2x4 Wood Studs, 16" O.C. 4.- Insulation: 3-1/2" Glass Fiber Batt Insulation. 5.- Gypsum Board: 5/8" Thick Gypsum Board (UL Type SCX)

DOOR SCHEDULE UNIT 1					
Space	Type	Width	Height	Count	
ENTRY	3068	3'-0"	6'-8"	1	
BEDROOM	2868	2'-8"	6'-8"	2	
MECHANICAL STORAGE	2868	2'-8"	6'-8"	1	
W.I.C.	2068	2'-0"	6'-8"	1	
BATHROOM	2068	2'-0"	6'-8"	3	
CLOSET	4068	4'-0"	6'-8"	1	
PATIO	3068	3'-0"	6'-8"	1	
Total					10.00

WINDOW SCHEDULE UNIT 1					
Space	Type	Width	Height	Count	
LIVING ROOM	3050 SH	3'-0"	5'-0"	1	
KITCHEN	3030 SH	3'-0"	3'-0"	1	
MASTER BEDROOM	3050 SH	3'-0"	5'-0"	1	
BEDROOM	3050 SH	3'-0"	5'-0"	1	
Total					4.00

DOOR SCHEDULE UNIT 2					
Space	Type	Width	Height	Count	
ENTRY	3068	3'-0"	6'-8"	1	
BEDROOM	2868	2'-8"	6'-8"	3	
LAUNDRY	2868	2'-8"	6'-8"	1	
W.I.C.	2068	2'-0"	6'-8"	1	
BATHROOM	2068	2'-0"	6'-8"	2	
CLOSET	4068	4'-0"	6'-8"	2	
PATIO	3068	3'-0"	6'-8"	1	
Total					11.00

WINDOW SCHEDULE UNIT 2					
Space	Type	Width	Height	Count	
LIVING ROOM	3050 SH	3'-0"	5'-0"	1	
LAUNDRY RM	3030 SH	3'-0"	3'-0"	1	
MASTER BEDROOM	3050 SH	3'-0"	5'-0"	1	
BEDROOM	3050 SH	3'-0"	5'-0"	2	
Total					5.00

NOTES:

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PROJECT NAME AND ADDRESS:

GUADALUPE
4224 NELMS ST.
FORT WORTH
TEXAS
76119
TARRANT COUNTY

DESIGNER:

HILDA CORTES
hilda_cl85@hotmail.com
909-273-7239

PLAN:
FLOOR PLAN

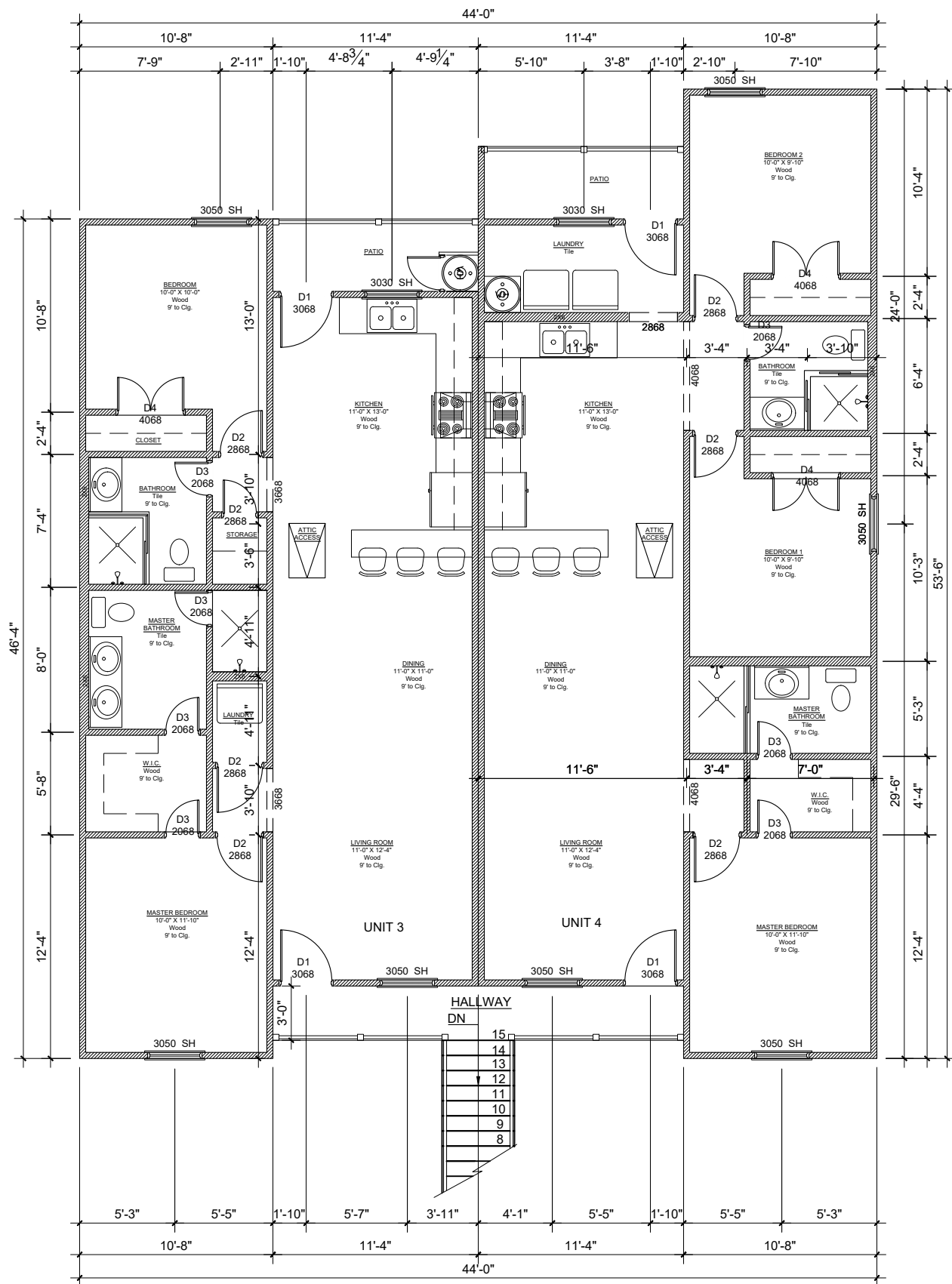
DATE:
3/22/2023

SCALE:

SHEET:

1 FIRST FLOOR
1/8" = 1'-0"

A-05



DOOR SCHEDULE UNIT 3

Space	Type	Width	Height	Count
ENTRY	3068	3'-0"	6'-8"	1
BEDROOM	2868	2'-8"	6'-8"	2
LAUNDRY	2868	2'-8"	6'-8"	1
MECHANICAL STORAGE	2868	2'-8"	6'-8"	1
W.I.C.	2068	2'-0"	6'-8"	1
BATHROOM	2068	2'-0"	6'-8"	3
CLOSET	4068	4'-0"	6'-8"	1
PATIO	3068	3'-0"	6'-8"	1
Total				11.00

WINDOW SCHEDULE UNIT 3

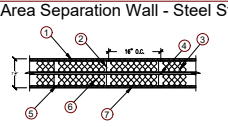
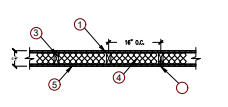
Space	Type	Width	Height	Count
LIVING ROOM	3050 SH	3'-0"	5'-0"	1
KITCHEN	3030 SH	3'-0"	3'-0"	1
MASTER BEDROOM	3050 SH	3'-0"	5'-0"	1
BEDROOM	3050 SH	3'-0"	5'-0"	1
Total				4.00

DOOR SCHEDULE UNIT 4

Space	Type	Width	Height	Count
ENTRY	3068	3'-0"	6'-8"	1
BEDROOM	2868	2'-8"	6'-8"	3
W.I.C.	2068	2'-0"	6'-8"	1
BATHROOM	2068	2'-0"	6'-8"	2
CLOSET	4068	4'-0"	6'-8"	2
PATIO	3068	3'-0"	6'-8"	1
Total				10.00

WINDOW SCHEDULE UNIT 4

Space	Type	Width	Height	Count
LIVING ROOM	3050 SH	3'-0"	5'-0"	1
LAUNDRY RM	3030 SH	3'-0"	3'-0"	1
MASTER BEDROOM	3050 SH	3'-0"	5'-0"	1
BEDROOM	3050 SH	3'-0"	5'-0"	2
Total				5.00

WALL TYPE (CONSTRUCTION)	NOTE	WALL MATERIALS AND RATING
Area Separation Wall - Steel Stud 	A	DESIGN No. U493 (1 h.) System Thickness 7 1/4 in. 1.- Gypsum Board: 5/8" Thick Gypsum Board (UL Type SCX) 2.- Steel Stud: 2-1/2" Steel Studs, EQ20 (0.020"), Staggered, Spaced 16" O.C. 3.- Insulation: 2-1/2" Glass Fiber Batt Insulation. 4.- Air Space: 1" Air Space. 5.- Steel Stud: 2-1/2" Steel Studs, EQ20 (0.020"), Staggered, Spaced 16" O.C. 6.- Insulation: 2-1/2" Glass Fiber Batt Insulation. 7.- Gypsum Board: 5/8" Thick Gypsum Board (UL Type SCX)
Interior Partitions - Wood Stud. 	B	DESIGN No. U305 (1 h.) System Thickness 4 3/4 in. 1.- Gypsum Board: 5/8" Thick Gypsum Board (UL Type SCX) 2.- Joints and Nail-heads: Joints covered with joint compound and paper tape. 3.- Wood Studs: 2x4 Wood Studs, 16" O.C. 4.- Insulation: 3-1/2" Glass Fiber Batt Insulation. 5.- Gypsum Board: 5/8" Thick Gypsum Board (UL Type SCX)

1 2ND FLOOR
1/8" = 1'-0"

NOTES:

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PROJECT NAME AND ADDRESS:

GUADALUPE
4224 NELMS ST.
FORT WORTH
TEXAS
76119
TARRANT COUNTY

DESIGNER:

HILDA CORTES
hilda_cl85@hotmail.com
909-273-7239

PLAN: FLOOR PLAN

DATE:
3/22/2023

SCALE:

SHEET:

A-5.1



1 EAST ELEVATION
1/8" = 1'-0"



2 WEST ELEVATION
1/8" = 1'-0"

NOTES:

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76119
TARRANT COUNTY

DESIGNER :

HILDA CORTES
hilda_cl85@hotmail.com
909-273-7239

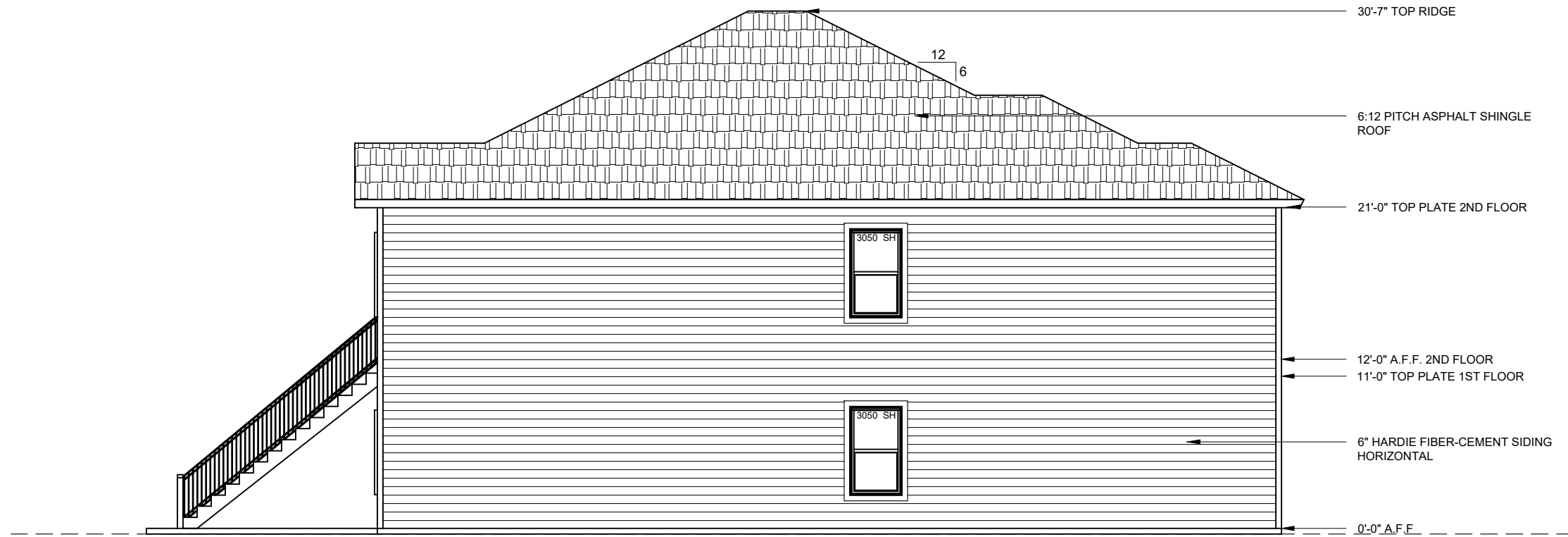
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ELEVATIONS
DATE :
3/22/2023
SCALE :

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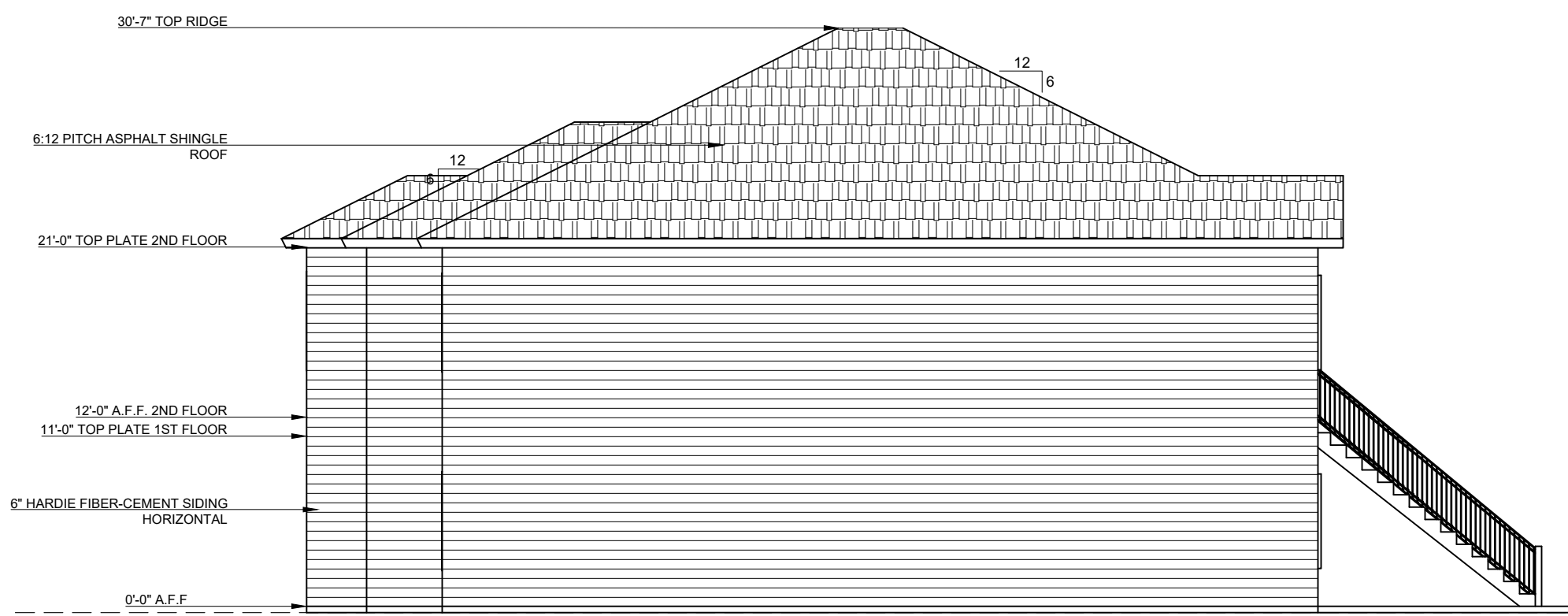
A-06

NOTES:

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1 NORTH ELEVATION
1/8" = 1'-0"



2 SOUTH ELEVATION
1/8" = 1'-0"

PROJECT NAME AND ADDRESS:

 GUADALUPE
 4224 NELMS ST.
 FORT WORTH
 TEXAS
 76119
 TARRANT COUNTY

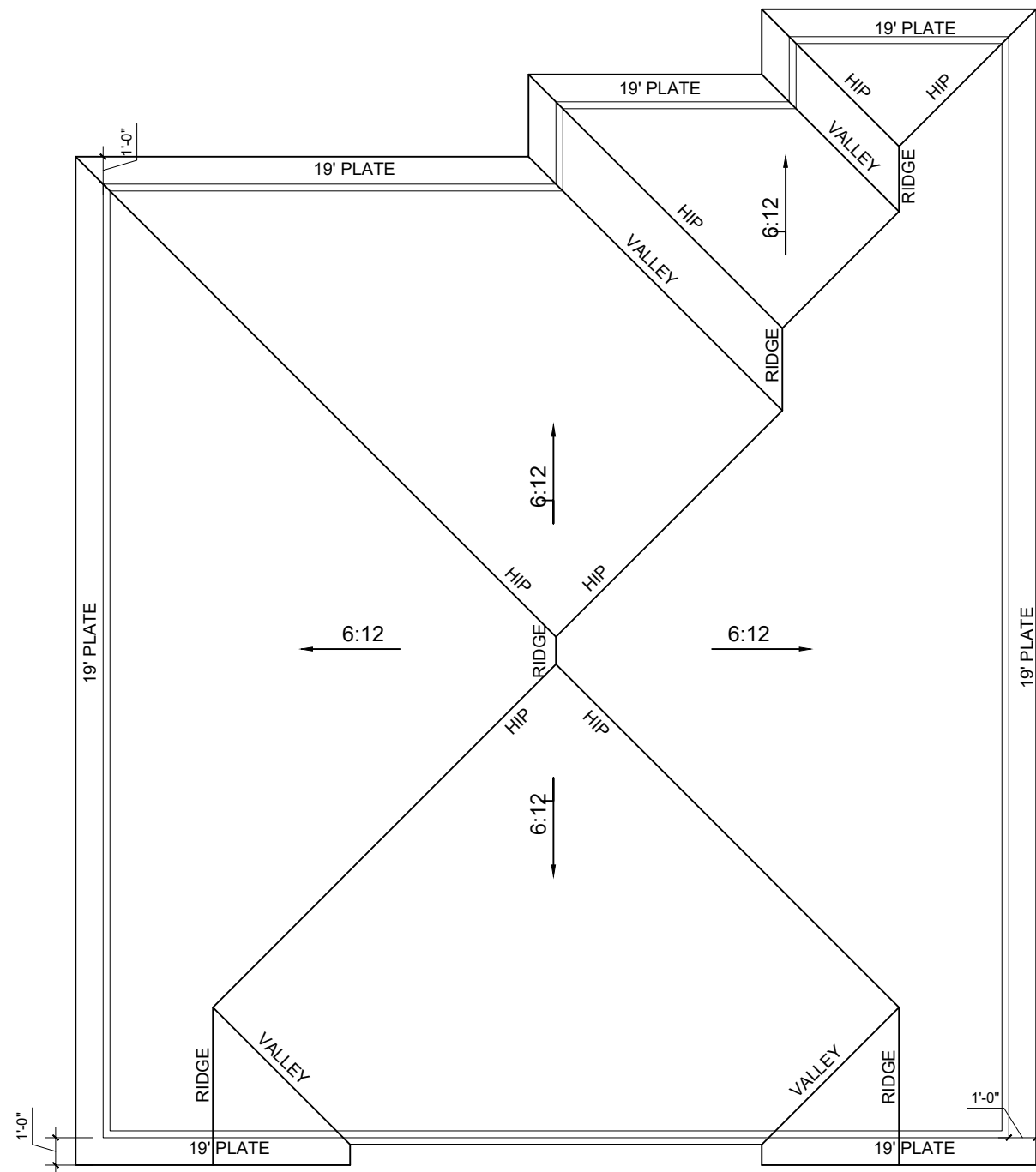
DESIGNER:

 HILDA CORTES
 hilda_cl85@hotmail.com
 909-273-7239

PLAN :
 ELEVATIONS
 DATE :
 3/22/2023
 SCALE :

 SHEET :

A-6.1



NOTE:

1. ALL ELECTRICAL, PLUMBING, AND MECHANICAL WORK SHALL CONFORM TO THE CITY OF FORT WORTH AND THE 2015 INTERNATIONAL RESIDENTIAL CODE AND 2018 NATIONAL ELECTRICAL CODE RESPECTIVELY.
2. NAILING REQUIREMENTS AND ALL CONSTRUCTION SHALL BE IN ACCORDANCE TO THE TEXAS BUILDING CODES AND THE INTERNATIONAL RESIDENTIAL CODES AND INDUSTRY PRACTICES.
3. PROVIDE ROOF VENTS PER CODES
4. PROVIDE GUTTERS AND DOWN SPOUTS TO DIRECT SURFACE WATER RUNOFF AWAY FROM BUILDINGS FOUNDATION.

Rafters

2x6 @ 24" o.c. Rafters limited to 11'-9" spans
 2x8 @ 24" o.c. Rafters limited to 16'-3" spans
 For spans greater than 15'-3" but less than 18'-2" use 2x10 rafters at 24" o.c.
 Lumber shall be No. 2 Grade or Better

Ceiling joists

2x6 @ 16" o.c. Ceiling Joist limited to 13'-6" spans
 2x8 @ 16" o.c. Ceiling Joist limited to 17'-5" spans
 For spans greater than 17'-5" but less than 20'-9" use 2x10 Ceiling Joist at 16" centers
 Lumber shall be No. 2 Grade or Better.

BUILT-UP COLUMN SCHEDULE	
	BUILT-UP STUD COLUMN
2 - 1 ³ / ₄ "x14" LVL & UP	4 - STUD COLUMN
2 - 1 ³ / ₄ "x11 ⁷ / ₈ " LVL	3 - STUD COLUMN
3 - 2 x ____	3 - STUD COLUMN
2 - 2 x12	3 - STUD COLUMN
2 - 2 x 10 OR SMALLER	2 - STUD COLUMN

NOTES:

THIS PLAN IS GRAPHIC REPRESENTATION FOR ESTIMATING PURPOSES/ ACTUAL FIELD CONDITIONS MAY VARY AND MUST BE VERIFIED BEFORE PROCEEDING WITH CONSTRUCTION.

PROJECT NAME AND ADDRESS:

GUADALUPE
 4224 NELMS ST.
 FORT WORTH
 TEXAS
 76119
 TARRANT COUNTY

DESIGNER :

HILDA CORTES
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PLAN :
ROOF PLAN

DATE :
 3/22/2023

SCALE :

SHEET :

A-07

Ceiling Joist Span Schedule

Maximum Ceiling Joist Spans (Excerpt IRC Table 802.4)

Species	Grade	Joist Size	Limited Attic storage		Without Attic Storage	
			16" o.c.	24" o.c.	16" o.c.	24" o.c.
SYP	#2	2x6	13'-6"	11'-0"	17'-8"	15'-6"
		2x8	17'-5"	14'-2"	23'-4"	20'-1"
		2x10	20'-9"	16'-11"	26'-0"	23'-11"
	#3	2x6	10'-5"	8'-6"	14'-9"	12'-0"
		2x8	13'-3"	10'-10"	18'-9"	15'-4"
		2x10	15'-8"	12'-10"	22'-2"	18'-1"
SPF	#2	2X6	12'-10"	10'-6"	16'-11"	14'-9"
		2X8	16'-3"	13'-3"	22'-4"	18'-9"
		2X10	29'-10"	16'-3"	26'-0"	22'-11"
DF-L	#2	2x6	12'-10"	10'-6"	17'-8"	14'-10"
		2x8	16'-3"	13'-3"	23'-0"	18'-9"
		2x10	19'-10"	16'-3"	26'-0"	22'-11"

Nailing Schedule

Fastening Location	IRC Table R602.3(1)	IBC Table 2304.9.1
Joist to Sill or Girder	3 - 8d (Toenail)	3-3" x 0.131" nails (Toenail)
Bridging to Joist	2 - 8d (Toenail each end)	2-3" x 0.131" nails (Toenail each end)
Sole Plate to Joist or Blocking	3 - 16d @ 16" o.c. (Facenail)	3" x 0.131" nails @ 8" o.c. (Facenail)
Top Plate to Stud	2 - 16d (Endnail)	3-3" x 0.131" nails (Endnail)
Stud to Sole Plate	3 - 8d or 2 - 16d (Toenail)	4-3" x 0.131" nails (Toenail) or 2-3" x 0.131" (Endnail)
Double Studs	10d @ 24" o.c. (Facenail)	3" x 0.131" nails @ 8" o.c. (Facenail)
Double Top Plates	10d @ 24" o.c. (Facenail)	3" x 0.131" nails @ 12" o.c. (Facenail)
Top Plates Laps & Intersections	2 - 10d (Facenail)	3-3" x 0.131" nails (Facenail)
Continuous Header, Two Pieces	16d @ 16" o.c. along each edge	-----
Ceiling Joist to Plate	3 - 8d (Toenail)	5-3" x 0.131" nails (Toenail)
Continuous Header to Stud	4 - 8d (Toenail)	-----
Ceiling Joist, Laps over Partitions	3 - 10d (Facenail)	4-3" x 0.131" nails (Facenail)
Ceiling Joist to Parallel Rafters	3 - 10d (Facenail)	4-3" 0.131" nails (Facenail)
Built - up Corner Studs	10d @ 24" o.c.	3" x 0.131" nails @ 16" o.c.
Built - up girders & beams	10d @ 32" o.c. Top, Bot & Staggered - 2 nails @ ends & each splice	3" x 0.131" nails @ 24" o.c. (Facenail) at Top and Bottom and Staggered 3-3" x 0.131" nails (Facenail) at Ends and at each splice.
Built - up Wood Columns	16d @ 8" o.c. (2x4's); 2 rows 16d @ 8" o.c. for 2x6 or greater	-----
Roof or Floor Truss to Plate	3 - 8d (Toenail)	3-3" x 0.131" nails (Toenail)
Ledger Strip	3 - 16d (Facenail)	4-3" x 0.131" nails
Blocking @ joists/rafters to Top Plate	3 - 8d (Toenail)	3-3" x 0.131" nails (Toenail)
Rim Joist to Top Plate	8d @ 6" o.c. (Toenail)	3" x 0.131" nails @ 6" o.c. (Toenail)
Rafter to Plate	2 - 16d (Toenail)	3-3" x 0.131" nails (Toenail)
Collar Tie to Rafter	3 - 10d (Facenail)	4-3" x 0.131" nails (Facenail)
Jack Rafter to Hip	4 - 16d (Toenail)/ 3 - 16d (Facenail)	4-3" x 0.131" nails (Toenail) & 3-3" x 0.131" nails (Facenail)
Roof Rafter to 2x Ridge Bm	4 - 16d (Toenail)/ 3 - 16d (Facenail)	3-3" x 0.131" nails (Toenail) & 3-3" x 0.131" nails (Facenail)
Rafter Ties to Rafters	3 - 8d (Facenail)	-----
Joist to Band Joist	3 - 16d (Facenail)	4-3" x 0.131" nails

1. On shear walls and diaphragms, nails shall be placed not less than 3/8 inch from the panel edge

Wall Stud Schedules

Load Bearing Walls (Excerpt IRC Table R602.3.1)

Maximum Allowable Length & Spacing of Load Bearing Wall Studs

Stud Height (feet)	Roof + Ceiling		Roof, Ceiling and one floor	Roof, Ceiling and two floors
	<10	2x4 @ 16" o.c.	2x4 @ 16" o.c.	2x6 @ 16" o.c.
12	2x4 @ 16" o.c.	2x6 @ 16" o.c.	2x6 @ 16" o.c.	2x6 @ 16" o.c.
14	2x6 @ 16" o.c.	2x6 @ 16" o.c.	2x6 @ 16" o.c.	2x6 @ 16" o.c.
16	2x6 @ 16" o.c.	2x6 @ 16" o.c.	2x6 @ 12" o.c.	2x6 @ 12" o.c.
18	2x6 @ 16" o.c.	2x6 @ 16" o.c.	2x6 @ 12" o.c.	2x6 @ 12" o.c.
20	2x6 @ 8" o.c.	2x6 @ 8" o.c.	2x6 @ 8" o.c.	2x6 @ 8" o.c.
22	2x6 @ 8" o.c.	2x6 @ 8" o.c.	See Engineer	See Engineer
24	2x6 @ 8" o.c.	2x6 @ 8" o.c.	See Engineer	See Engineer

1. Assumes SPF stud grade or better. 2. Balloon frames or tall walls (greater than 12' max) shall be #2 grade or better. 3. For exterior walls exposed to wind, stud lengths shall be limited by the following.

Maximum Exterior Stud Length (Excerpt from WFCM Table 3.20A)

Maximum Stud Length

		16" o.c.				
		90 MPH	100 MPH	110 MPH	120 MPH	130 MPH
2X4	Stud	12'-0"	10'-8"	9'-8"	8'-10"	8'-1"
	#2	13'-6"	12'-7"	11'-9"	11'-1"	10'-5"
2x6	Stud	18'-0"	16'-1"	14'-6"	13'-3"	12'-2"
	#2	*	*	18'-0"	17'-1"	15'-8"

This table assumes SPF or equivalent. For other material, size or spacing combinations, refer to the WFCM. * - Allowable stud length exceeds 20 feet.

Maximum Exterior Stud Length (for walls with wood structural sheathing) (Excerpt from WFCM Table 3.20B)

Maximum Stud Length

		16" o.c.				
		90 MPH	100 MPH	110 MPH	120 MPH	130 MPH
2X4	Stud	12'-10"	11'-4"	11'-2"	10'-2"	9'-4"
	#2	13'-6"	12'-7"	11'-9"	11'-1"	10'-5"
2x6	Stud	19'-8"	17'-6"	15'-10"	14'-5"	13'-3"
	#2	*	*	18'-10"	17'-9"	16'-9"

This table assumes SPF or equivalent. For other material, size or spacing combinations, refer to the WFCM. * - Allowable stud length exceeds 20 feet.

Sill Plate Anchorage Schedule

Sill Plate Anchorage Schedule

Attachment Anchor Type	Embedment	Load and Spacing	
		Exterior Walls	Interior Walls
1/2" Anchor Bolts	0'-7"	4'-0" o.c.	N/A
MASA	0'-4"	4'-0" o.c.	N/A
0.145" Ø powder-actuated fasteners (Hilti X-CP72 or approved equal)	0'-1 1/4"	N/A	12" o.c.

1. This schedule applies to basic anchorage of the bottom sill plate to the foundation. Additional connections may be required for lateral or uplift forces on the building. See the plans or the Sheathing Schedule for additional requirements. 2. Alternative means of attaching the sill plate to the foundation are permitted, providing the connections have equivalent shear and uplift capacity and are not prohibited by local code provisions. 3. Reference Simpson Strong-Tie.

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RAFTER SPAN SCHEDULE.

Maximum Rafter Spans (Excerpt WFCM Table 3.26A)

Species	Grade	Rafter Size	10 psf		20 psf	
			16" o.c.	24" o.c.	16" o.c.	24" o.c.
SYP	#2	2x6	15'-1"	12'-3"	13'-0"	10'-8"
		2x8	19'-5"	15'-10"	16'-10"	13'-9"
		2x10	23'-2"	18'-11"	20'-1"	16'-5"
	#3	2x6	11'-8"	9'-6"	10'-1"	8'-3"
		2x8	14'-10"	12'-1"	12'-10"	10'-6"
		2x10	17'-6"	14'-4"	15'-2"	12'-5"
SPF	#2	2X6	14'-4"	11'-9"	12'-5"	10'-2"
		2X8	18'-2"	14'-10"	15'-9"	12'-10"
DF-L	#2	2X10	22'-3"	18'-2"	19'-3"	15'-8"
		2X6	14'-4"	11'-9"	12'-5"	10'-2"
		2X8	18'-2"	14'-10"	15'-9"	12'-10"
		2X10	22'-3"	18'-2"	19'-3"	15'-8"

1. Where ceiling joists are not located at the bottom of the attic space, refer to footnote a in the span tables for adjustment. 2. For hurricane winds of 100 mph or more or non hurricane winds of 110 mph or more refer to adjustment factors below.

Pitch	Rafter Span Adjustment Factor for Wind Loads (Excerpt footnotes of WFCM Tables 3.26A-H)							
	100 MPH		110 MPH		120 MPH		130 MPH	
	B	C	B	C	B	C	B	C
4:12	1.07	0.86	0.96	0.77	0.87	0.70	0.79	0.63
6:12	1.00	0.80	0.89	0.72	0.81	0.65	0.75	0.60
8:12	1.23	0.98	1.09	0.87	0.98	0.79	0.90	0.72
10:12	1.12	0.90	1.00	0.80	0.91	0.73	0.83	0.66
12:12	1.02	0.81	0.91	0.73	0.83	0.66	0.76	0.61

1. For other pitches, refer to the WFCM. Adjustment factor may not be greater than 1.00

NOTES:

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FORT WORTH
TEXAS
76119
TARRANT COUNTY

DESIGNER :

HILDA CORTES
hilda_cl85@hotmail.com
909-273-7239

PLAN :

CODES

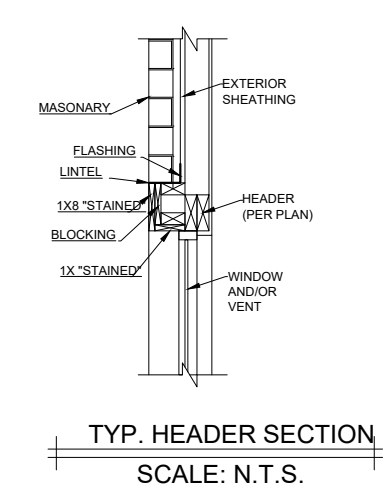
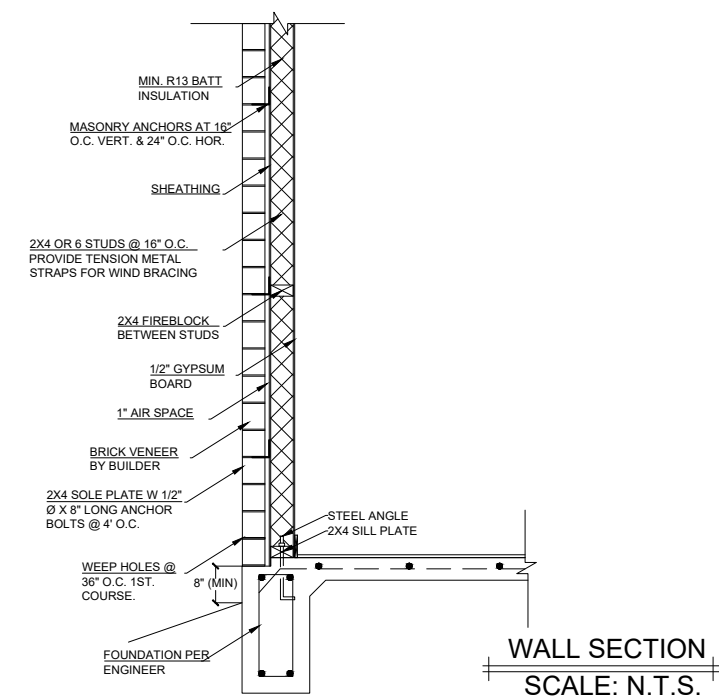
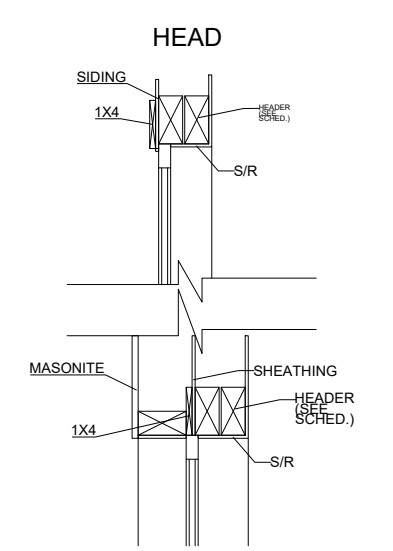
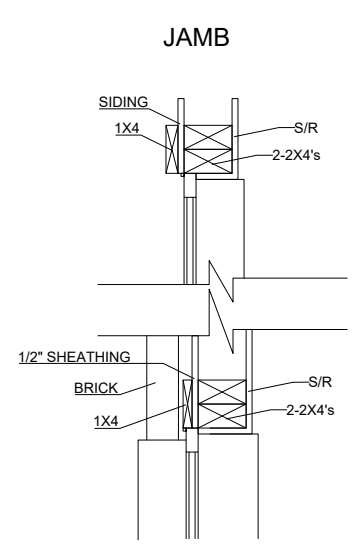
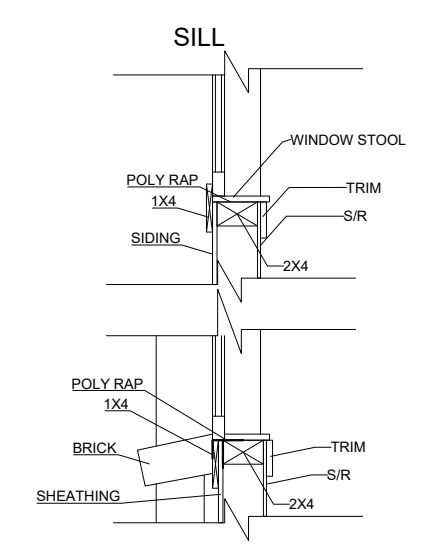
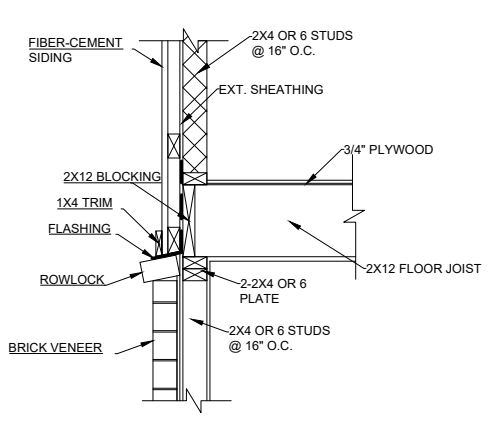
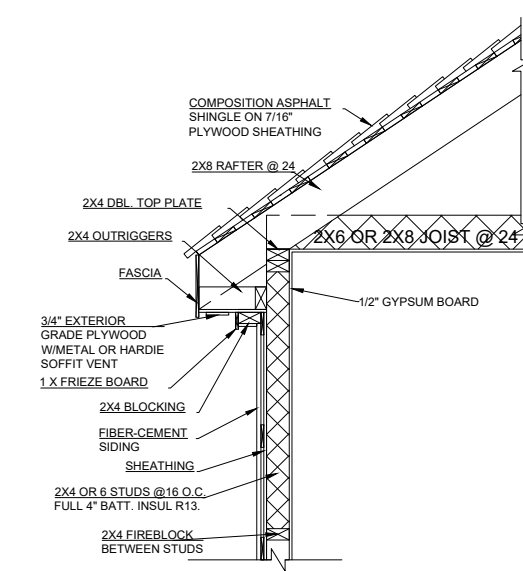
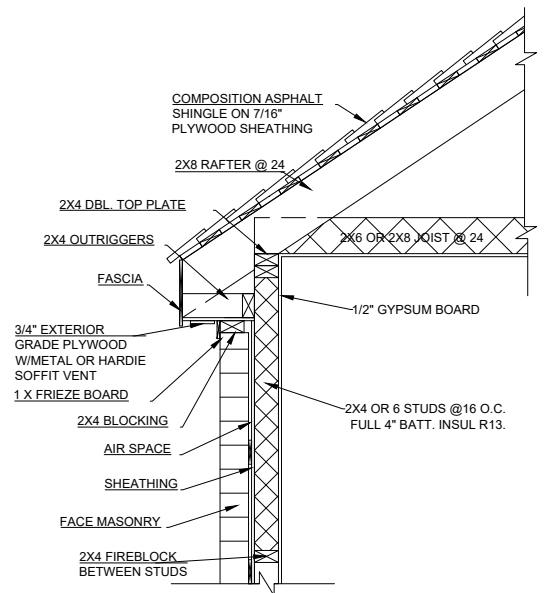
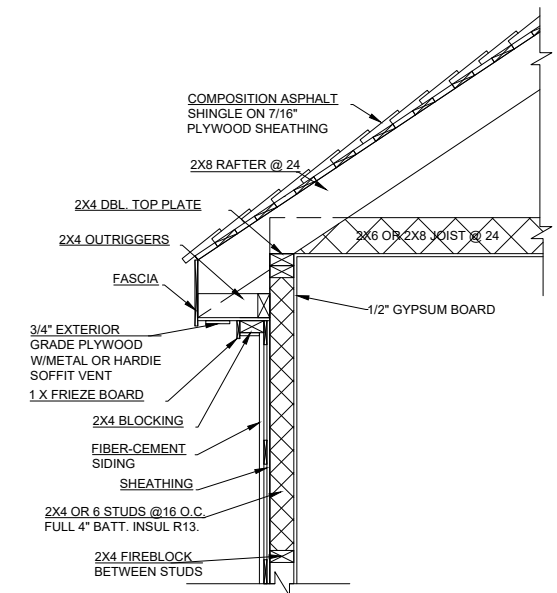
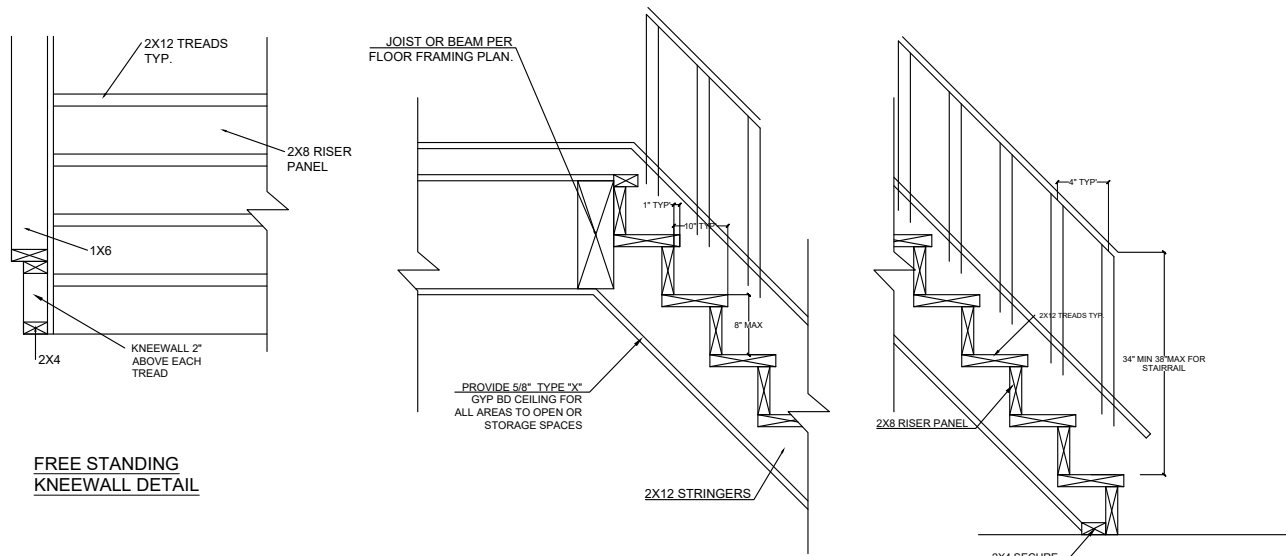
DATE :
3/22/2023

SCALE :

SHEET :

A-7.1

BUILDING CODE:
2021 IRC, 2018 IMC, 2018 IPC,
NEC 2020, LOCAL AMENDMENTS



WINDOW DETAILS
SCALE: N.T.S.

HEADER SCHEDULE

NOTE: ALL LOAD BEARING HEADERS CARRYING 2ND FLOOR LOAD THAT HAVE JOISTS CROSSING OVER IT WILL BE DOUBLE 2X12'S

LOAD BEARING HEADERS	
1ST STORY OF A 2-STORY HOUSE	
BEAM SIZE	MAX. SPAN
2-2"x4"S	0-2'-0"
2-2"x6"S	to 4'-0"
2-2"x8"S	to 6'-0"
2-2"x10"S	to 8'-0"
2-2"x12"S	to 10'-0"
NON-LOAD BEARING HEADERS	
ONE-STORY AND 2ND FLOOR ON 2-STORY HOUSES	
BEAM SIZE	MAX. SPAN
2-2"x4"S	0-4'-0"
2-2"x6"S	to 6'-0"
2-2"x8"S	to 8'-0"
2-2"x10"S	to 10'-0"
2-2"x12"S	to 12'-0"

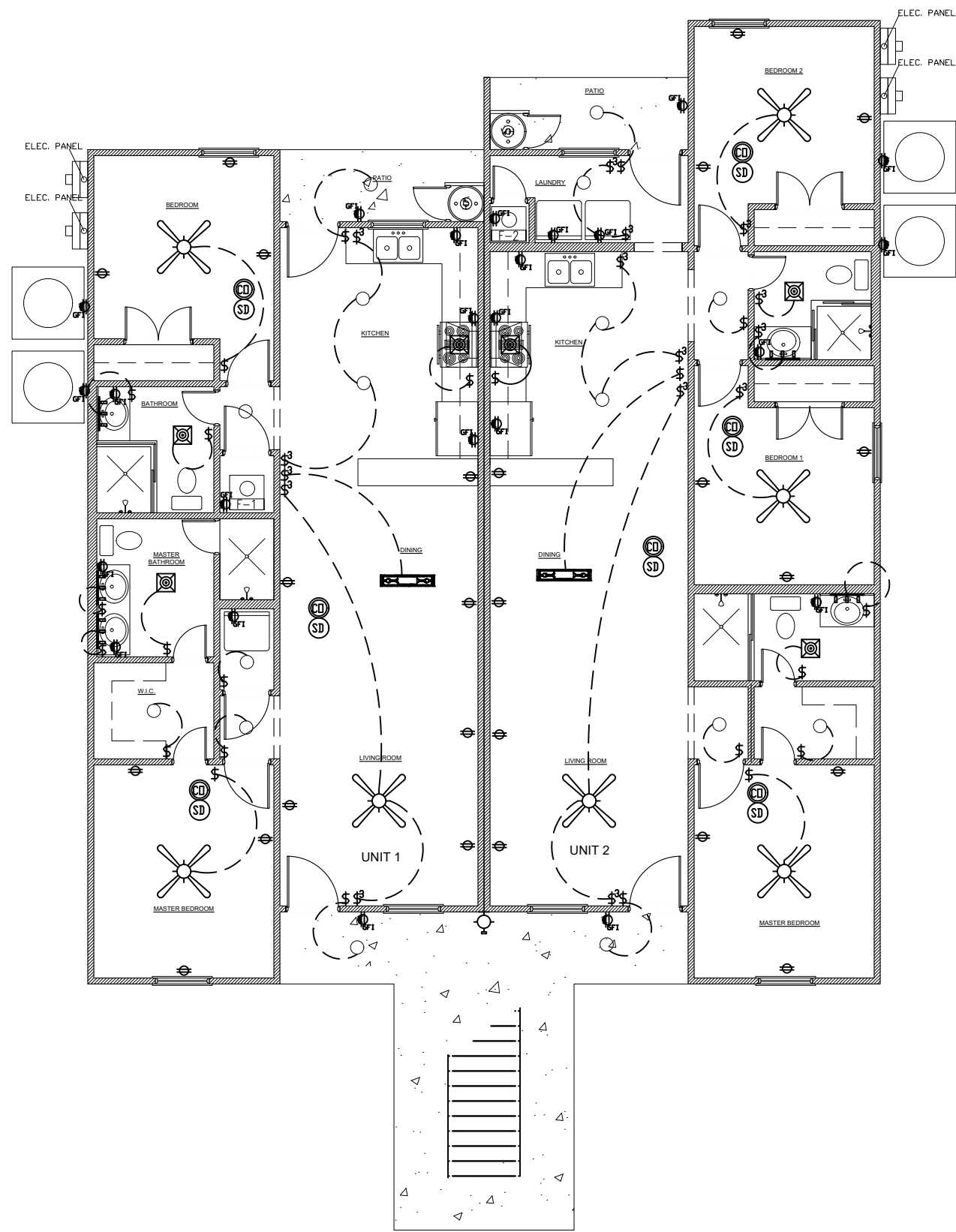
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TARRANT COUNTY

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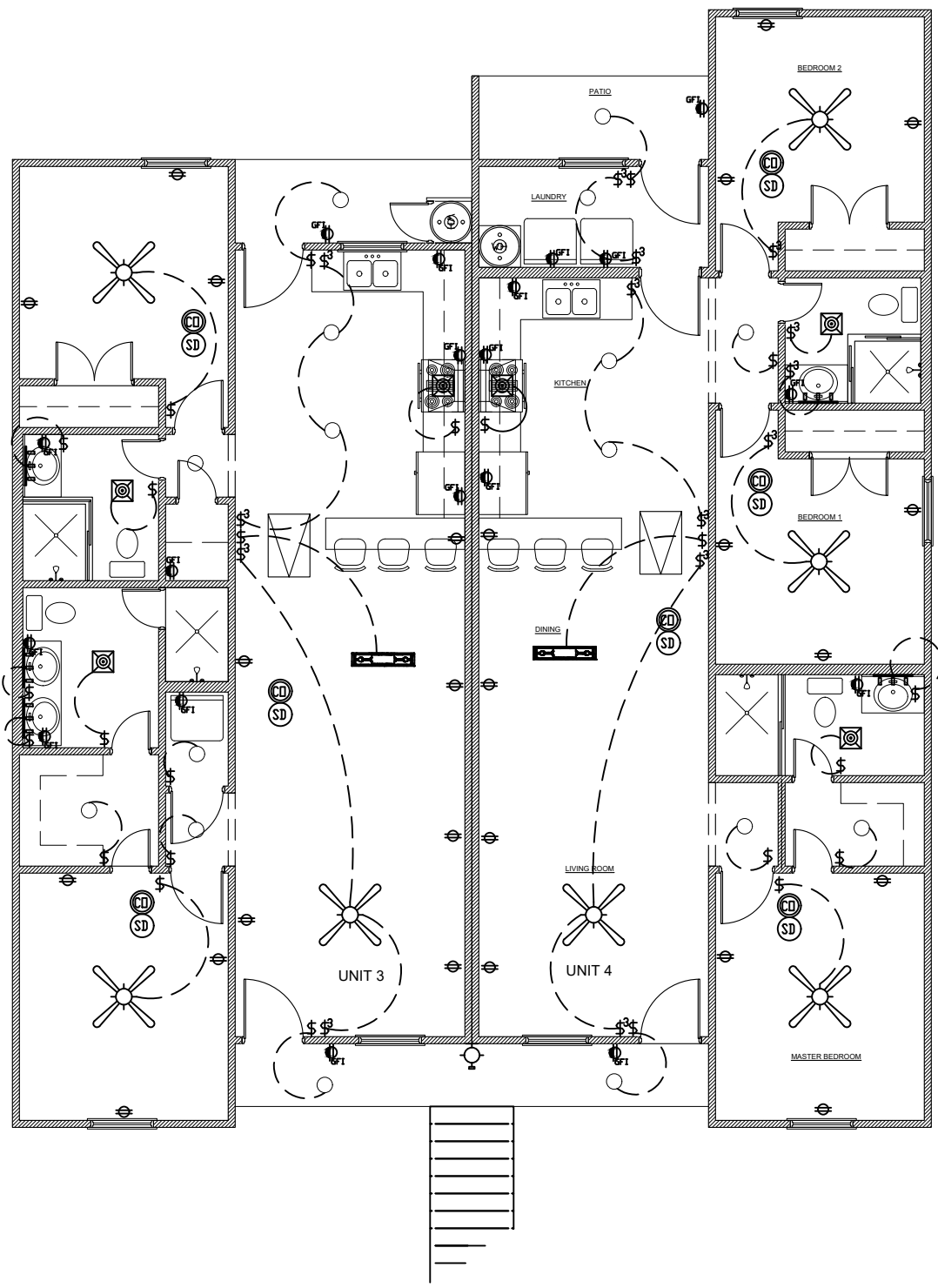
PLAN:
DETAILS
DATE:
3/22/2023
SCALE:

SHEET:



1 FIRST FLOOR
1/8" = 1'-0"

ELECTRICAL SYMBOLS	
	WATER HEATER
	SWITCH
	SWITCH (THREE WAY)
	DUPLEX ELECTRICAL OUTLET
	ARC FAULT CIRCUIT INTERRUPTER
	DUPLEX GFI ELECTRICAL OUTLET
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	100 AMP. CIRCUIT BREAKERS W/ DISCONNECT
	100 AMP. ELECTRICAL METER
	HANGING CEILING MOUNTED LIGHT
	RECESSED CAN LIGHT
	WALL MOUNTED LIGHT FIXTURE
	WALL MOUNTED LIGHT FIXTURE W/ MOTION DETC.
	VANITY LIGHT FIXT.
	EXHAUST FAN W/ LIGHT
	EMERGENCY FLOOD LIGHT
	EMERGENCY LIGHT
	EXIT HALOGEN LIGHT
	HALOGEN LIGHT
	FLUORESCENT LIGHTING
	CEILLING FAN W/ LIGHT
	CEILLING FAN
	CCTV



2 2ND FLOOR
1/8" = 1'-0"

NOTES:

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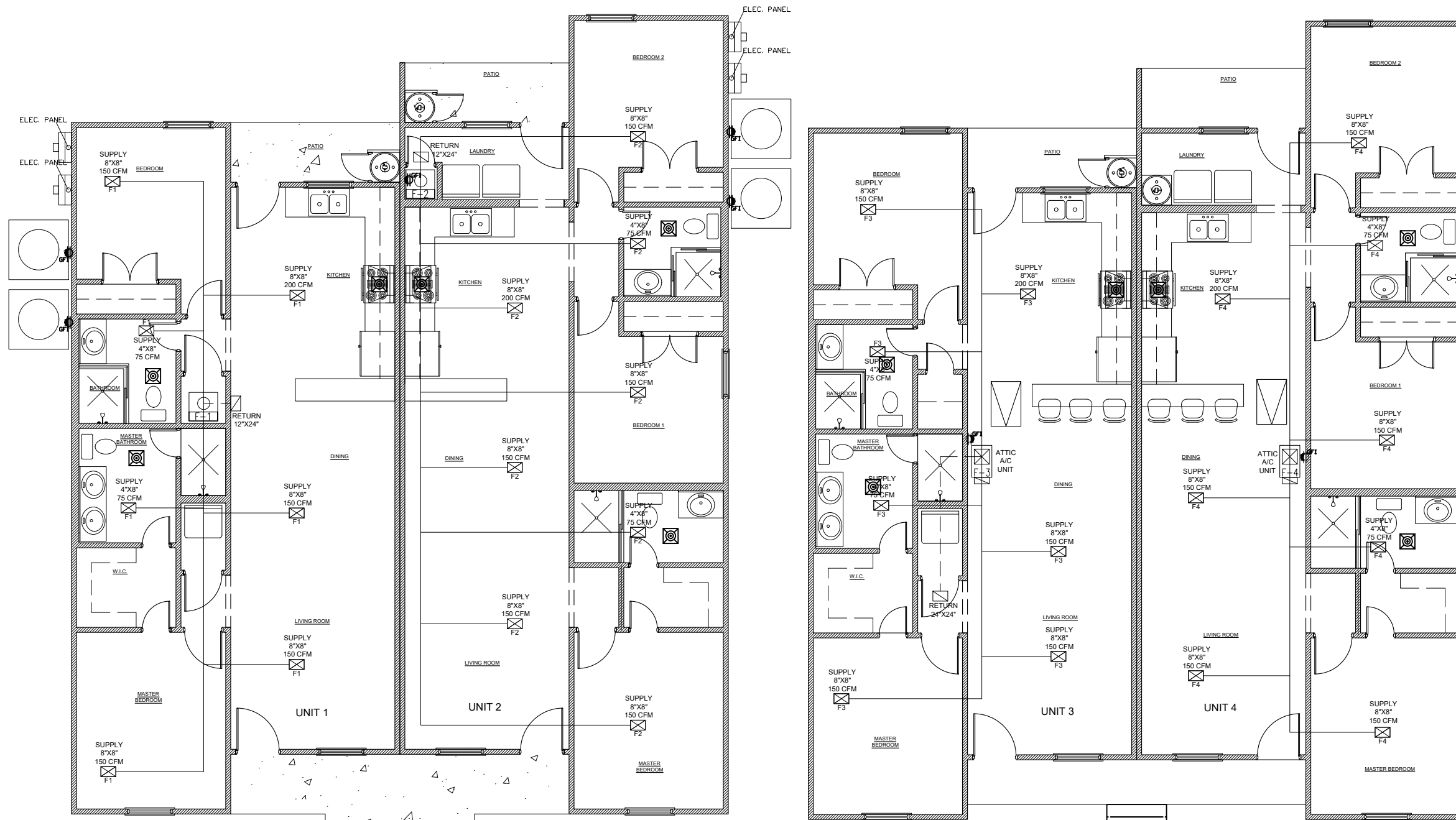
PLAN :
ELECTRICAL PLAN

DATE :
3/22/2023

SCALE :

SHEET :

A-08



SYSTEM SCHEDULE	
Symbol	Type
F-1 UNIT 1	2.5 TON TRANE 15 SEER HEAT PUMP HVAC SYSTEM MULTIPOSITIONAL INSIDE MODEL (VERTICAL POSITION).
F-2 UNIT 2	3.0 TON TRANE 15 SEER HEAT PUMP HVAC SYSTEM MULTIPOSITIONAL INSIDE MODEL (VERTICAL POSITION).

Model No.	H	W	D
INSIDE HORIZONTAL MODEL DIMENSIONS	54	27	22
INSIDE VERTICAL MODEL DIMENSIONS	49	18	22
OUTSIDE MODEL DIMENSIONS	36	36	

SYSTEM SCHEDULE	
Symbol	Type
F-3 UNIT 3	2.5 TON TRANE 15 SEER HEAT PUMP HVAC SYSTEM MULTIPOSITIONAL INSIDE MODEL (HORIZONTAL POSITION).
F-4 UNIT 4	3.0 TON TRANE 15 SEER HEAT PUMP HVAC SYSTEM MULTIPOSITIONAL INSIDE MODEL (HORIZONTAL POSITION).

1 FIRST FLOOR
1/8" = 1'-0"

2 2ND FLOOR
1/8" = 1'-0"

NOTES:

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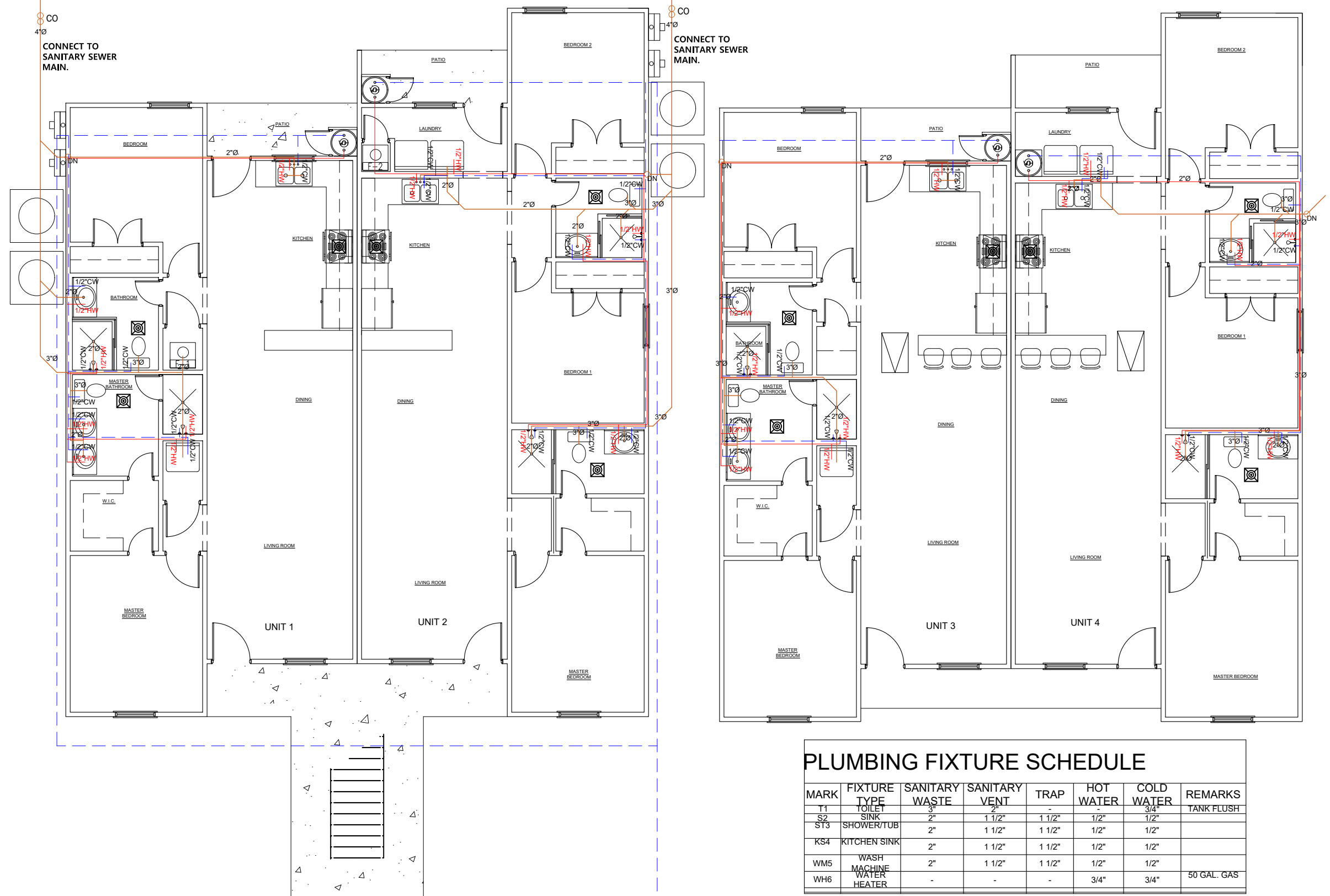
HILDA CORTES
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909-273-7239

PLAN :
MECHANICAL PLAN

DATE :
3/22/2023

SCALE :

SHEET :



1 FIRST FLOOR
1/8" = 1'-0"

2 2ND FLOOR
1/8" = 1'-0"

PLUMBING FIXTURE SCHEDULE

MARK	FIXTURE TYPE	SANITARY WASTE	SANITARY VENT	TRAP	HOT WATER	COLD WATER	REMARKS
T1	TOILET	3"	2"	-	3/4"	3/4"	TANK FLUSH
S2	SINK	2"	1 1/2"	1 1/2"	1/2"	1/2"	
ST3	SHOWER/TUB	2"	1 1/2"	1 1/2"	1/2"	1/2"	
KS4	KITCHEN SINK	2"	1 1/2"	1 1/2"	1/2"	1/2"	
WM5	WASH MACHINE	2"	1 1/2"	1 1/2"	1/2"	1/2"	
WH6	WATER HEATER	-	-	-	3/4"	3/4"	50 GAL. GAS

SERVICE LINE TO BE PVC
DISTRIBUTION LINES TO BE COPPER OR PEX

--- COLD WATER SUPPLY
--- HOT WATER SUPPLY
--- SANITARY SEWER
CO CLEANOUT

NOTES:

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PLAN:
PLUMBING PLAN

DATE:
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A-10

1/2" GYPSUM WALL BOARD BOTH SIDES ALL INTERIOR WALLS

BRACED WALL LINE
SEE NOTE 3

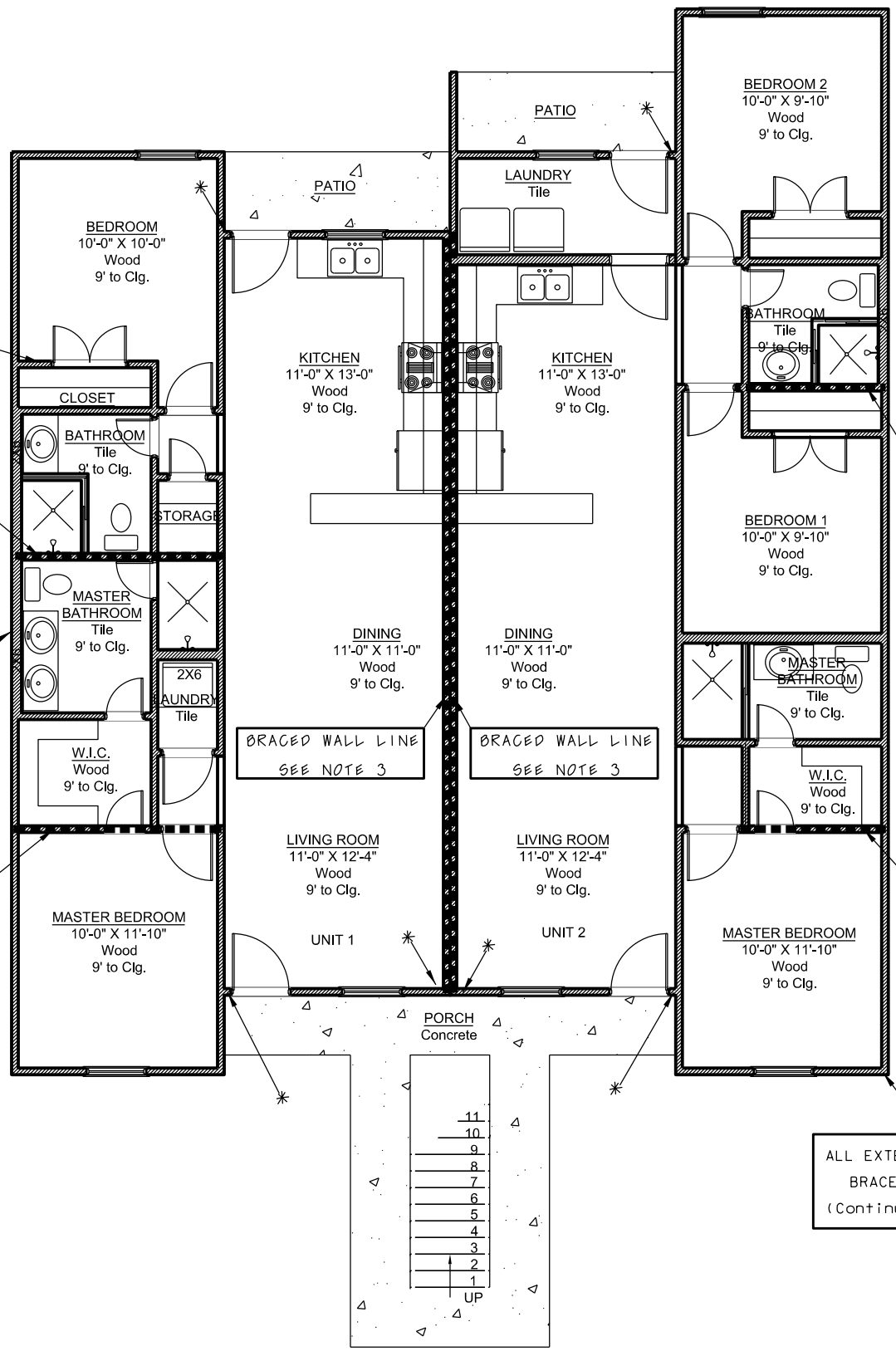
CONTINUOUS SHEATHING ON ALL EXTERIOR WALLS
USE 7/16" THK MIN. OSB OR PLYWOOD W/ STUDS
AT 16" O.C.

BRACED WALL LINE
SEE NOTE 3

BRACED WALL LINE
SEE NOTE 3

BRACED WALL LINE
SEE NOTE 3

ALL EXTERIOR WALLS ARE
BRACED WALL LINES
(Continuous Sheathing)



BRACED WALL PLAN - 1st Floor

SCALE: 1/8" = 1'-0"

NOTES:

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3. ALL EXTERIOR WALLS AND INTERIOR WALLS ALONG BRACED WALL LINES SHALL BE ANCHORED TO FOUNDATION USING ANCHOR BOLTS WITH A MINIMUM OF 7" EMBEDMENT INTO SLAB IN ACCORDANCE TO BUILDING CODES. NAILING SHALL BE SPACED AT 6 INCHES ALONG EDGES AND 12 INCHES FIELD.

BRACED WALL PLAN

1. USED PRESCRIPTIVE SOLUTION
2. USE METHOD 3 - CONTINUOUS SHEATHING
3. BRACED WALL PANELS NOT LESS THAN 16% OF BRACED WALL LINES
4. DESIGN WIND SPEEDS OF 115 mph EXPOSURE B.

* INSTALL HOLD DOWNS:
FOR HOLD DOWNS USE SIMPSON-STRONG-TIE HD08 HOLD DOWN OR HIT4 OR EQUIVALENT

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BRACED WALL PLAN

New Residence at
4224 Nelms Dr
Fort Worth, Tx
Tarrant County, Texas

SHEET
1
OF 3 SHEETS

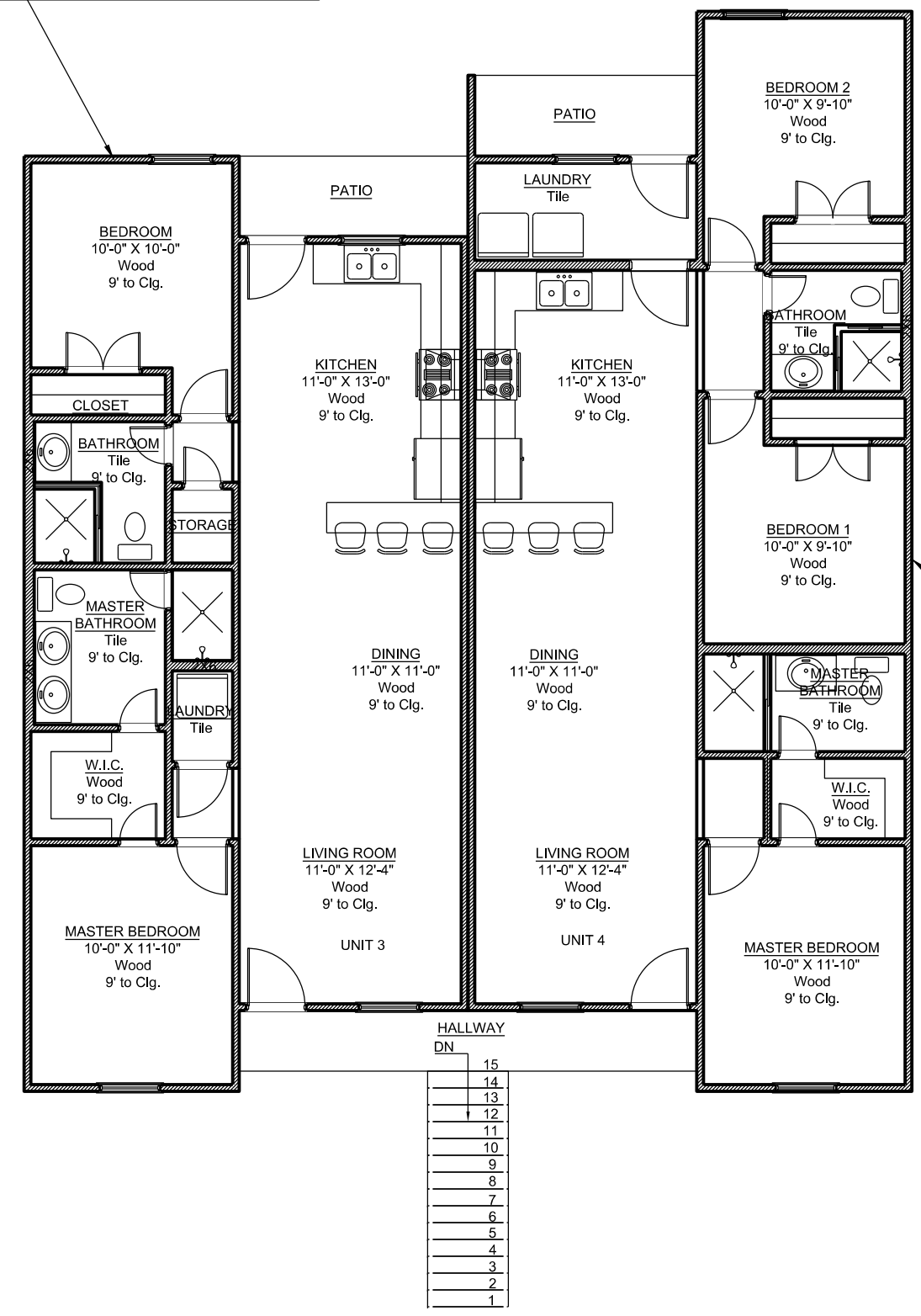
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1/2" GYPSUM WALL BOARD BOTH SIDES ALL INTERIOR WALLS



CONTINUOUS SHEATHING ON ALL EXTERIOR WALLS USE 7/16" THK MIN. OSB OR PLYWOOD W/ STUDS AT 16" O.C.

BRACED WALL PLAN - 2nd Floor

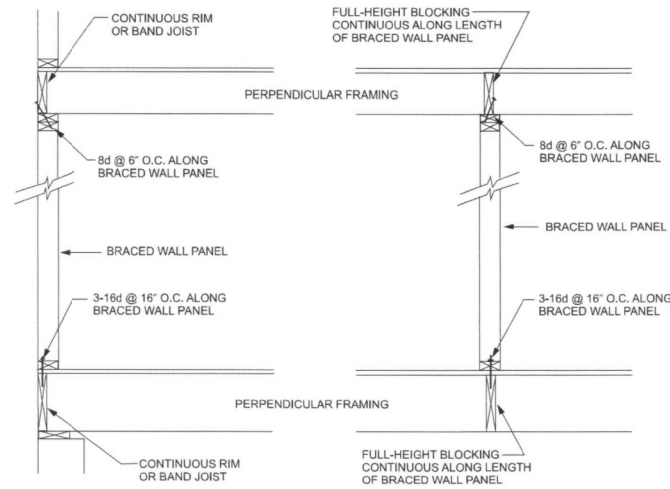
SCALE: 1/8" = 1'-0"

BRACED WALL PLAN

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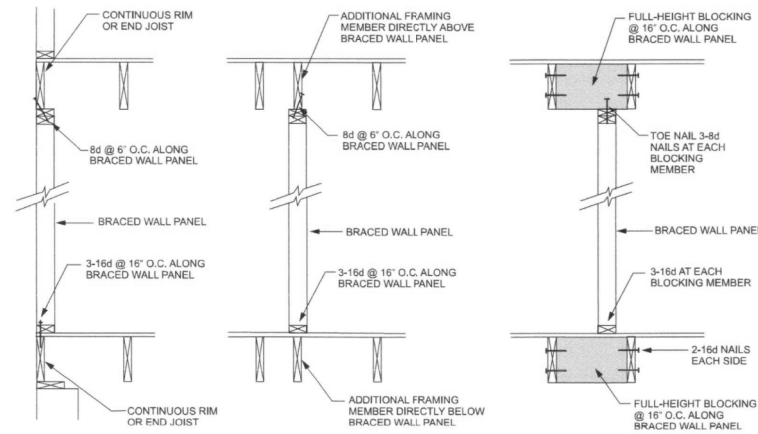
SHEET
 2
 OF 3 SHEETS

BRACED WALL PANEL CONNECTIONS



**BRACED WALL PANEL CONNECTION
WHEN PERPENDICULAR TO
FLOOR/CEILING FRAMING**

BRACED WALL PANEL CONNECTIONS



**BRACED WALL PANEL CONNECTION
WHEN PARALLEL TO FLOOR/CEILING
FRAMING**

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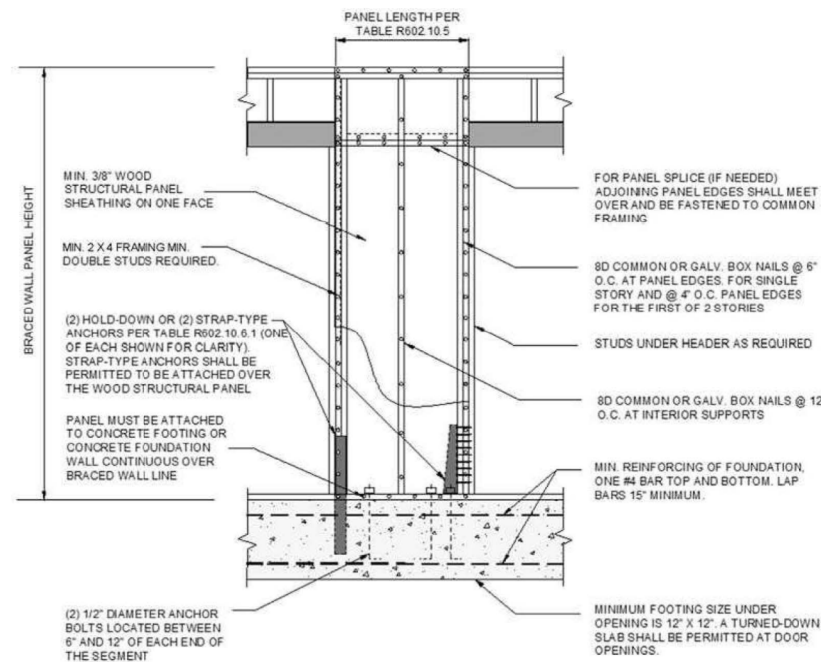
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F - 1 9 9 3 8 8 1 7 8 7 9 - 1 8 0 8

BRACED WALL DETAILS

New Residence at
4224 Nelms Dr
Fort Worth, Tx
Tarrant County, Texas

SHEET
3
OF 3 SHEETS

BRACED WALL PANEL CONNECTIONS



For SI: 1 inch = 25.4 mm.

**FIGURE R602.10.6.1
METHOD ABW—ALTERNATE BRACED WALL PANEL**

BRACED WALL PANEL CONNECTIONS

