



ZONING COMMISSION

AGENDA

Wednesday, June 12, 2024

Work Session 12:00 PM

Public Hearing 1:00 PM

Work Session

In-Person:

City Hall Conference Room 2020

200 Texas Street

2nd Floor-City Hall

Fort Worth, Texas 76102

Public Hearing

In-Person:

City Council Chamber

200 Texas Street

2nd Floor-City Hall

Fort Worth, Texas 76102

Videoconference

<https://fortworthtexas.webex.com/fortworthtexas/j.php?MTID=mcf1652d24b66ae3f09f2d080e6cf485f>

Meeting/ Access Code: 2551 316 9207

Registration Required

<https://fortworthtexas.webex.com/weblink/register/rf796cd5a564721546c8e2f95aa0a2ed6>

Teleconference

(817) 392-1111 or 1-469-210-7159

Meeting/ Access Code: 2551 316 9207

Viewing Only

Television: Charter 190; One Source 7; Verizon 5; AT&T Uverse 99

City of Fort Worth Website Homepage: [Watch Live Online](#)

For more information on attending or speaking at this meeting either through Videoconference or Teleconference, please visit the City's website:

<https://www.fortworthtexas.gov/government/boards/list-boards-commissions/virtual-meetings>

To view the docket for this meeting visit: <https://www.fortworthtexas.gov/calendar/boards-commission>

This meeting will be conducted by videoconference or telephone call in accordance with the Texas Open Meetings Act.

Members of the Zoning Commission may be participating remotely in accordance with the Texas Open Meetings Act. The location identified on this agenda is the location at which the presiding officer will be physically present and presiding over the meeting.

****Any member of the public who wishes to address Zoning Commission regarding an item on a listed agenda must sign up to speak no later than 5 p.m. on the day before the scheduled meeting.**

To sign up, please register through WebEx in accordance with the directions on the City’s website above. This link should be used to register whether you plan to participate in-person or virtually. However, you can also sign-up to speak prior to the Public Hearing if attending in-person. For questions or assistance with registration, please contact Alex Johnson at Alexander.Johnson@fortworthtexas.gov or (817)392-6238.

Please note that the City of Fort Worth is using a third party vendor to assist with City meetings. If there are service interruptions, including call in number changes, we will provide alternative call in numbers on our website whenever possible.

COMMISSION MEMBERS:

Rodney Mayo, CD 1	_____	Jeremy Raines, CD 7	_____
Vacant, CD 2	_____	Tiesa Leggett, CD 8	_____
Beth Welch, CD 3	_____	Wes Hoblit, CD 9	_____
Matt McCoy, CD 4	_____	Jacob Wurman, CD 10	_____
Rafael McDonnell, Vice Chair, CD 5	_____	Cathy Romero, CD 11	_____
Broderick Williams, CD 6	_____		

I. WORK SESSION/Lunch 12:00 pm City Council Conference Room 2020

- | | |
|-------------------------------------|---------------------|
| 1. Overview of Zoning Cases | Staff |
| 2. Neighborhood Housing Plan | Amy Connolly |

II. PUBLIC HEARING 1:00 PM

CASES HEARD AT THIS PUBLIC HEARING ARE TO BE HEARD AT THE CITY COUNCIL MEETING ON TUESDAY, June 25th, 2024 AT 10 A.M. UNLESS OTHERWISE STATED.

CALL TO ORDER

- A. APPROVAL OF MEETING MINUTES of May 8, 2024** _____ **Chair**

To view the docket please visit the City Calendar (Boards and Commissions) or visit <http://fortworthtexas.gov/zoning/cases/>

B. CONTINUED CASES

- 1. ZC-24-027** **CD 6**

- a. Site Location: 10200 Old Cleburne Crowley Road, 10500 W. Cleburne Road & 10375 Old Granbury Road
- b. Acreage: 357.89
- c. Applicant/Agent: Walton Texas LP/Westwood Professional Services
- d. Request: From: "A-5" One-Family
To: Tract 1: "R1" Zero Lot Line/Cluster
Tract 2A: "R1" Zero Lot Line/Cluster
Tract 2B: "D" High Density Multifamily
Tract 15: "R1" Zero Lot Line/Cluster

- 2. ZC-24-031** **CD 6**

- a. Site Location: 10375 Old Granbury Road; East side of Chisholm Trail Parkway, ±5,000' south of the intersection with McPherson Blvd.
- b. Acreage: 120.9
- c. Applicant/Agent: WUSF 5 Rock Creek East LP/Westwood Professional Services
- d. Request: To: Amend "PD 1091" Planned Development for all uses in "F" General Commercial plus Data Center, with development standard for height, Site Plan waived

3. ZC-24-029

Batch Plant Zoning Text Amendment

All Districts

- a. Site Location: City Wide
- c. Applicant/Agent: City of Fort Worth
- d. Request: To: An Ordinance amending the Comprehensive Zoning Ordinance of the City of Fort Worth by amending Article 8, "Non-Residential District Use Table," Section 4.803, "Non-Residential District Use Table", "Medium and Heavy Industrial", "Batch plant, concrete or asphalt (permanent)" and "Temporary Uses", "Batch plant, concrete or asphalt (temporary)", to remove permanent and temporary batch plant, asphalt or concrete, as a use allowed by right and require a conditional use permit and add a reference to a supplemental use standard; Amending Chapter 4 "District Regulations," Article 12, "Form-Based Code District Use Table," Section 4.1203, "District Use Table" to require a conditional use permit for "Batch plant, asphalt or concrete (temporary)", in low ("MU-1") and high ("MU-2") intensity mixed-use districts and add a reference to a supplemental use standard; Amending Chapter 5 "Supplemental Use Standards", Article 4, "Temporary Uses", Section 5.401, "Batch plant, asphalt or concrete (temporary)", to clarify where temporary batch plants are permitted; Amending Chapter 5, "Supplemental Use Standards", Article 1, "Standards for Selected Uses," to add Section 5.156 "Batch plant, asphalt or concrete (permanent)" to clarify where permanent batch plants are permitted.

C: NEW CASES

4. ZC-24-035

CD 11

- a. Site Location: 617 E Ramsey Ave
- b. Acreage: 0.25
- c. Applicant/Agent: Umeed Hashmatullah
- d. Request: From: "A-5" One-Family
To: "B" Two-Family

5. ZC-24-036

CD 5

- a. Site Location: 5401 Turner St
- b. Acreage: 0.77
- c. Applicant/Agent: Jeremis Smith Investments
- d. Request: From: "A-7.5" One-Family
To: "AR" One-Family Restricted

6. ZC-24-038

CD 7

- a. Site Location: 11310 Old Weatherford Road
- b. Acreage: 5.2
- c. Applicant/Agent: LGI Homes-Texas LLC/Elaine Torres
- d. Request: From: "C" Medium Density Multifamily
To: "E" Neighborhood Commercial

7. ZC-24-039

CD 7

- a. Site Location: 216 Nursery Lane
- b. Acreage: 0.4
- c. Applicant/Agent: Tammy Downey/Dennis Askins

d. Request: From: "B" Two-Family
To: "C" Medium Density Multifamily

8. ZC-24-045

CD 3

a. Site Location: Near the corner of Turner May Dr & Joplin Blues Ln
b. Acreage: 3.3
c. Applicant/Agent: TRT Land Investors LLC
d. Request: From: Unzoned
To: "PD 1169" Planned Development/"A-5" One-Family and "R1" Zero Lot line/Cluster with development standards not to exceed 30% R1 development and lot coverage not to exceed 60%; site plan waived.

9. ZC-24-048

CD 8

a. Site Location: 2005 Renner Avenue
b. Acreage: 0.15
c. Applicant/Agent: Endeavor Acquisition, LLC/ Saniya Hemani
d. Request: From: "I" Light Industrial
To: "A-5" One Family

10. ZC-24-049

CD 2

a. Site Location: 4800 Old Decatur Road
b. Acreage: 0.9760
c. Applicant/Agent: Fort Worth Quarry Company/QT South
d. Request: To: Add Conditional Use Permit "CUP" for automated car wash in "E" Neighborhood Commercial, site plan included

11. ZC-24-051

CD 3

a. Site Location: 9944 W Camp Bowie Blvd
b. Acreage: 1.05
c. Applicant/Agent: Leo-17 Realty LLC/Jake Petrie
d. Request: From: "E" Neighborhood Commercial
To: "PD/I" Planned Development for all uses in "I" Light Industrial excluding all Vehicle Sales and Services uses, site plan included

12. ZC-24-052

CD 8

a. Site Location: 3220-3236 (evens) Lois Street; 3230-3250 (evens) Martin Luther King Freeway, 3203 & 3301 Emerson Street & 3417 Vaughn Boulevard
b. Acreage: 1.789
c. Applicant/Agent: Renaissance Square, LLC/Andrew Yeoh
d. Request: To: Add Conditional Use Permit (CUP) to allow a carwash facility in "E" Neighborhood Commercial; site plan included

13. ZC-24-058

CD 9

a. Site Location: Stockyards Form-Based Code & Historic District
b. Acreage: 5.04
c. Applicant/Agent: City of Fort Worth
d. Request: To: An Ordinance amending the Comprehensive Zoning Ordinance of the City of Fort Worth by amending Chapter 4 "District

Regulations”, Article 13 “Form-Based Code Districts”, Section 4.1309 “Stockyards (“SY”) District and Appendix B, Exhibit B.33 to expand the Stockyards Historic District to include additional properties and increase the maximum allowable building height in certain subdistricts.

D. ADJOURNMENT: _____

ASSISTANCE AT THE PUBLIC MEETINGS:

This meeting site is wheelchair accessible. Persons with disabilities who plan to attend this meeting and who may need accommodations, auxiliary aids, or services such as interpreters, readers, or large print are requested to contact the City's ADA Coordinator at (817) 392-8552 or e-mail ADA@FortWorthTexas.gov at least 48 hours prior to the meeting so that appropriate arrangements can be made. If the City does not receive notification at least 48 hours prior to the meeting, the City will make a reasonable attempt to provide the necessary accommodations.

ASISTENCIA A REUNIONES PUBLICAS:

Este sitio de reunión es accesible con silla de ruedas. Se solicita a las personas con discapacidades que planean asistir a esta reunión y que necesitan acomodaciones, ayudas auxiliares o servicios tales como intérpretes, lectores o impresiones con letra grande, que se comuniquen con el Coordinador de la Asociación Americana de Discapacitados (ADA) de la Ciudad llamando al teléfono (817) 392-8552 o por correo electrónico a ADA@FortWorthTexas.gov por lo menos 48 horas antes de la reunión, de modo que puedan hacerse los arreglos adecuados. Si la Municipalidad no recibe una notificación por lo menos 48 horas antes de la reunión, ésta hará un intento razonable para proporcionar las acomodaciones necesarias.

Executive Session.

A closed executive session may be held with respect to any posted agenda item to enable the Commission to receive advice from legal counsel, pursuant to Texas Government Code, Section 551.071.



Zoning Staff Report

Date: June 12, 2024

Case Number: ZC-24-027

Council District: 6

Zoning Map Amendment

Case Manager: [Brett Mangum](#)

Owner / Applicant: Walton Texas LP/Westwood Professional Services

Location: 10200 Old Cleburne Crowley Rd, 10500 W Cleburne Rd, 10375 Old Granbury Rd

Acreage: 357.893 acres

Request

Proposed Use: Single Family (zero lot line) & Multifamily

Request: From: "A-5" One Family Residential

To: Tracts 1, 2A & 15: "R1" Zero Lot Line/Cluster
Tract 2B: "D" High Density Multifamily

Recommendation

Land Use Compatibility: Requested change **is compatible**

Comprehensive Plan Map Consistency: Requested change **is not consistent**

Comprehensive Plan Policy Consistency: Requested change **is not consistent**

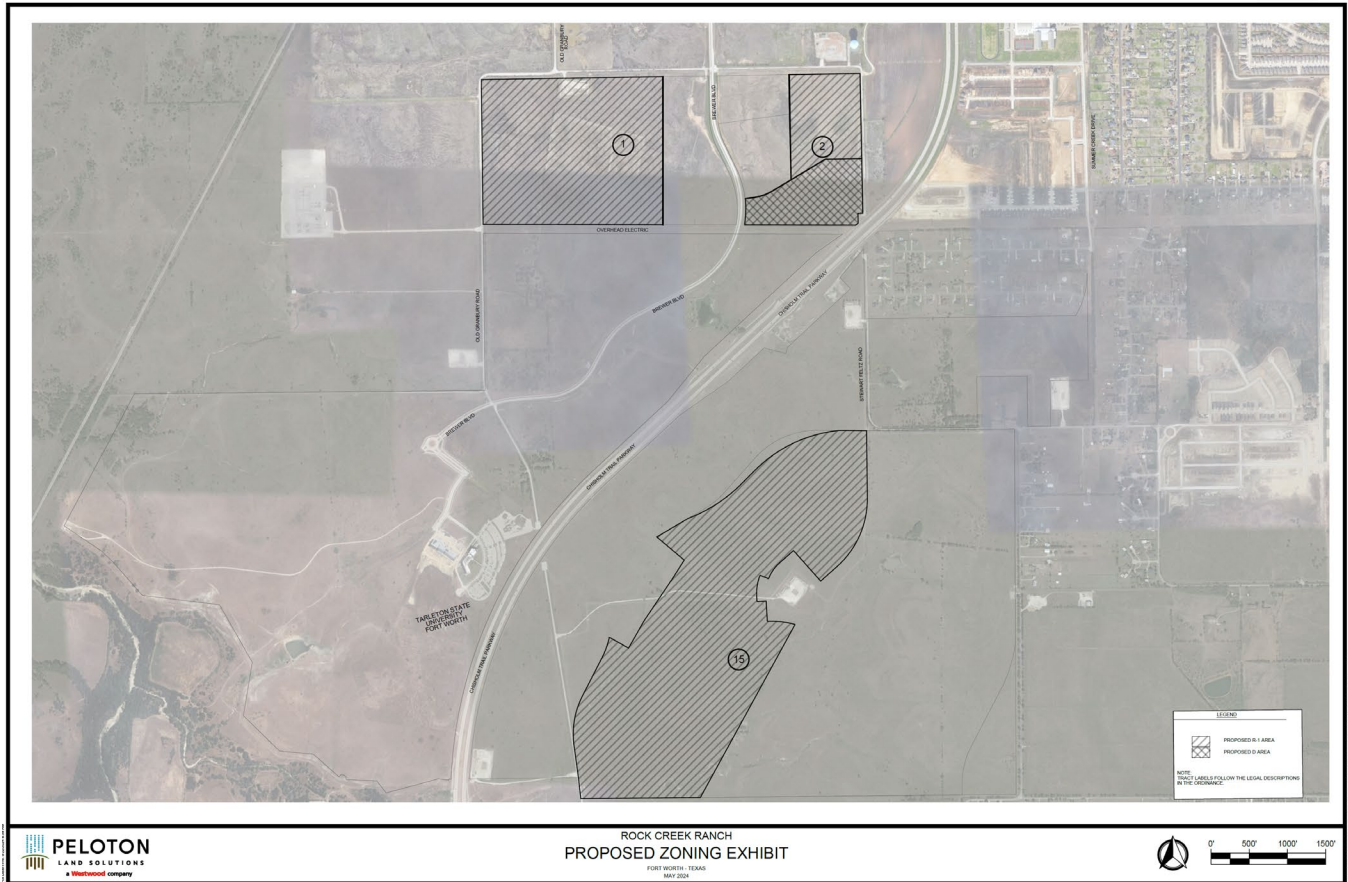
Staff Recommendation: **Approval**

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- [1. Project Description and Background](#)
- [2. Surrounding Zoning and Land Uses](#)
- [3. Recent Zoning History](#)
- [4. Public Notification](#)
- [5. Development Impact Analysis](#)
- Zoning Map with 300 ft. Notification Area
- Area Map
- Future Land Use Map
- Aerial Photograph
- Rock Creek Ranch Concept Plan (2017)

Project Description and Background

The subject site is composed of three tracts (referred to as Tract 1, Tract 2 [2A & 2B], and Tract 15) in southwest Fort Worth in Council District 6. The applicant is seeking to change the zoning from “A-5” One Family Residential to “R1” Zero Lot Line/Cluster. A small portion of the request is to go to “D” High Density Multifamily, which is identified by the developer as Tract 2B and marked with a double cross hatch below.



Standard “R1” and “D” zoning do not require a Site Plan to accompany the application, however providing an exhibit can give staff and City officials a better understanding of the intended layout, scope, and function of the proposed development. No exhibits were provided by the applicant to give added context to the request. The developer would need to follow the development standards established in Section 4.708 and Section 4.712 of the Zoning Ordinance, for “R1” and “D”, respectively.

According to the City of Fort Worth’s Residential Use Table, “R1” zoning is primarily intended to support single family zero lot line homes (attached or detached), however a variety of other housing types are allowed by right in addition to zero lot line homes. This includes cluster housing, duplexes (attached or detached), or standard single family detached. More dense housing types, such as townhouses, rowhouses, or apartments would not be permitted by right in “R1” zoning, which makes up over 90% of the area of this change of zoning request. The small portion of “D”, which is approximately 8% of the total area, would allow the development of apartments or any housing type that is less dense than apartments.

Surrounding Zoning and Land Uses

Tract 1:

North "A-5" One Family residential / single family residential
East "A-5" One Family residential / undeveloped
South "A-5" One Family residential / undeveloped
West City of Fort Worth Extraterritorial Jurisdiction (no zoning) / undeveloped

Tract 2:

North "C" Medium Density Multifamily / water tower & gas wells
East "G" Intensive Commercial / undeveloped
South "PD-1090" Planned Development – High Density Multifamily / undeveloped
West "A-5" One Family residential / undeveloped

Tract 15:

North "A-5" One Family residential / gas wells
East "A-5" One Family residential / undeveloped
South City of Fort Worth Extraterritorial Jurisdiction (no zoning) / gas wells
West "PD-1094" Planned Development – Intensive Commercial / undeveloped

Recent Zoning History

- ZC-16-085, from Unzoned, “A-43” One-Family, “A-5” One-Family, “R2” Townhouse/Cluster, “C” Medium Density Multifamily, “E” Neighborhood Commercial, “G” Intensive Commercial and “I” Light Industrial to “A-5” One-Family, “D” High Density Multifamily, “CF” Community Facility, “E” Neighborhood Commercial, “F” General Commercial, “G” Intensive Commercial, and “MU-2” high Intensity Mixed-Use, approved by City Council June 2016

The Rock Creek Concept Plan approved in 2017 is attached to this staff report for reference.

Public Notification

300-foot Legal Notifications were mailed on May 31, 2024.
The following organizations were emailed on May 31, 2024:

Organizations Notified	
Chisholm Trail Ranch HOA*	Panther Heights NA*
Crowley ISD	District 6 Alliance
Streams and Valleys Inc	Trinity Habitat for Humanity

**Located closest to these registered Neighborhood Associations*

Development Impact Analysis

Land Use Compatibility

Development in the vicinity is sparse and limited to gas wells and agricultural uses. Of the tracts included in this change of zoning request, none are directly adjacent to any established residential areas or uses. These tracts are proximal to the Chisholm Trail Parkway (CTP) providing north-south access and a connection to major employment centers. There is a nearby commercial area at the intersection of McPherson Boulevard and CTP that will provide services and goods to these new residential areas.

“R1” zoning is a type of residential zoning that allows single family dwelling units with zero lot line construction, meaning that the units can be built up to the property line on one side, with a small yard required on the opposite side. It also allows paired units (twin homes) with a shared wall, as well as standard single family detached units. This type of zoning would be similar in character to standard “A” or “B” residential zones, only with smaller lots.

The small portion that is proposed for “D” High Density Multifamily is approximately 6% of the total area involved. It is situated where only a small portion would abut existing “A-5” One Family zoning, with the remaining 94% of the perimeter bordering with “R1” Zero Lot Line/Cluster, “G” Intensive Commercial, Chisholm Trail Parkway, overhead electric transmission lines, and “PD-D” Planned Development-High Density Multifamily zoning. The “D” area will access off of Brewer Boulevard, which is noted on the City’s adopted Master Thoroughfare Plan as a Neighborhood Connector street. No access to the CTP is proposed, and there are no frontage roads in this area.

In the instance that these tracts directly abutted any existing residential developments, they would need to be compatible to and complement the existing lot densities. However there is no substantive development in this area, and there is no established pattern to fit into, therefore the “R1” and “D” zoning is sensible when taking this into account. Additionally, the proposed zoning matches the spirit and intent of the approved Rock Creek Ranch Concept Plan, which calls for these areas to be developed as single family residential. The proposed zoning is **compatible** with surrounding land uses.

Comprehensive Plan Consistency – Far Southwest Sector

The 2023 Comprehensive Plan designates all the tracts involved in this change of zoning request as *future single family residential*. The future land use designation would need to be *future low density residential* in order to be fully compatible with the proposed “R1” zones, and at least *future medium density residential* in order to be fully compatible with the proposed “D” high density zone. The current “A-5” zoning is in line with the Comprehensive Plan future land use designation of *future single family residential*.

FUTURE LAND USE	DESCRIPTION	IMPLEMENTING ZONING
RESIDENTIAL		
Rural Residential	1+ acre single-family	A-2.5, A-43
Suburban Residential	1/2+ acre single-family	A-21
Single-Family Residential	3,500+ sq. ft. lot single-family	A-10, A-7.5, A-5, AR
Manufactured Housing	Manufactured home parks and subdivisions	MH
Low Density Residential	2,500+ sq. ft. lot single-family, two-family, patio homes, townhouses, cluster housing	B, R1, R2
Medium Density Residential	Up to 36 units/acre multifamily	CR, C, D
Urban Residential	Medium to high density, residential only, pedestrian-oriented development for use between higher and lower intensity uses	UR
High Density Residential	>36 units/acre multifamily, mixed-use multifamily and pedestrian-oriented development in growth centers	UR, MU-1, MU-2, Form-Based Codes

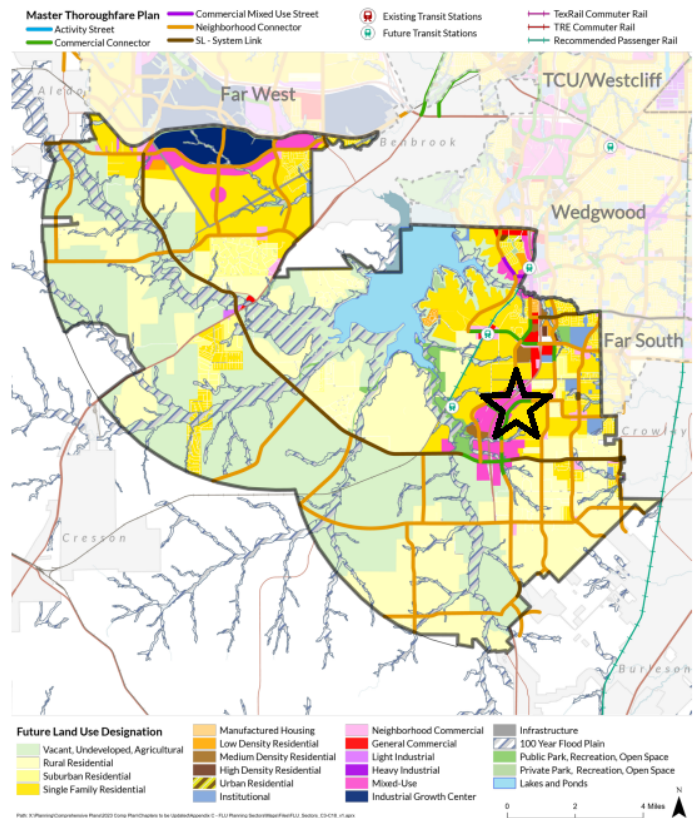
The proposed change of zoning to “R1” and “D” is **not consistent** with the Comprehensive Plan future land use map designation. If the change of zoning is approved as presented, staff would recommend that the Comprehensive Plan be updated to reflect these changes.

In addition, This proposal is not clearly supported by any policies or strategies contained within the City’s adopted Comprehensive Plan. As a result, the request is **not consistent** with the Comprehensive Plan policy-wise. None of the 15 policies specific to the Far Southwest sector (included below for reference) seem to clearly support the proposed change of zoning. A black star has been added to the map to show the general location of the three tracts.

FAR SOUTHWEST SECTOR FUTURE LAND USE

Sector Land Use Policies

1. Promote fiscally sustainable growth on the periphery of the city by encouraging development adjacent to existing adequate infrastructure and discouraging leapfrog development.
2. Support the extension of rail transit to the Far Southwest sector.
3. Promote transit-oriented development (TOD) around the planned Summer Creek TEX Rail station.
4. Promote commercial, mixed-use, and urban residential development within the Summer Creek Future TOD and SH 121/FM 1187 Mixed-Use Growth Centers, including the new Tarleton State University campus area.
5. Within the Lake Benbrook watershed, promote the clustering of new residential development to preserve as common open space or dedicated parkland the following types of land features: floodplains, riparian buffers, steep slopes, wooded areas, special habitat areas, and unique views.
6. Promote only those uses near Lake Benbrook that will ensure protection of water quality, including protection of riparian buffers and use of Green Infrastructure techniques.
7. Encourage the preservation and enhancement of the natural landscape by retaining trees, natural drainage ways, and unique vistas.
8. Protect land needed for Green Infrastructure projects such as natural stormwater conveyance and detention, riparian buffer protection, and linear greenways with hike & bike trail alignments.
9. Create a hike & bike trail network in growing areas by promoting a connected system of pathways within floodplains and other open space corridors.
10. Promote the use of parallel local access lanes along major roadways to encourage development in which the front façade of homes can face the street without the need for multiple driveway curb-cuts on the major street, thereby preserving traffic flow and safety, increasing the pedestrian friendliness of the street, and eliminating the canyon effect of backyard fences lining the street.
11. Encourage major employers, retail, and urban residential to locate at or near proposed transit stops and entryways to the Chisholm Trail Parkway toll road., and the Walsh Ranch and Veale Ranch Growth Centers.
12. Encourage urban residential development in appropriate locations to create more walkable, pedestrian-oriented neighborhoods.
13. Work with school districts to identify suitable sites for future school development that make efficient use of existing infrastructure.
14. Promote healthy physical activity among children by designing enhanced walkability into neighborhoods surrounding new and proposed school sites.
15. Encourage co-location of schools and public parks to promote shared use of facilities and to reduce maintenance costs.

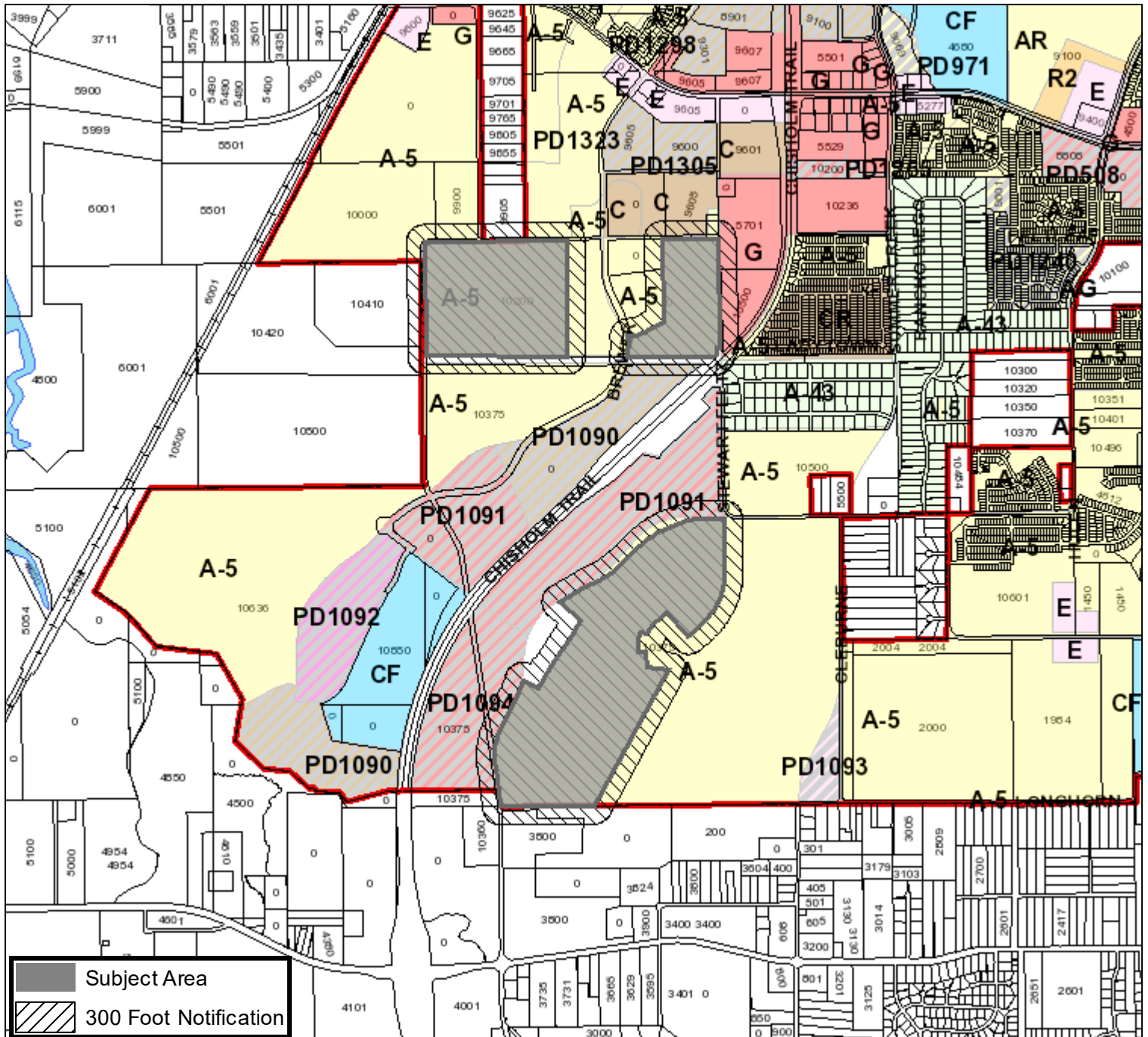



*"A comprehensive plan shall not constitute zoning regulations or establish zoning district boundaries."
Texas Local Government Code, Section 219.005.*

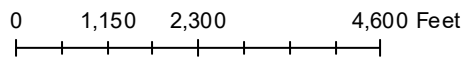
While the request is not backed up by the Comprehensive Plan in general, this change of zoning could potentially be approved when viewed through the lens of growth. The areas surrounding these tracts are by and large undeveloped at the present time, and it is sensible to try and rezone areas for higher density prior to substantial growth occurring nearby.

Area Zoning Map

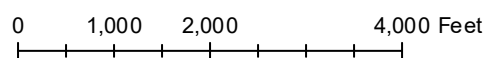
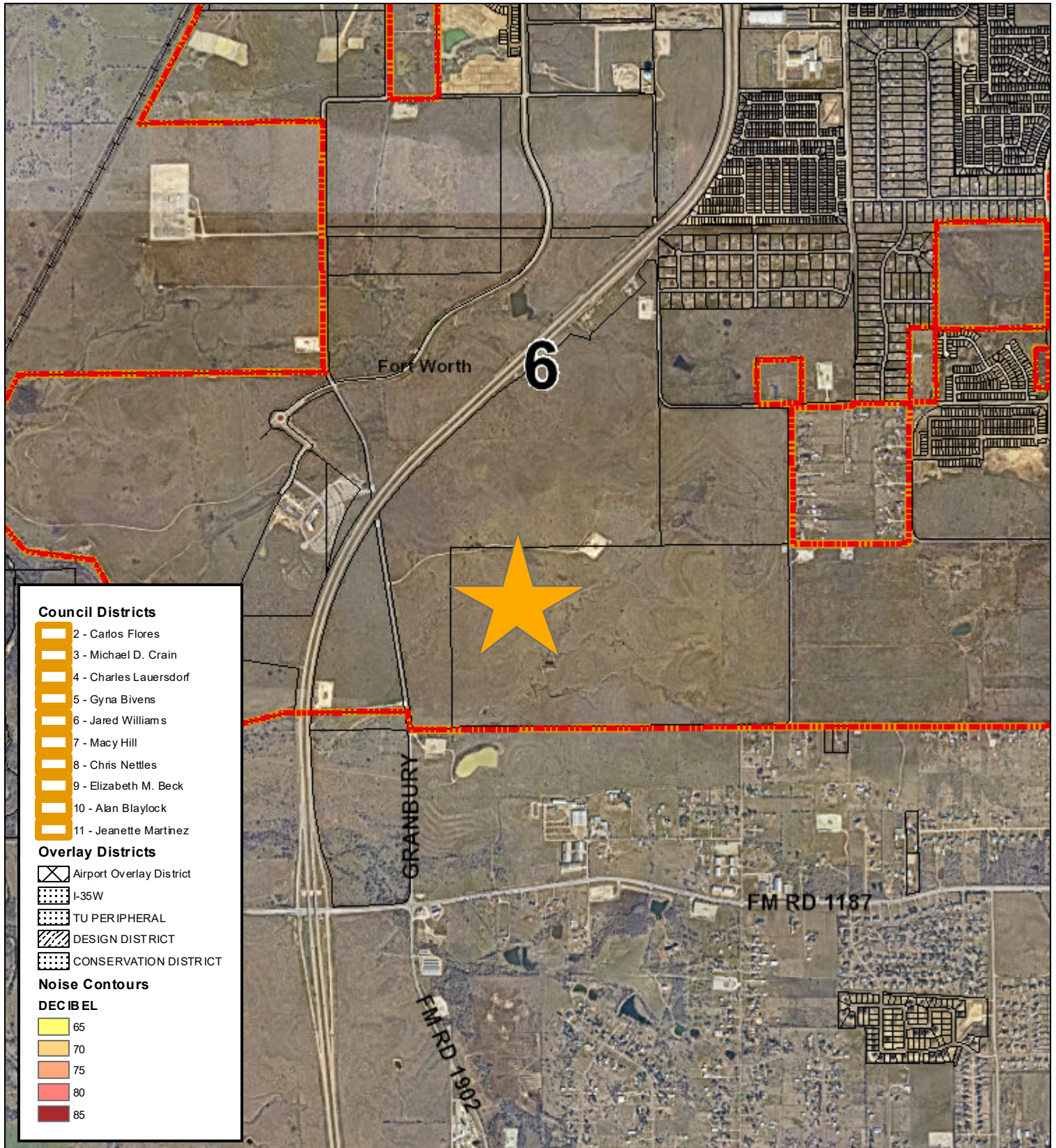
Applicant: Walton Texas LP/Westwood Professional Services
 Address: 10200 Old Cleburne Crowley Road, 10500 W. Cleburne Road & old 10375 Old Granbury R
 Zoning From: null
 Zoning To: null
 Acres: 357.89345256
 Mapsco: Text
 Sector/District: Far_Southwest
 Commission Date: 6/12/2024
 Contact: 817-392-8043



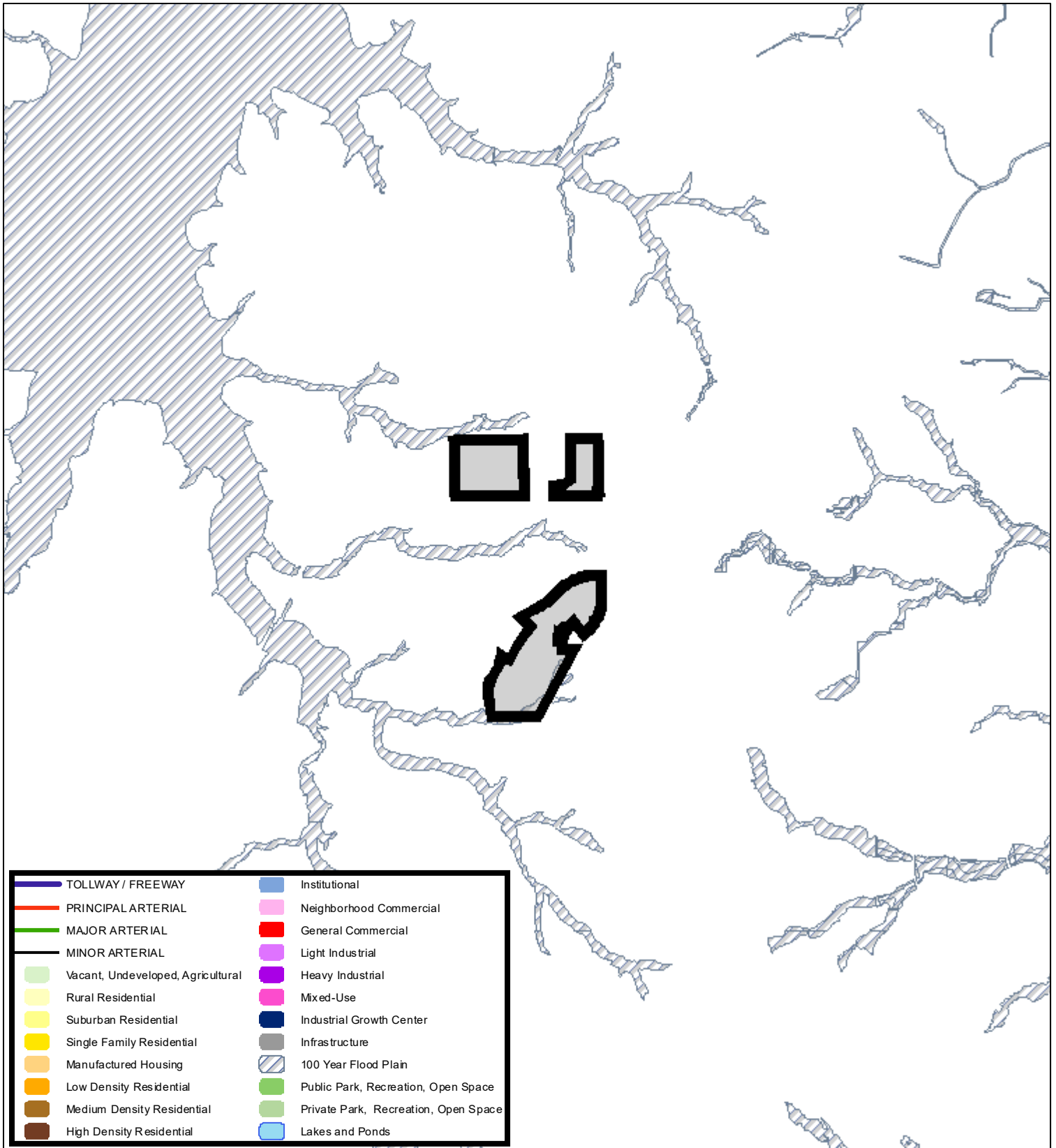
 Subject Area
 300 Foot Notification



Area Map



Future Land Use



4,300 2,150 0 4,300 Feet

A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



Aerial Photo Map



0 2,800 5,600 11,200 Feet





Zoning Staff Report

Date: June 12, 2024

Case Number: ZC-24-031

Council District: 6

Zoning Map Amendment

Case Manager: [Brett Mangum](#)

Owner / Applicant: WUSF 5 Rock Creek East LP/Westwood Professional Services

Location: 10375 Old Granbury Road; East side of Chisholm Trail Pkwy, ±5,000' south of the intersection with McPherson Blvd

Acreage: 120.922 acres

Request

Proposed Use: Adding 'Data Center' land use to allowed uses in existing PD-1091 and requesting increase in allowable height from 45' to 105'

Request: To: Amend "PD 1091" Planned Development for all uses in "F" General Commercial plus Data Center, with development standard for height, Site Plan waived

Recommendation

Land Use Compatibility: Requested change **is not compatible**

Comprehensive Plan Map Consistency: Requested change **is not consistent**

Comprehensive Plan Policy Consistency: Requested change **is not consistent**

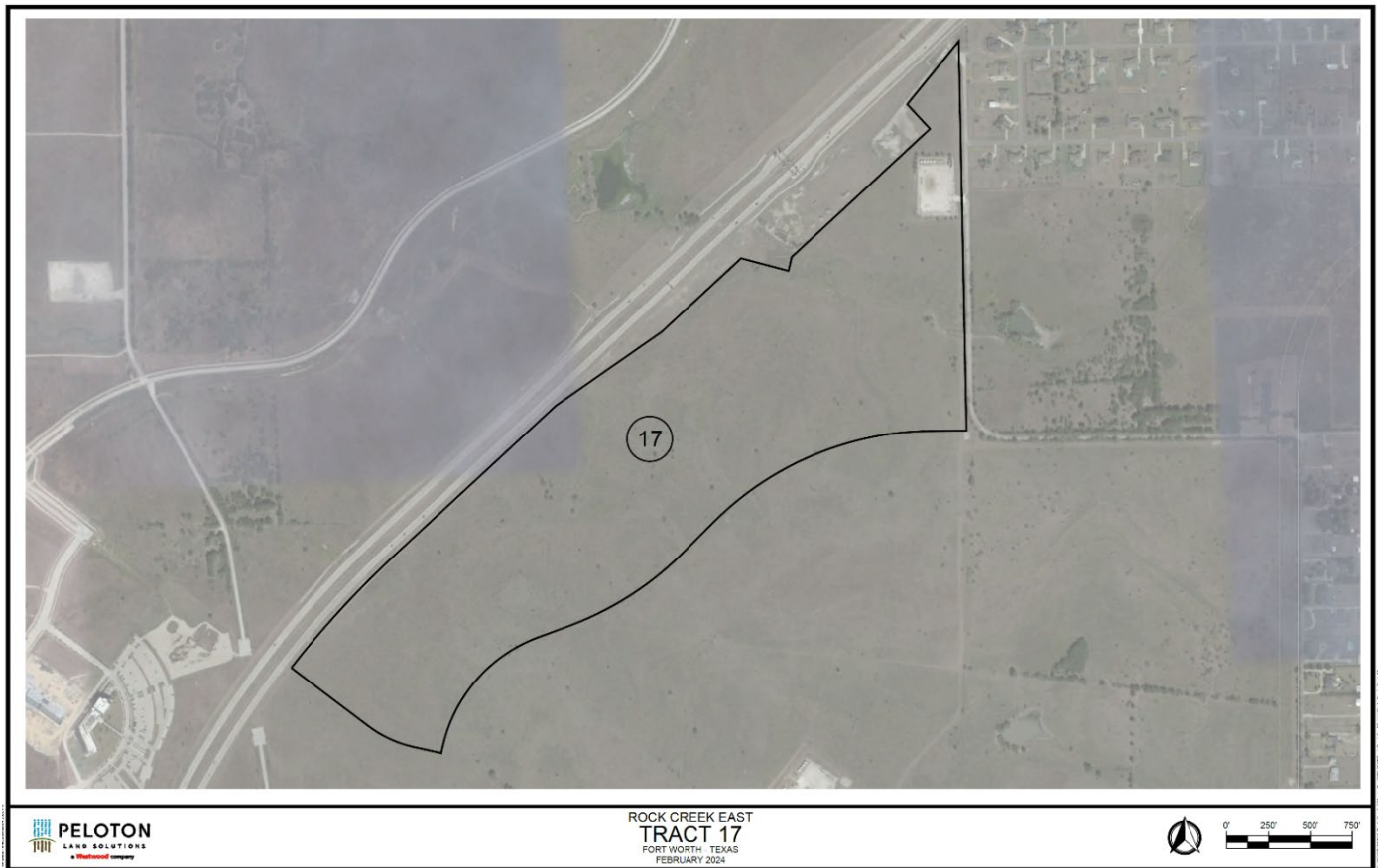
Staff Recommendation: **Denial**

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- Rock Creek Ranch Concept Plan (2017)

Project Description and Background

The subject site is a tract of land located on the eastern side of Chisholm Trail Parkway between the McPherson Blvd. exit and the Tarleton State University campus in southwest Fort Worth, in Council District 6. The site is part of a larger planned community known as Rock Creek Ranch. Much of the planned roadway infrastructure in this area is not yet constructed, and the tract is only accessible from Stewart Feltz Road at the present time. The applicant is seeking to modify the existing Planned Development PD-1091 zoning on the site to add “Data Center” as an allowable land use. The current PD allows all uses in “F” General Commercial zoning. A Data Center requires industrial zoning to be allowed by right, in “I”, “J”, or “K” zones, or else through a PD. Also included in this change of zoning request is an increase in allowable height from the standard 3 stories or 45’ maximum in “F” zoning, to 3 stories or 105’ maximum.



The original zoning case for this area was originally requesting standard “F” zoning. However, the City Council instead approved the zoning for this tract as a “PD-F” Planned Development based on “F” General Commercial zoning, with ‘Site Plan Required’. This means that a Site Plan will be submitted at a future time for approval by Zoning Commission and City Council. The areas closest to the Chisholm Trail Parkway (CTP) toll road were changed by City Council at the time to PD’s with Site Plans required, indicating an interest in quality design for the areas closest to and most visible from the toll road. The remainder of the areas further away from the CTP were granted standard zoning as requested, with no Site Plan requirement.

- Site Plan Included (completed site plan is attached to this application)
- Site Plan Required (site plan will be submitted at a future time for approval by Zoning Commission and City Council)
- Site Plan Waiver Requested (in the box above, explain why a waiver is needed)

Zoning staff does not support the Site Plan Waiver requested as part of this application (excerpt of application document included above for reference), which would allow development on this site without a bona fide Site Plan reviewed and approved by Zoning Commission & City Council. Providing a Site Plan as part of a Planned Development zone is standard procedure. If the development is ready to proceed at the time of zoning, Site Plan Included means a Site Plan is attached for review and approval alongside the zoning request. If the development is not ready to proceed at the time of zoning, a Site Plan Required means that a second standalone submittal would be required at such point when development is ready to proceed. Having a Site Plan can give staff and City officials a better understanding of the intended layout, scope, and function of the proposed development.

Surrounding Zoning and Land Uses

North "A-43" & "A-5" One Family residential / single family residential & undeveloped
 East "A-5" One Family residential / undeveloped
 South "PD-1094" Planned Development-Intensive Commercial, Site Plan Required & "E" Neighborhood Commercial / undeveloped
 West "PD-1090" Planned Development-High Density Multifamily, Site Plan Required & "PD-1091" Planned Development-General Commercial, Site Plan Required / Chisholm Trail Parkway & undeveloped

Recent Zoning History

- ZC-16-085, from Unzoned, "A-43" One-Family, "A-5" One-Family, "R2" Townhouse/Cluster, "C" Medium Density Multifamily, "E" Neighborhood Commercial, "G" Intensive Commercial and "I" Light Industrial to "A-5" One-Family, "D" High Density Multifamily, "CF" Community Facility, "E" Neighborhood Commercial, "F" General Commercial, "G" Intensive Commercial, and "MU-2" high Intensity Mixed-Use, approved by City Council June 2016

The Rock Creek Concept Plan approved in 2017 is attached to this staff report for reference.

Public Notification

300-foot Legal Notifications were mailed on April 26, 2024.
 The following organizations were emailed on April 26, 2024:

Organizations Notified	
Chisholm Trail Ranch HOA*	Panther Heights NA*
Crowley ISD	District 6 Alliance
Streams and Valleys Inc	Trinity Habitat for Humanity

**Located closest to these registered Neighborhood Associations*

Development Impact Analysis

Land Use Compatibility

Development in the vicinity is sparse and limited to gas wells and agricultural uses. The site is situated close to the Chisholm Trail Parkway, with a planned interchange at the southern end of the tract providing future access. This toll road is a major corridor emanating from downtown Fort Worth and connecting to Johnson County and Cleburne to the south. Due to the topography and lack of development at the present time, this site is highly visible for the users of this toll road.

The current zoning of PD-F allows development up to 3 stories or 45', which is sensible in the context of the large tracts planned for single family residential development just to the north and east. Allowing heights up to 105' would be out of scale with the planned surroundings, which will be one- to two-story residential houses. For context, 105' would equal approximately 8 or 9 stories at 12' per story.

Data centers are a quasi-industrial use, as evidenced by their inclusion in the City's nonresidential land use table under "I" Light, "J" Medium, or "K" Heavy Industrial zones. Data centers are not allowed by right in any commercial zones. Additionally, the proposed zoning does not match the spirit and intent of the approved Rock Creek Ranch Concept Plan, which calls for this site to be developed as mixed use. Data Centers are typically not active, contributing buildings, and are more of a boxy warehouse type of building, with little employment generated and minimal attractive qualities. The proposed zoning **is not compatible** with surrounding land uses.

Comprehensive Plan Consistency – Far Southwest Sector

The 2023 Comprehensive Plan designates the subject site as *future community mixed use-growth center*.

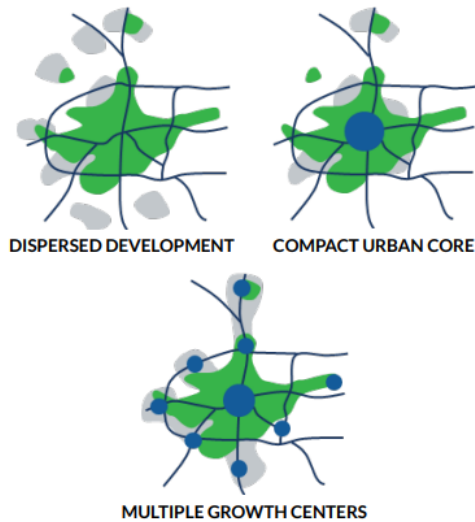
FUTURE LAND USE	DESCRIPTION	IMPLEMENTING ZONING
MIXED-USE		
Mixed-Use	Retail, services, offices, entertainment, mixed uses, and multifamily residential (>36 units/acre multifamily, mixed-use multifamily and pedestrian-oriented development)	UR, MU-1, MU-2, Form-Based Codes, All Commercial
Mixed-Use Growth Center	Retail, services, offices, entertainment, mixed uses, and multifamily residential; Community Growth Centers are less intensive, and Regional Growth Centers are more intensive	UR, MU-1, MU-2, Form-Based Codes, All Commercial

While commercial zones are considered acceptable for future mixed use areas, this proposed change of zoning to allow the addition of 'Data Center' to the current PD-F **is not consistent** with the Comprehensive Plan future land use map designation, as data centers do not possess the characteristics of a community growth center, including a high concentration of jobs, pedestrian activity, or variety. Data centers are not associated with being bustling, diverse, or contributing meaningfully towards a sense of place.

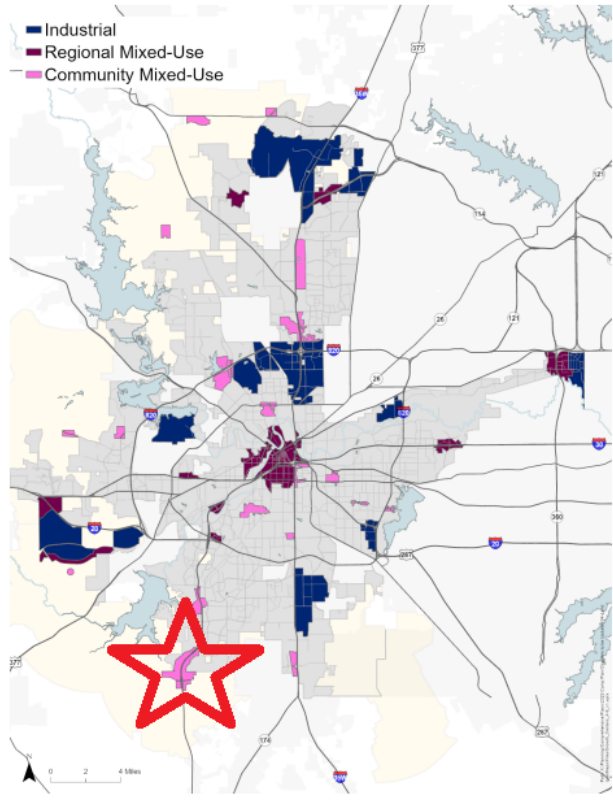
The multiple growth centers concept promotes compact urban land use within designated areas and lower intensities of land use elsewhere. As an alternative to the typical urban/suburban pattern, Fort Worth's Comprehensive Plan advocates for the development of multiple growth centers.

Growth centers are located along highway or rail corridors to facilitate transportation linkages to other growth centers. A network of growth centers can accommodate citywide growth with fewer environmental impacts, less land consumption and traffic generation, and less pollution than a dispersed development pattern. The North Central Texas Council of Governments is also promoting this growth strategy in response to growing concerns over traffic, pollution, and reduced funding for transportation infrastructure.

URBAN DEVELOPMENT PATTERNS



INDUSTRIAL AND MIXED-USE GROWTH CENTERS



Source: City of Fort Worth, Planning & Data Analytics Department, 2022.

MIXED-USE GROWTH CENTERS

Mixed-use growth centers are highly urbanized places containing many characteristics of a downtown including a high concentration of jobs and housing, schools, parks, and other public facilities, public transportation hubs, and pedestrian activity. Its predominant land uses are residential and commercial. Within a small geographic area, different land uses are found side by side or within the same building. These places tend to be bustling and diverse, with a sense of place.

Criteria for designating new mixed-use growth centers are listed below, with centers often having (or planned to have) three or more of the following characteristics:

- A high concentration of employees – 10,000+ employees per square mile.
- A high concentration of residents – 10,000+ residents per square mile.
- One or more major transportation facilities – an airport, railroad, highway, public transit, or arterial roadway.
- An existing or planned transit-oriented development (TOD).
- Major institution(s) – a university, government facility, or hospital.
- Major tourist destination(s) – 100,000+ visitors per year.

Some mixed-use growth centers serve a large region, while others serve local residents. The functions and characteristics of the two different growth center concepts are generally the same, with variations in the size of their service areas and intensity of development.

REGIONAL MIXED-USE GROWTH CENTERS

Alliance Gateway East	Hulen/Cityview
Centreport	Nance Ranch*
Clearfork	Near Southside/Medical District
Cultural District	Ridgmar
Downtown	Veale Ranch*
Eastchase	Walsh Ranch*

COMMUNITY MIXED-USE GROWTH CENTERS

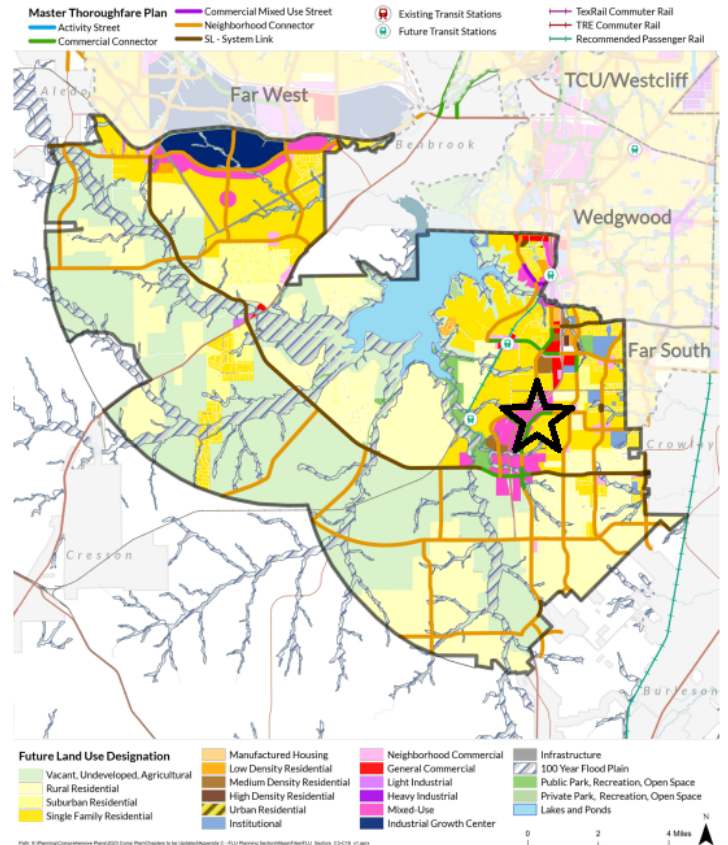
114 Crossing TOD*	Near Southeast*
Alliance Town Center*	Polytechnic/Texas Wesleyan
Alpha Ranch*	SH 121/FM 1187*
Fleming Ranch*	Silver Creek*
Fossil Creek	Spinks/Huguley
Huldy/Tannahill Ranches*	Stockyards
La Gran Plaza	Summer Creek TOD*
Lake Arlington*	Texas Christian University
Marine Creek*	Veale Ranch Center *
Miller/Berry*	

In addition, This proposal is not clearly supported by any policies or strategies contained within the City's adopted Comprehensive Plan. As a result, the request is **not consistent** with the Comprehensive Plan policy-wise. None of the fifteen policies specific to the Far Southwest sector (included below for reference) seem to clearly support the proposed change of zoning. A star has been added to the map to show the general location of the site.

FAR SOUTHWEST SECTOR FUTURE LAND USE

Sector Land Use Policies

- Promote fiscally sustainable growth on the periphery of the city by encouraging development adjacent to existing adequate infrastructure and discouraging leapfrog development.
- Support the extension of rail transit to the Far Southwest sector.
- Promote transit-oriented development (TOD) around the planned Summer Creek TEX Rail station.
- Promote commercial, mixed-use, and urban residential development within the Summer Creek Future TOD and SH 121/FM 1187 Mixed-Use Growth Centers, including the new Tarleton State University campus area.
- Within the Lake Benbrook watershed, promote the clustering of new residential development to preserve as common open space or dedicated parkland the following types of land features: floodplains, riparian buffers, steep slopes, wooded areas, special habitat areas, and unique views.
- Promote only those uses near Lake Benbrook that will ensure protection of water quality, including protection of riparian buffers and use of Green Infrastructure techniques.
- Encourage the preservation and enhancement of the natural landscape by retaining trees, natural drainage ways, and unique vistas.
- Protect land needed for Green Infrastructure projects such as natural stormwater conveyance and detention, riparian buffer protection, and linear greenways with hike & bike trail alignments.
- Create a hike & bike trail network in growing areas by promoting a connected system of pathways within floodplains and other open space corridors.
- Promote the use of parallel local access lanes along major roadways to encourage development in which the front façade of homes can face the street without the need for multiple driveway curb-cuts on the major street, thereby preserving traffic flow and safety, increasing the pedestrian friendliness of the street, and eliminating the canyon effect of backyard fences lining the street.
- Encourage major employers, retail, and urban residential to locate at or near proposed transit stops and entryways to the Chisholm Trail Parkway toll road, and the Walsh Ranch and Veale Ranch Growth Centers.
- Encourage urban residential development in appropriate locations to create more walkable, pedestrian-oriented neighborhoods.
- Work with school districts to identify suitable sites for future school development that make efficient use of existing infrastructure.
- Promote healthy physical activity among children by designing enhanced walkability into neighborhoods surrounding new and proposed school sites.
- Encourage co-location of schools and public parks to promote shared use of facilities and to reduce maintenance costs.



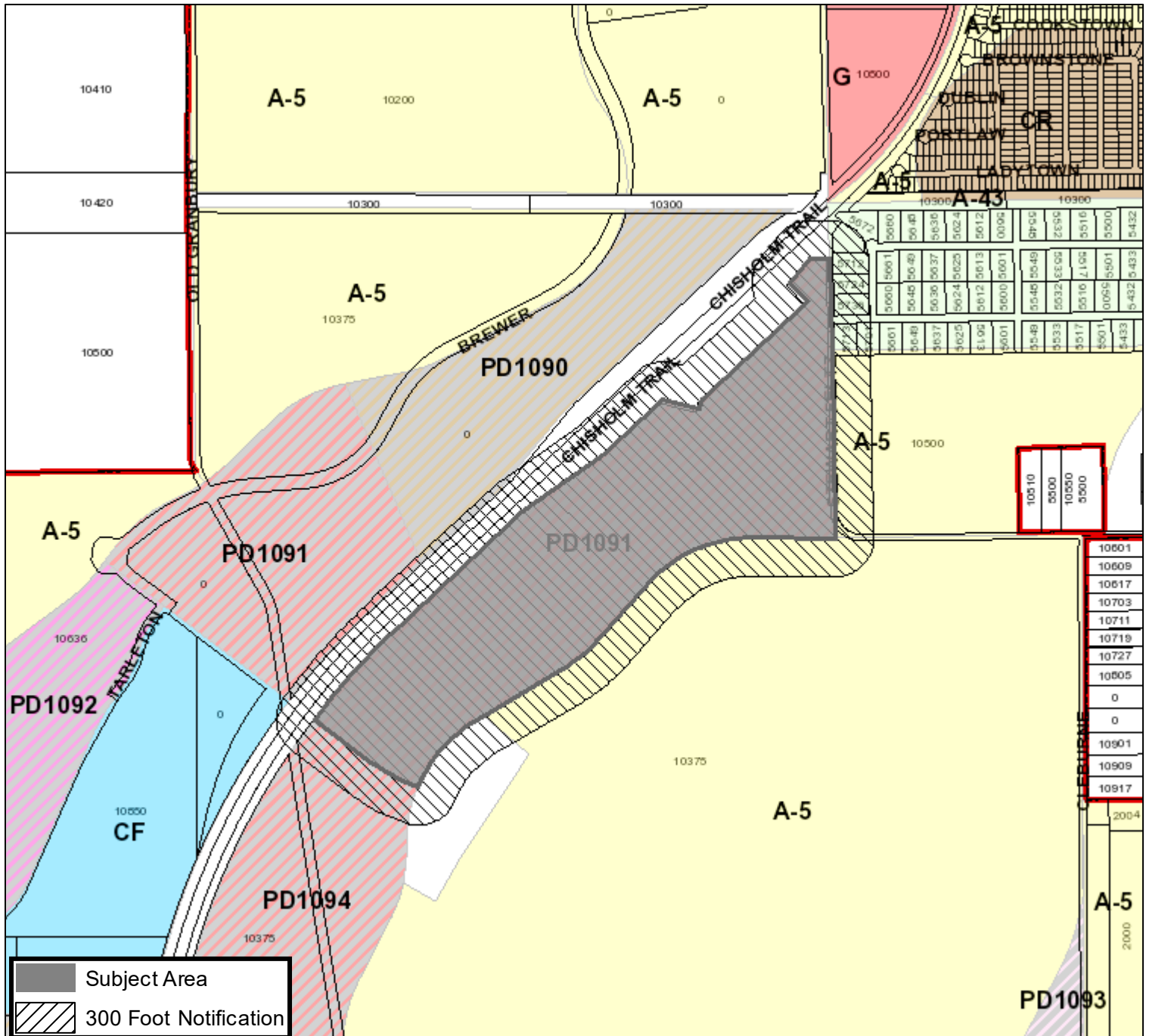
"A comprehensive plan shall not constitute zoning regulations or establish zoning district boundaries."
Texas Local Government Code, Section 219.005.



ZC-24-031

Area Zoning Map

Applicant: Barry Dluzen
 Address: 10375 Old Granbury Road
 Zoning From: PD 1091 (tract 12)
 Zoning To: To add data center to uses, add height waiver to height and site plan
 Acres: 120.92148122
 Mapsco: Text
 Sector/District: Far_Southwest
 Commission Date: 5/8/2024
 Contact: 817-392-2495



0 550 1,100 2,200 Feet

NOTES:

- The Concept Plan is a guide plan and establishes land uses and their general locations. The acreage tabulations shown on the Concept Plan are approximate.
- Road alignments shown are conceptual and subject to further refinement and adjustment at time of preliminary platting and design.
- All streets adjacent to the proposed school site shall be 60' right of way.
- Residential areas and dwelling units as shown may be altered or revised within the development.
- The entire 1,755 acres lies within the City of Fort Worth and is currently vacant.
- The project will utilize City of Fort Worth water and sanitary sewer systems.
- The entire project lies within the Crowley ISD.
- Building lines will be per the City of Fort Worth Zoning Ordinance or Development Design Guidelines whichever is more restrictive.
- Phasing of the property has not been determined and is not shown. Phasing of the property will be determined by future marketing studies and by the completion of proposed Chisolm Trail Parkway.
- According to graphical plotting of the FEMA Flood Insurance Rate Map for Tarrant County, Texas, Incorporated Areas, Panel 410 of 495, Map Number 48439C0410 K, map revised date September 25, 2009, indicates portions of the subject property are located in Zone A, defined as areas inundated by the 100 year flood plain. This statement does not reflect any type of flood study by this firm.
- Areas shown on this exhibit as future Neighborhood Parks shall be suitable for construction of all Phase 1 Neighborhood Park Facilities per the Park, Recreation and Open Space Master Plan. All land proposed as Public Park shall be approved by Parks and Community Services and shown on all plat documents as "Proposed Public Park".
- This plat identifies preliminary need and locations for storm water storage facilities known as detention ponds. It is expressly understood and agreed by the owner or owner's designee of any specific lot or tract within the platted subdivision that the owner or owner's designee of lots or tracts shall be responsible to provide for the final detention volume mitigation during the site development. The preliminary detention storage volume estimate is noted at each location. The final detailed analysis detention volume and required easement may be more or less than shown on this plat. The detention pond design shall be in accordance with the city of fort worth stormwater criteria manual current at the time the final iswm plan is submitted.

Area Development Concept Plan

For 1,755± Acres At

Rock Creek Ranch

in the southwest part of Fort Worth, Tarrant County, Texas

Reference Zoning Case:
TBD

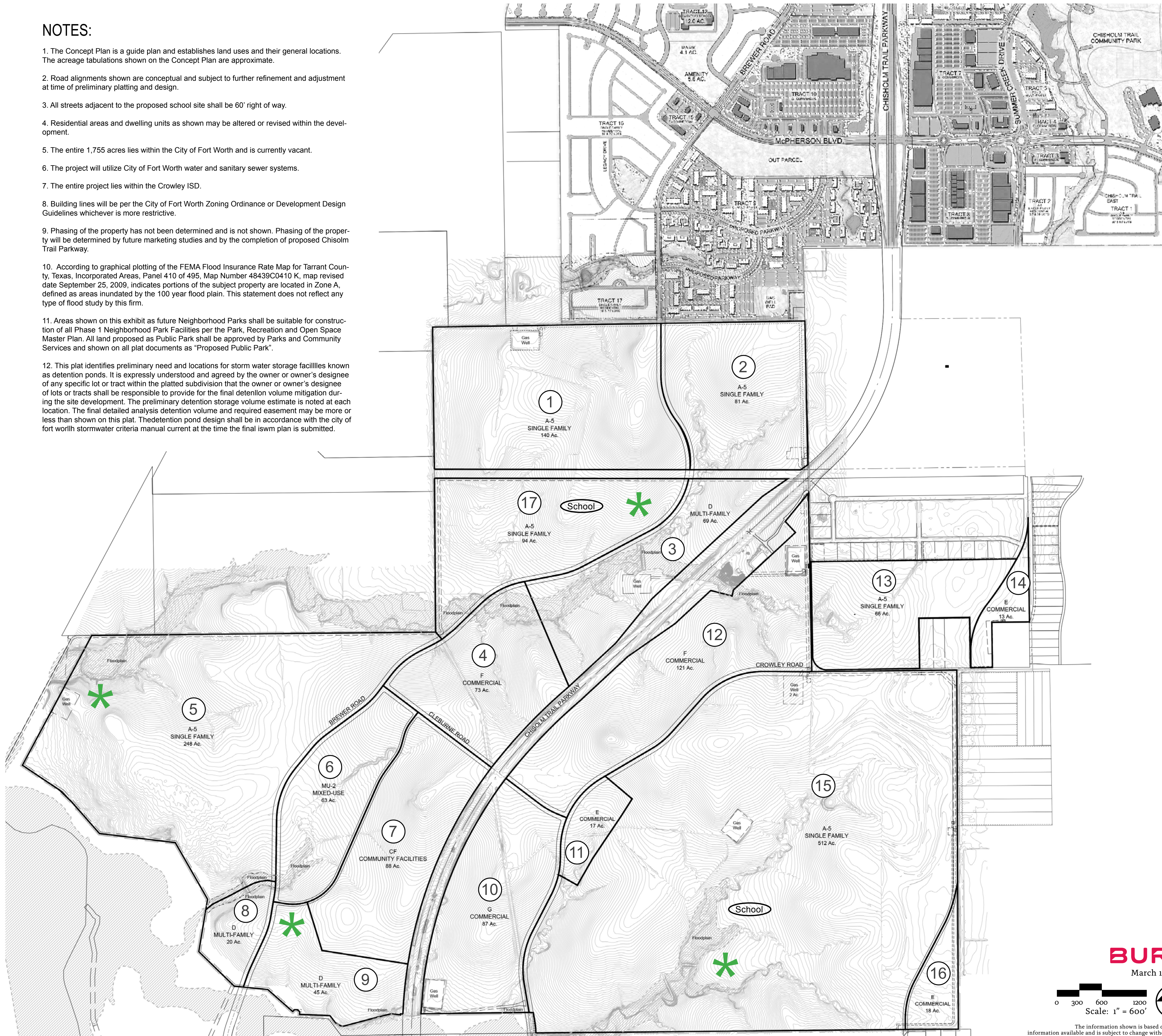
OWNER / DEVELOPER
Walton Development and Management (USA), Inc.
777 Main Street, Suite 600
Fort Worth, TX 76102

ENGINEER / SURVEYOR
BURY, Inc.
5310 Harvest Hill Road, Suite 100
Dallas, TX 75230
(972) 991-0011

LEGEND

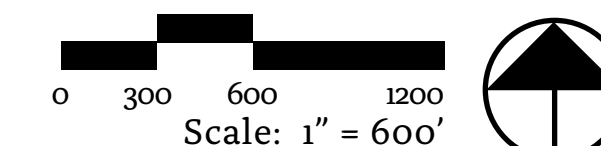
- 1 FT CONTOUR
- FLOODPLAIN
- ZONE BOUNDARY
**ZONE BOUNDARIES ARE FLEXIBLE AND SUBJECT TO CHANGE*
- POTENTIAL SCHOOL
**LOCATION AND NEED TO BE DETERMINED AT LATER DATE*
- NEIGHBORHOOD PARK
**LOCATION TO BE FINALIZED AT LATER DATE*

Tract	± Acres	Land Use	Zoning District
1	140	SF Residential	A-5
2	81	SF Residential	A-5
3	69	Multi-Family	D
4	73	Commercial	F
5	248	SF Residential	A-5
6	63	Mixed Use	MU-2
7	88	Commercial	CF
8	21	Multi-Family	D
9	45	Multi-Family	D
10	87	Commercial	G
11	17	Commercial	E
12	121	Commercial	F
13	66	SF Residential	A-5
14	13	Commercial	E
15	512	SF Residential	A-5
16	18	Commercial	E
17	94	SF Residential	A-5



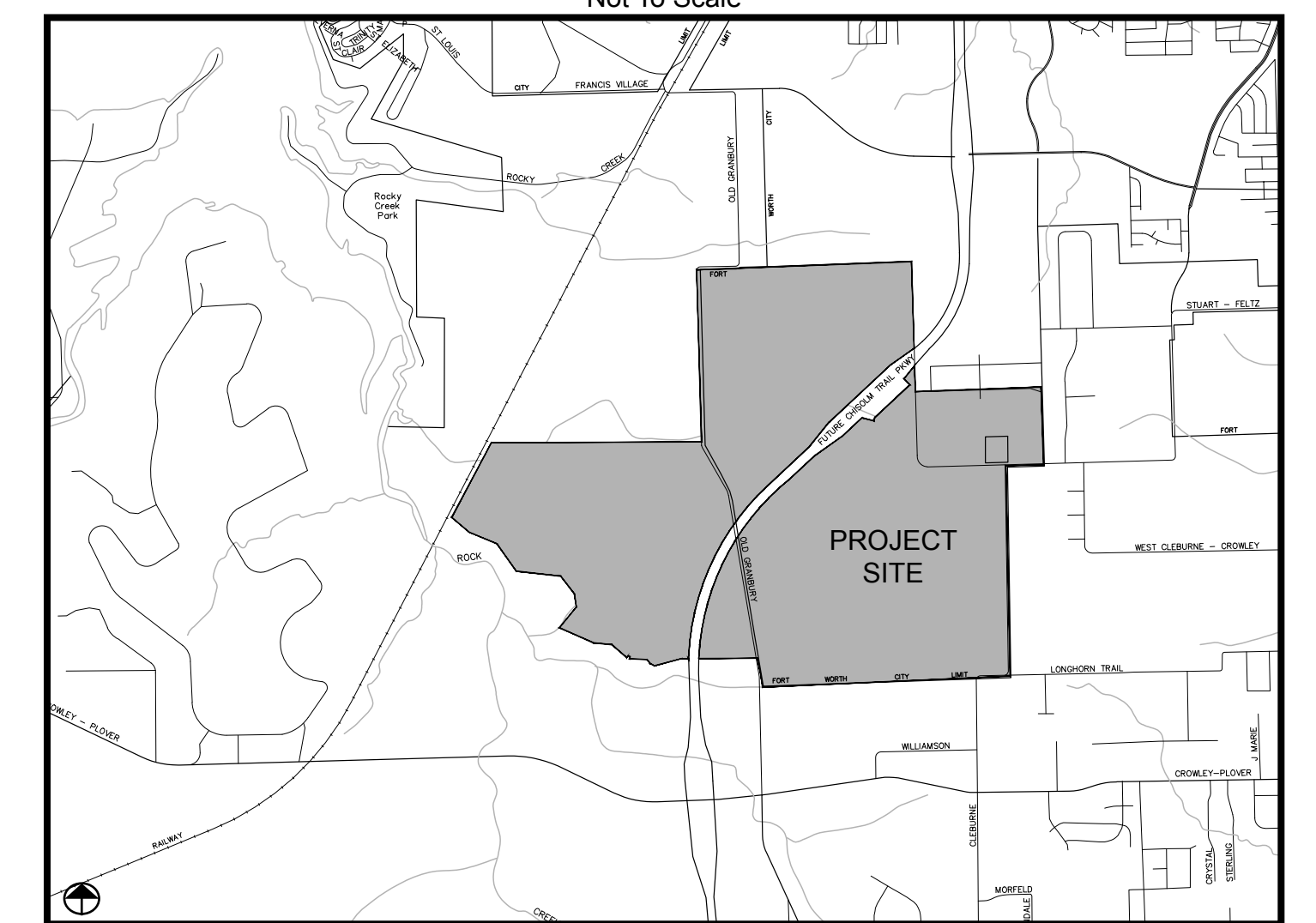
BURY

March 14, 2016

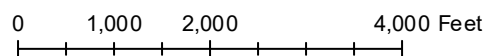
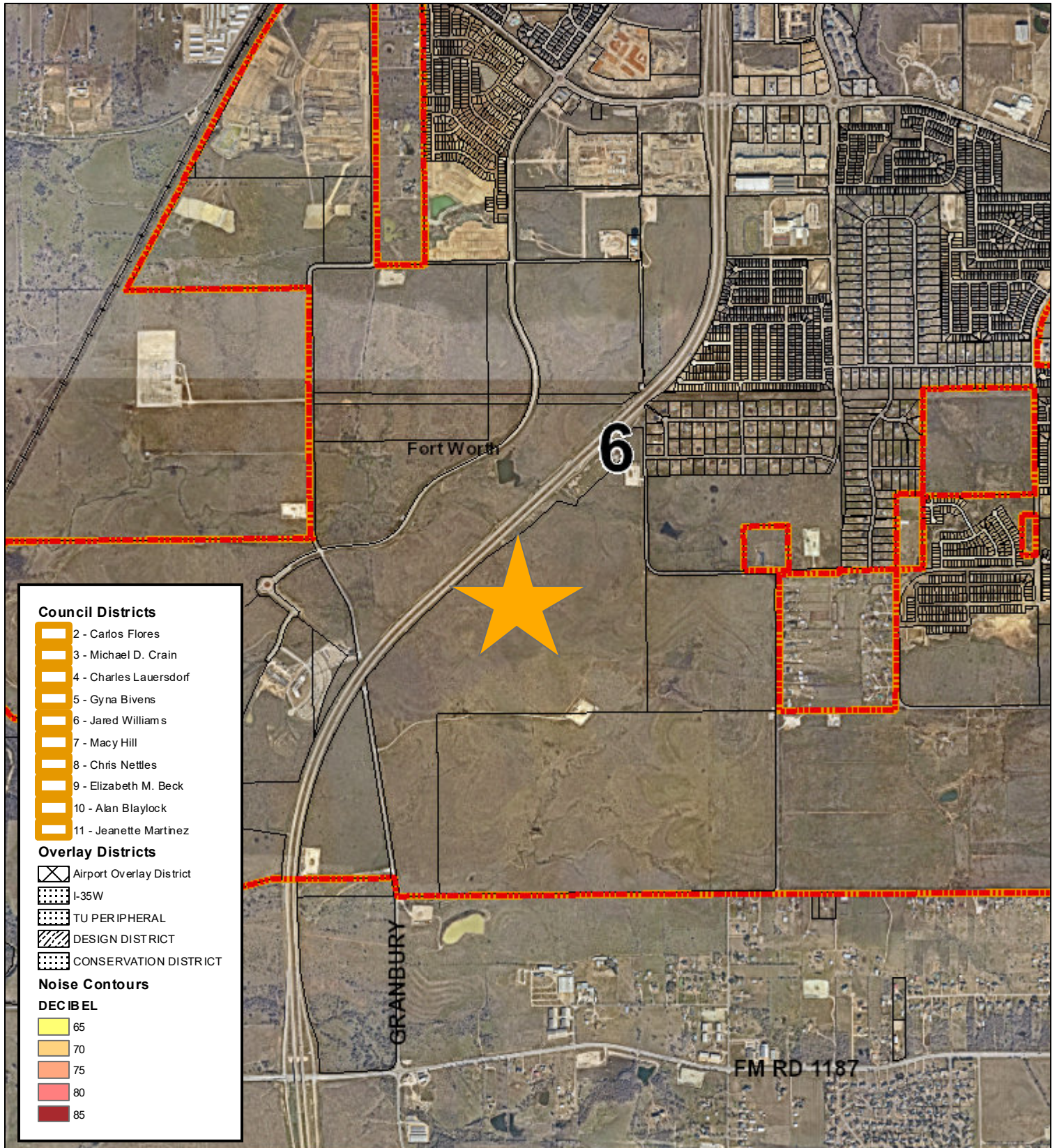


The information shown is based on the best information available and is subject to change without notice.

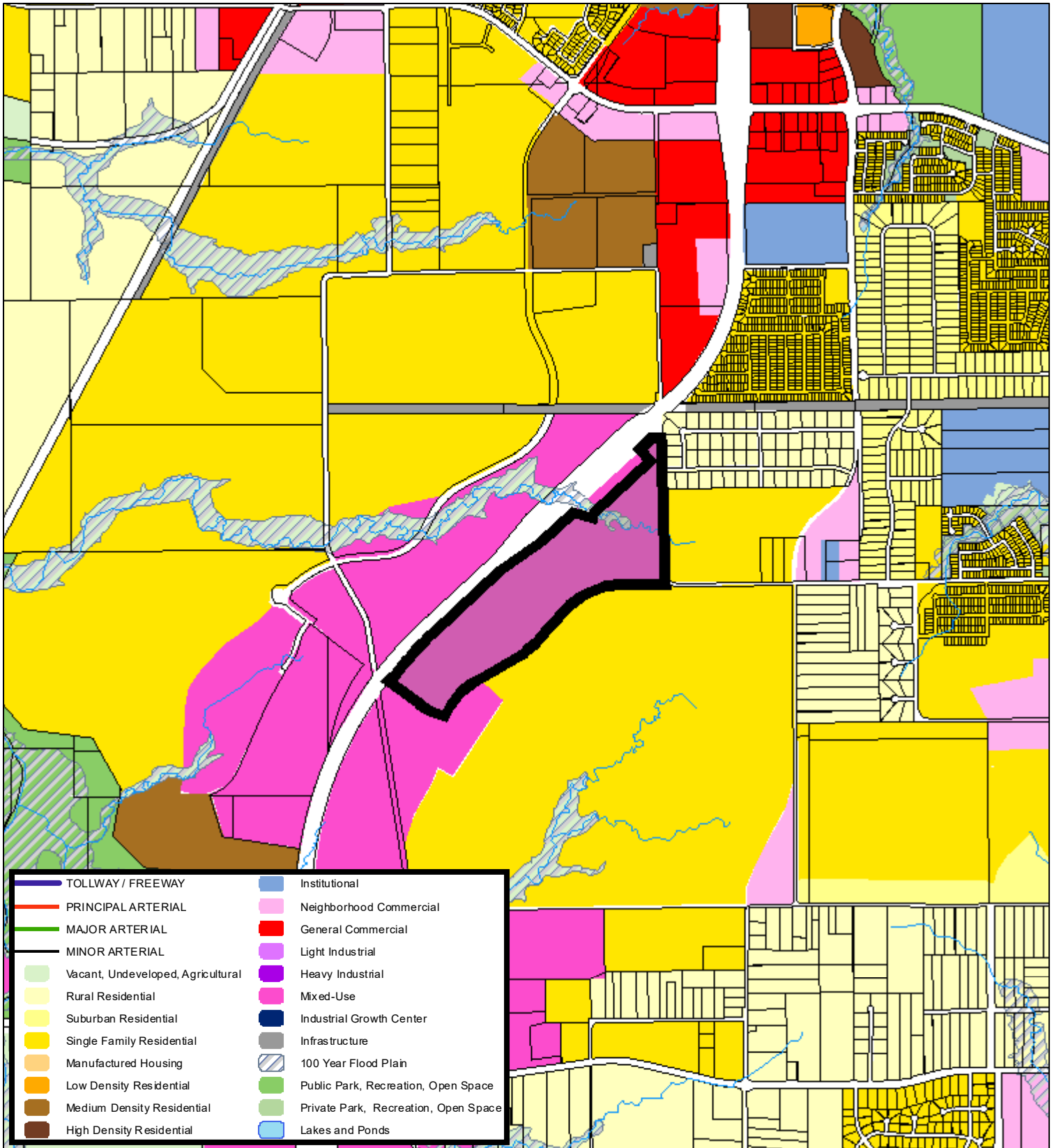
VICINITY MAP
Not To Scale



Area Map



Future Land Use

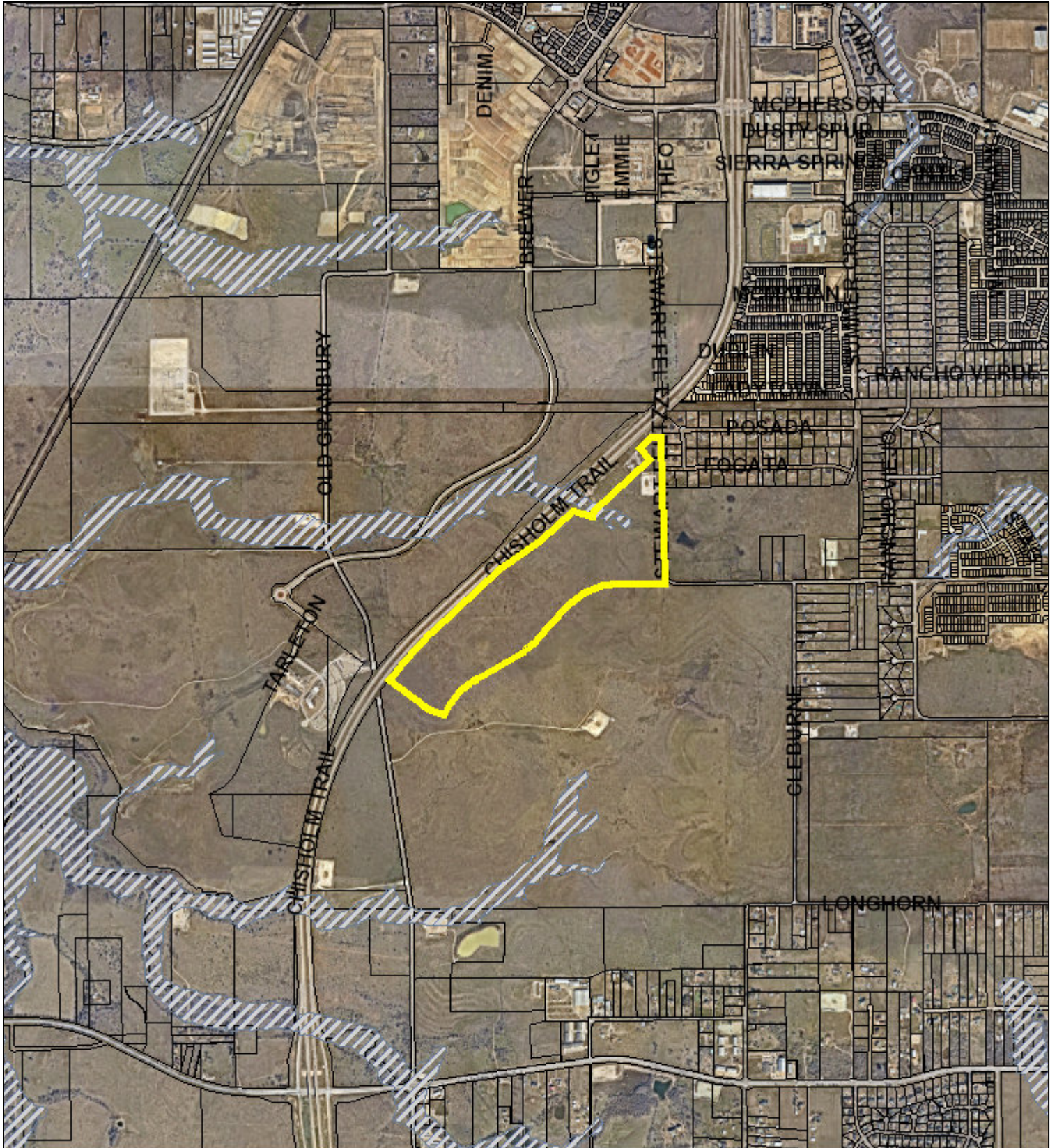


1,800 900 0 1,800 Feet

A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



Aerial Photo Map



0 1,200 2,400 4,800 Feet





Zoning Staff Report

Date: June 12, 2024

Case Number: ZC-24-029

District: All

Zoning Map Amendment

Case Manager: [Stephen Murray](#)

Owner / Applicant: City of Fort Worth

Request

Proposed Use: Text Amendment Batch Plants

Request: An Ordinance amending the Comprehensive Zoning Ordinance of the City of Fort Worth by amending Article 8, “Non-Residential District Use Table,” Section 4.803, “Non-Residential District Use Table”, “Medium and Heavy Industrial”, “Batch plant, concrete or asphalt (permanent)” and “Temporary Uses”, “Batch plant, concrete or asphalt (temporary)”, to remove permanent and temporary batch plant, asphalt or concrete, as a use allowed by right and require a conditional use permit and add a reference to a supplemental use standard; Amending Chapter 4 “District Regulations,” Article 12, “Form-Based Code District Use Table,” Section 4.1203, “District Use Table” to require a conditional use permit for “Batch plant, asphalt or concrete (temporary)”, in low (“MU-1”) and high (“MU-2”) intensity mixed-use districts and add a reference to a supplemental use standard; Amending Chapter 5 “Supplemental Use Standards”, Article 4, “Temporary Uses”, Section 5.401, “Batch plant, asphalt or concrete (temporary)”, to clarify where temporary batch plants are permitted; Amending Chapter 5, “Supplemental Use Standards”, Article 1, “Standards for Selected Uses,” to add Section 5.156 “Batch plant, asphalt or concrete (permanent)” to clarify where permanent batch plants are permitted.

Recommendation

Staff Recommendation:

Approval

Table of Contents

Project Description and Background

The primary purpose of this text amendment is to require a “CUP” Conditional Use Permit for batch plants only within the I, J, and K zoning districts. Batch plants are currently allowed by right in “K” Heavy Industrial and this text amendment would eliminate the by right use within this district. Below is the primary language in the Ordinance.

Chapter 5 “Supplemental Use Standards” of Ordinance No. 21653, the Zoning Ordinance of the City of Fort Worth, is hereby amended to revise Article 1, “Standards for Selected Uses”, to add Section 5.156 “Batch Plant, Asphalt or Concrete (Permanent)” to read as follows:

§ 5.156 BATCH PLANT, ASPHALT OR CONCRETE (PERMANENT).

- (a) A permanent batch plant, asphalt or concrete, shall be limited to districts designated “CUP*” in the use tables in Chapter 4, Articles 8 and 12.

The language for Temporary Batch Plants has been removed.



Zoning Staff Report

Date: June 12, 2024

Case Number: ZC-24-035

Council District: 11

Zoning Map Amendment

Case Manager: [Brett Mangum](#)

Owner / Applicant: Axiom Interests LLC / Umeed Hashmatullah

Site Location: 617 East Ramsey Avenue

Acres: 0.22 acres

Request

Proposed Use: Duplex

Request: From: "A-5" One-Family

To: "B" Two-Family

Recommendation

Land Use Compatibility: Requested change is **not compatible**

Comprehensive Plan Map Consistency: Requested change is **not consistent**

Comprehensive Plan Policy Consistency: Requested change is **consistent**

Staff Recommendation: **Denial**

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- [1. Project Description and Background](#)
- [2. Surrounding Zoning and Land Uses](#)
- [3. Recent Zoning History](#)
- [4. Public Notification](#)
- [5. Development Impact Analysis](#)
 - [a. Land Use Compatibility](#)
 - [b. Comprehensive Plan Consistency](#)
6. Zoning Map with 300 ft. Notification Area
7. Area Map
8. Future Land Use Map
9. Aerial Photograph

Project Description and Background

The property is composed of an undeveloped quarter acre of land near the Hyde Park Addition in Council District 11. The site is a corner lot that is addressed off E. Ramsey Avenue, but has additional street frontage on Atlanta Street to the north, as well as the I-35W southbound frontage road, to the east. The proposal to rezone these lots would change the current “A-5” zoning to “B” zoning. This zoning change, if approved, would allow the construction of two new dwelling units on the site. The new units must meet all “B” standards for two attached units, including 50% maximum building coverage on the lot, 20-foot front yard setback, 5-foot side and rear yard setbacks, 35-foot maximum height, and 2 parking stalls per dwelling unit, situated behind the front building line. A conceptual layout was requested by City staff, but was not supplied by the applicant. “B” zoning does not carry the requirement for a bonafide Site Plan, however a conceptual layout can provide a layer of assurance that the proposed development is in general compliance with the development standards for the proposed zoning.







Surrounding Zoning and Land Uses

- North “A-5” One-Family / undeveloped
- East “A-5” One-Family / Interstate 35W
- South “A-5” One-Family / single family residential
- West “A-5” One-Family / single family residential

Recent Zoning History

- None

Public Notification

300-foot Legal Notifications were mailed on May 31, 2024.
 The following organizations were emailed on May 31, 2024:

Organizations Notified	
United Communities Association of South Fort Worth	Hillside Neighborhood Association
Morningside NA*	Jennings May St Louis NA
Streams and Valleys Inc.	Trinity Habitat for Humanity
Fort Worth ISD	Southeast Fort Worth Inc

**Located closest to this registered Neighborhood Association*

Development Impact Analysis

Land Use Compatibility

The homes in this vicinity of this site are primarily single family residential in nature. This particular area is zoned exclusively for “A-5” single family rather than “B” duplex, so any existing duplexes in the area would be considered legal-nonconforming. Duplexes would be out of character with the existing surroundings. The site is uniquely situated facing three streets, Atlanta Street, E. Ramsey Avenue, and the southbound Interstate 35W frontage road. The triangular shape would be difficult to develop a compliant single family residence here, and developing a duplex would be more difficult to build while meeting all of the development standards listed in Section 4.707 of the Zoning Ordinance. The proximity to this major highway also makes this site less than ideal for residential use, however given the surroundings, the existing “A-5” single family zoning seems to be the most appropriate zoning designation available here. The proposed rezoning to “B” **is not compatible** with the surroundings.

Comprehensive Plan Consistency – Southside Sector

The 2023 Comprehensive Plan currently designates the subject property as future Single-Family Residential on the Future Land Use Map. This designation is analogous to, but not the same as “A-5”, “A-7.5”, “A-10”, and “AR” zones. Duplex or “B” Two-Family zoning would be classified as Low Density Residential under the adopted Future Land Use Plan. The difference between Single-Family Residential and Low Density Residential is negligible as both have a residential character. A duplex would be slightly more intense than a single family residence, but both would be less intensive uses than commercial or industrial zoning.

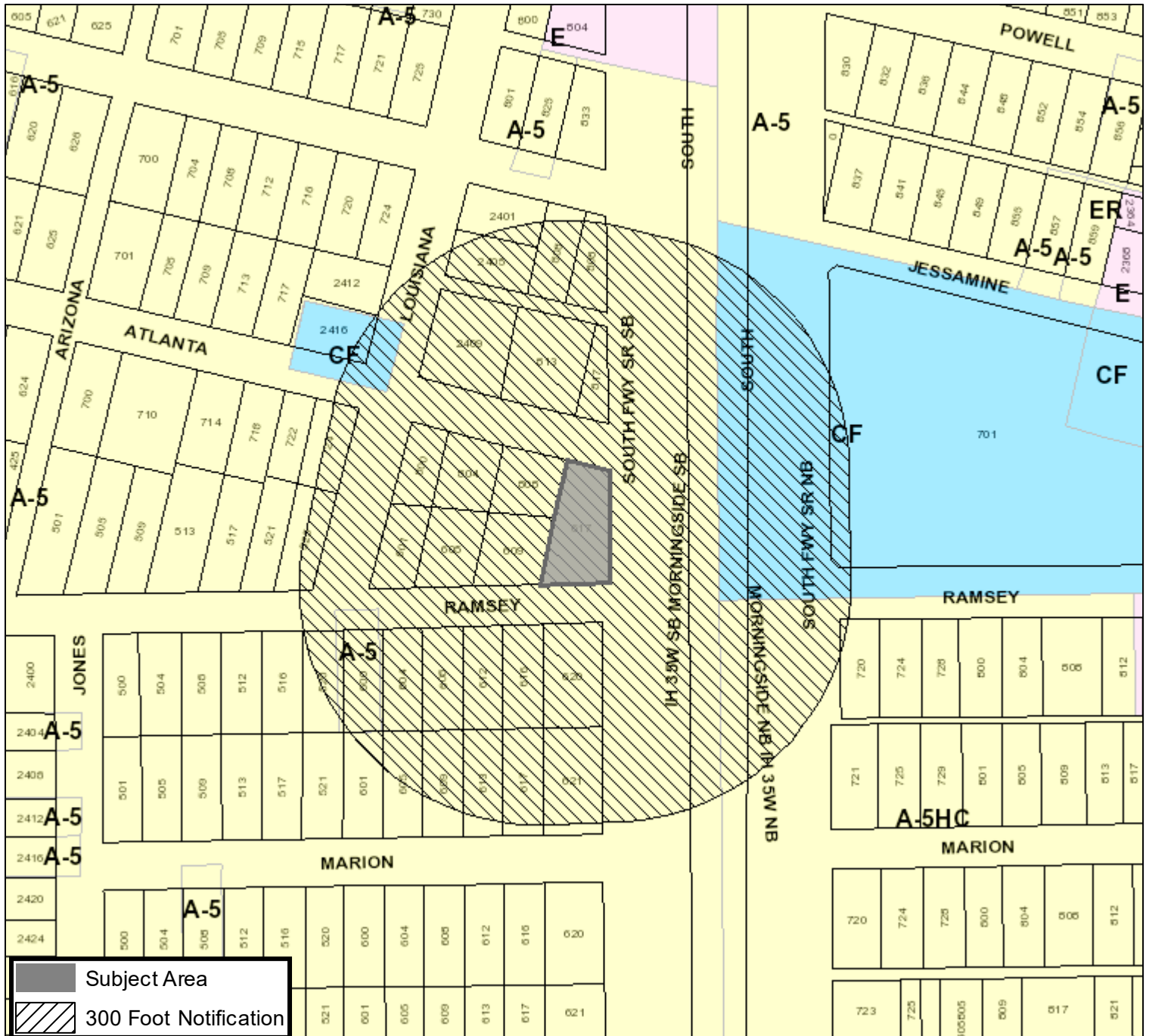
While the proposed zoning is not strictly consistent with the map designation for this area, the proposed zoning **is consistent** with the following policies of the Comprehensive Plan:



- Promote a variety of housing choices
- Encourage infill of compatible housing

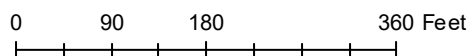
The proposed zoning **is not consistent** with the Comprehensive Plan Future Land Use Map designation. If this zoning change request is approved, staff recommends that the Future Land Use Map also be updated to reflect this change.

Area Zoning Map

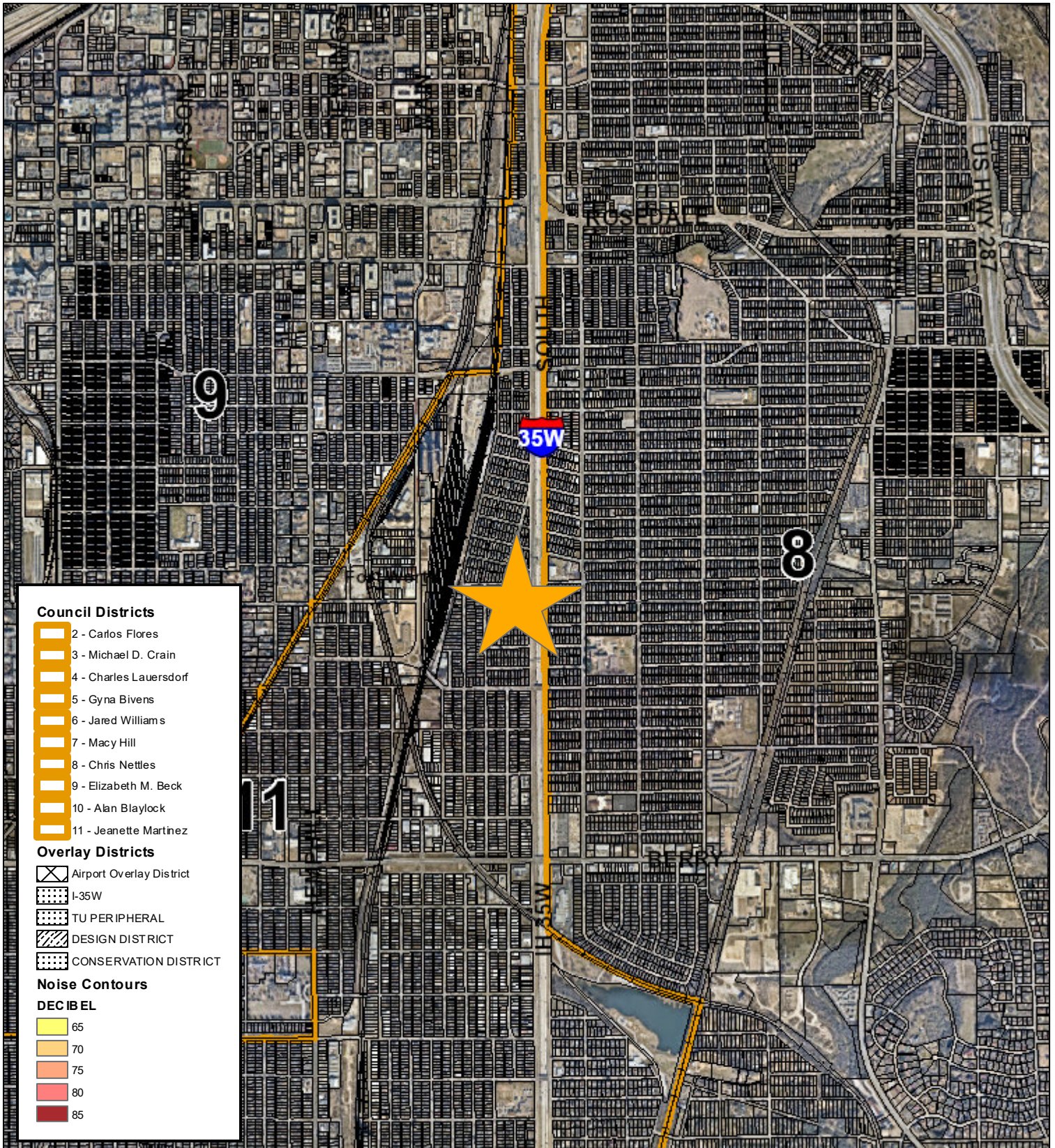
Applicant: Umeed Hashmatullah
 Address: 617 E. Ramsey Avenue
 Zoning From: A-5
 Zoning To: B
 Acres: 0.24108053
 Mapsco: Text
 Sector/District: Southside
 Commission Date: 6/12/2024
 Contact: 817-392-8043



	Subject Area
	300 Foot Notification



Area Map



Council Districts

- 2 - Carlos Flores
- 3 - Michael D. Crain
- 4 - Charles Lauerdsdorf
- 5 - Gyna Bivens
- 6 - Jared Williams
- 7 - Macy Hill
- 8 - Chris Nettles
- 9 - Elizabeth M. Beck
- 10 - Alan Blaylock
- 11 - Jeanette Martinez

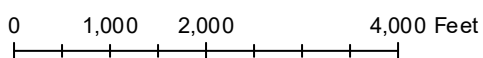
Overlay Districts

- Airport Overlay District
- I-35W
- TU PERIPHERAL
- DESIGN DISTRICT
- CONSERVATION DISTRICT

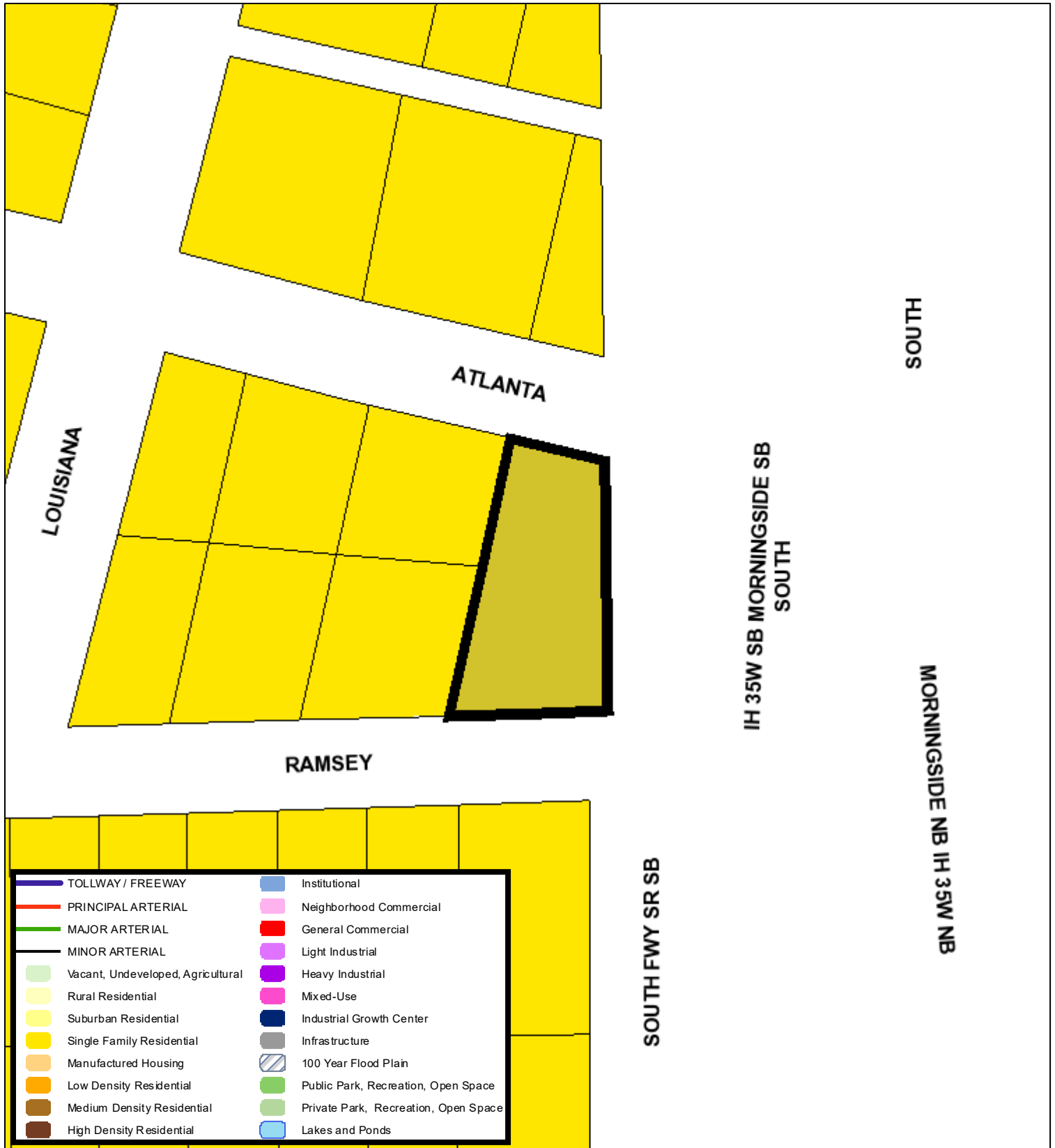
Noise Contours

DECIBEL

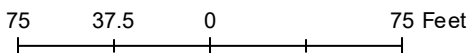
- 65
- 70
- 75
- 80
- 85



Future Land Use



TOLLWAY / FREEWAY	Institutional
PRINCIPAL ARTERIAL	Neighborhood Commercial
MAJOR ARTERIAL	General Commercial
MINOR ARTERIAL	Light Industrial
Vacant, Undeveloped, Agricultural	Heavy Industrial
Rural Residential	Mixed-Use
Suburban Residential	Industrial Growth Center
Single Family Residential	Infrastructure
Manufactured Housing	100 Year Flood Plain
Low Density Residential	Public Park, Recreation, Open Space
Medium Density Residential	Private Park, Recreation, Open Space
High Density Residential	Lakes and Ponds



A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



Aerial Photo Map



0 45 90 180 Feet





Zoning Staff Report

Date: June 12, 2024

Case Number: ZC-24-036

Council District: 5

Zoning Map Amendment

Case Manager: [Alondra Salas-Beltré](#)

Owner / Applicant: Jeremis Smith Investment / Angela Hayes

Site Location: 5401 Turner Street

Acreage: 0.77 acres

Request

Proposed Use: Residential

Request: From: “A-7.5/SS” One-Family/Stop Six Overlay

To: “AR/SS” One-Family Zero Lot Line/Stop Six Overlay

Recommendation

Land Use Compatibility: Requested change **is not compatible**

Comprehensive Plan Map Consistency: Requested change **is consistent**

Comprehensive Plan Policy Consistency: Requested change **is not consistent**

Staff Recommendation: **Denial**

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 - [a. Land Use Compatibility](#)
 - [b. Comprehensive Plan Consistency](#)
6. Zoning Map with 300 ft. Notification Area
7. Area Map
8. Future Land Use Map
9. Aerial Photograph

Project Description and Background

The proposed rezoning site is in the Stop Six Overlay within Council District 5, NEZ Area 6. It is located at the northeast corner of Turner and Mount Horum. The applicant intends to convert the current "A-7.5" One-Family zoning to "AR" One-Family restricted zoning to subdivide the vacant lot into eight single-family lots.

In 2005, the subject property was part of a Council-Initiated rezone from "B" Two-family residential to A-7.5 "One-family residential." The existing A-7.5 zoning requires a minimum lot size of 7,500 square feet and 55 feet in width. However, the proposed zoning requires a minimum lot area of 3,500 square feet and a minimum lot width of 35 feet at the building line.

The setback requirements for AR are a minimum front yard of 20 feet, a minimum rear yard of 5 feet, and a side yard of 10 feet on one side and 0 feet on the other parallel. Additionally, per the subdivision ordinance, lots less than 50 feet wide must provide rear access entry.

The Stop Six Overlay contains the following requirements for new single-family construction:

ELEMENT	STANDARD
Building Materials	At least 70% of all sides of a new residential structure shall be masonry: stone, brick, terra cotta, patterned pre-cast concrete, cement board siding, cast stone or prefabricated brick panels
Garages	A 2-car garage is required. Garages facing the street shall be located at or behind the front wall and shall not project in front of the front wall. All required parking spaces above 2 shall be behind the front wall.
Building Design and Architectural Features	<input type="checkbox"/> Homes shall have an entry feature such as a porch or stoop that faces the street. <input type="checkbox"/> Open porches can extend up to 10 feet into the minimum front yard to encourage larger porches. If a porch is provided, it shall be a minimum 6 feet in depth. <input type="checkbox"/> Homes shall have a minimum of one 8 square foot window on all sides of the house. The front wall shall have a minimum total window area of 16 square feet. <input type="checkbox"/> Front doors shall face the public street and shall be visible from the public street. Front door openings shall not be recessed more than 6 feet from the front wall of the home.
Landscaping	Landscaping shall be kept to allow visibility to and from street-facing doors and windows. A variety of landscape plants and materials in the front yard is highly encouraged.

Surrounding Zoning and Land Uses

North “A-7.5” One-Family/ vacant
East “A-7.5” One-Family/ vacant
South “A-7.5” One-Family / single family
West “A-7.5” One-Family / vacant

Recent Zoning History

- ZC-16-170 Council Initiated rezoning to remove Historic Overlay
- ZC-19-116 Council Initiated rezoning to add Stop Six Design Overlay

Public Notification

300-foot Legal Notifications were mailed on May 31, 2024.
The following organizations were notified: (emailed May 31, 2024)

Organizations Notified	
Parkside NA	Stop Six Sunrise Edition NA*
Stop 6/Poly Oversight	Echo Heights Stop Six Environmental Coalition
East Fort Worth, Inc.	Streams and Valleys Inc
Trinity Habitat for Humanity	Southeast Fort Worth Inc
Fort Worth ISD	

** Located within this registered Neighborhood Association*

Development Impact Analysis

Land Use Compatibility

The property in question is located within an A-7.5 district. All the neighboring properties are also under this zoning until the intersection with Stalcup, where commercial zoning starts.

The proposed AR zoning minimum lot size is 3500 sq. ft., less than half of the 7500 sq. ft. allowed in the current A-7.5 zoning. This proposed change deviates significantly from the established zoning, not only in terms of lot size but also in terms of how the lots are accessed. According to the exhibit provided by the applicant, the lots will be configured to face Mount Horum.

After a thorough assessment, staff has concluded that the difference in lot sizes makes the zoning change request incompatible with the surrounding zoning. Therefore, the applicant is strongly advised to keep the

existing A-7.5 zoning or apply for A-5 zoning. Although A-5 has a smaller lot size of 5000 sq. ft. and 50' width, the difference is less significant than that between A-7.5 and AR.

As such, the proposed zoning is **not compatible** with the surrounding land uses.

Comprehensive Plan Consistency – Southeast

The 2023 Adopted Comprehensive Plan designates the property as Single Family Residential although the proposed zoning **is consistent** with the Future Land Use Designation, **it is not consistent** with following policies of the Comprehensive Plan:

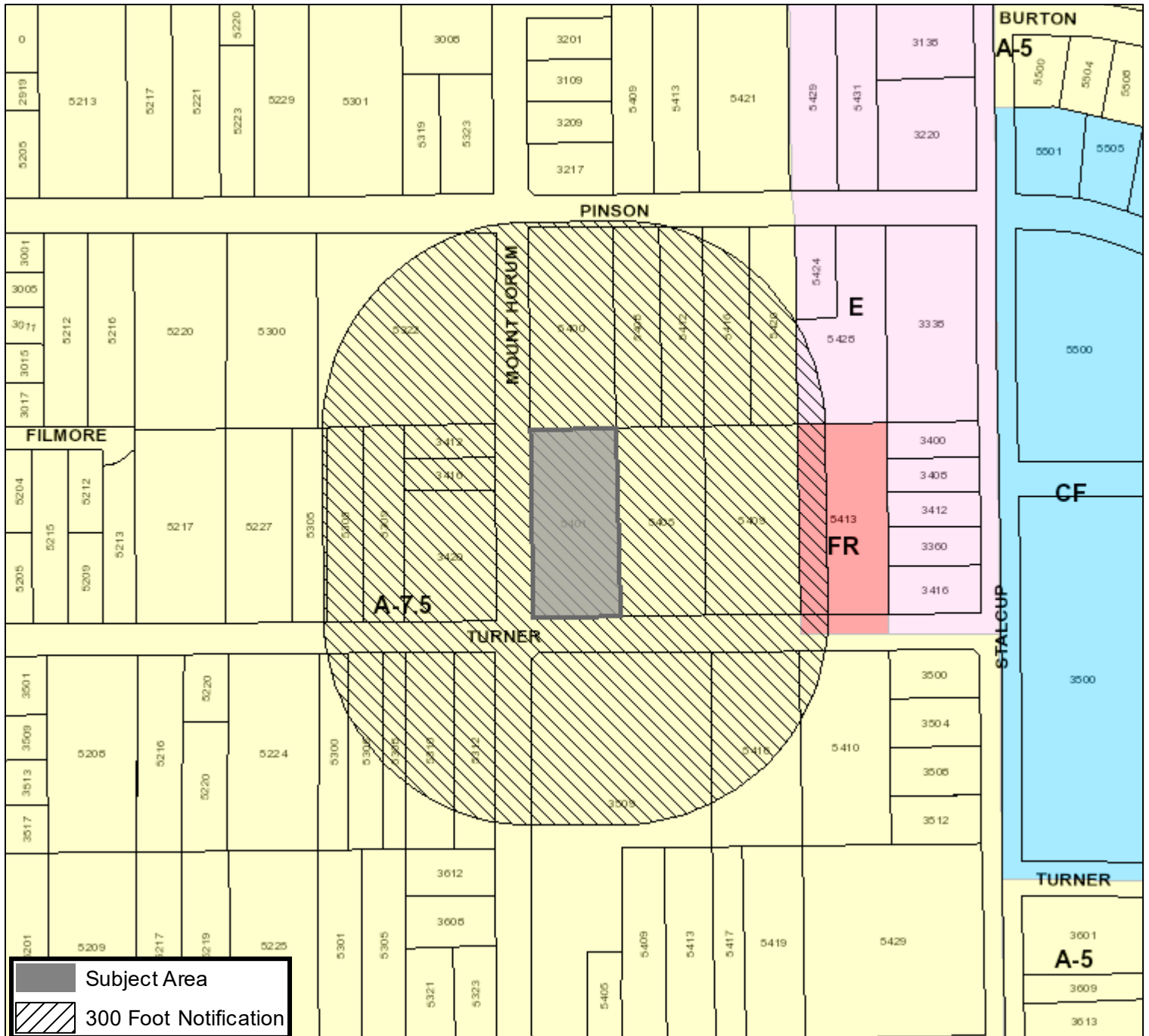
1. Promote measures to ensure that all types of residential developments are compatible in scale to abutting residential developments. A dramatic difference in lot size and units per acre should be discouraged for new development.





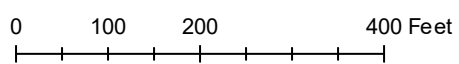
ZC-24-036

Area Zoning Map

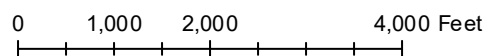
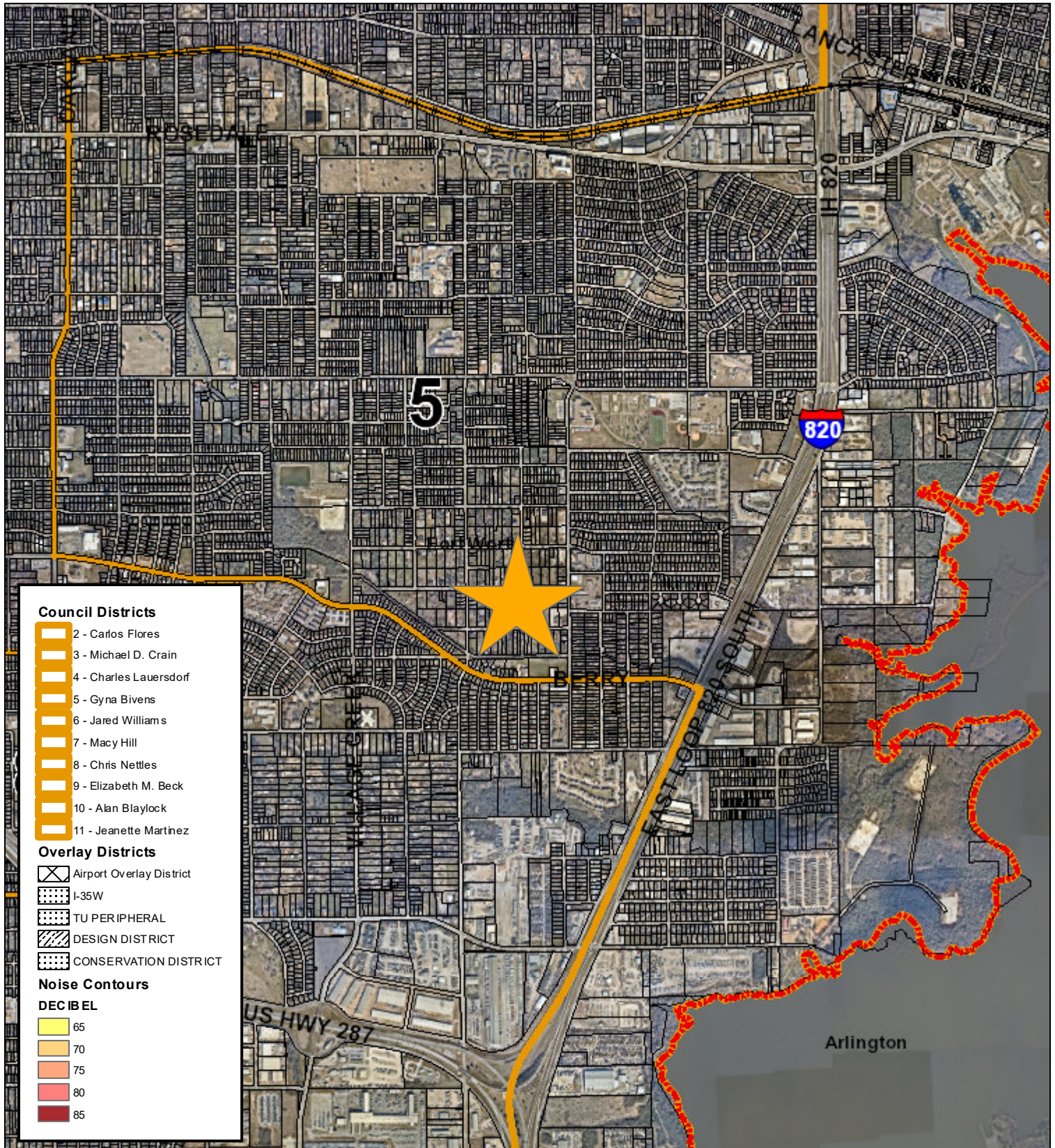
Applicant: Jeremis Smith Investments
 Address: 5401 Turner Street
 Zoning From: A-7.5
 Zoning To: AR
 Acres: 0.77667605
 Mapsco: Text
 Sector/District: Southeast
 Commission Date: 6/12/2024
 Contact: 817-392-2495



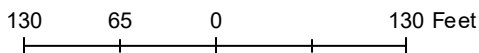
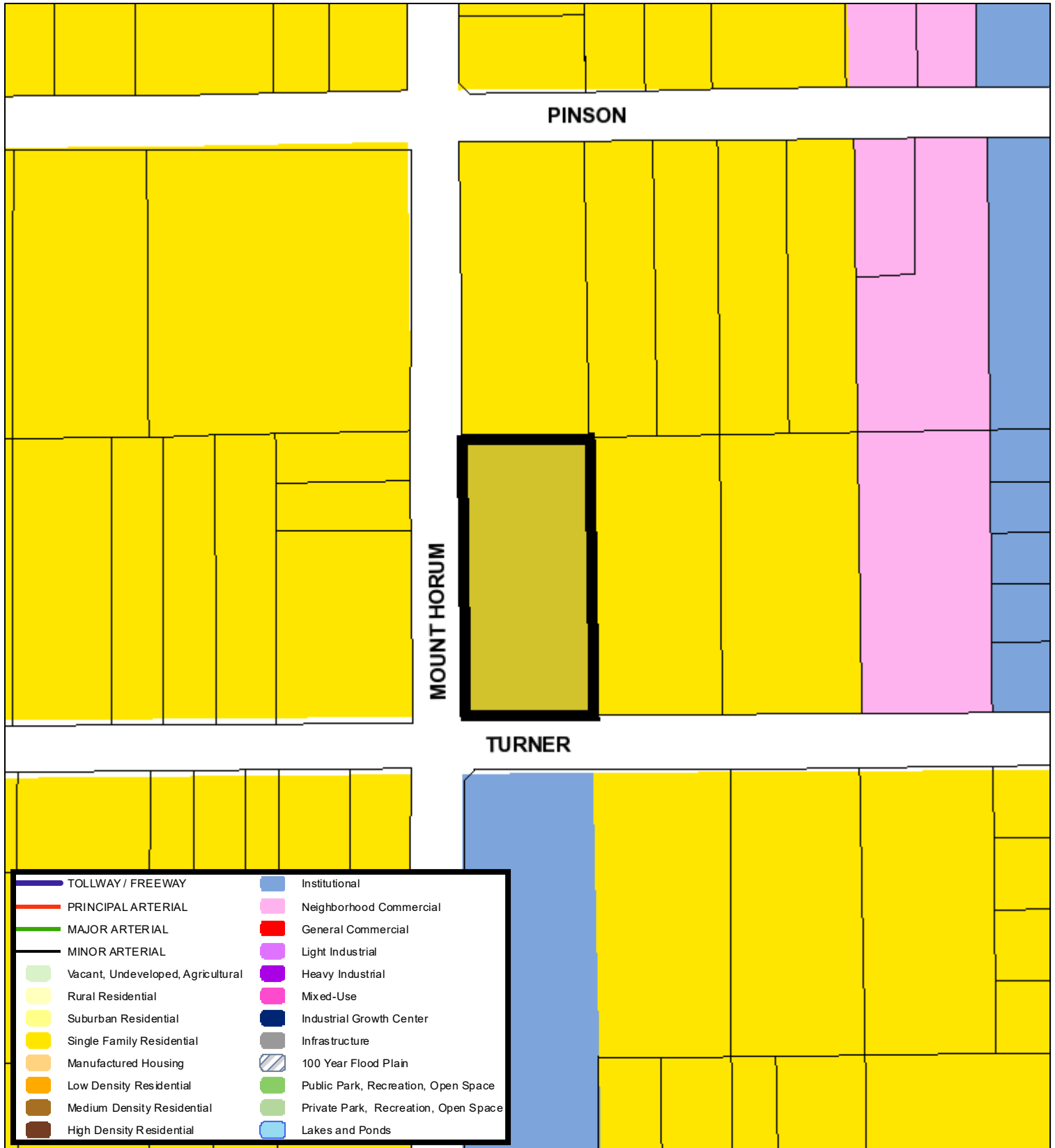
 Subject Area
 300 Foot Notification



Area Map



Future Land Use



Aerial Photo Map



0 80 160 320 Feet





Zoning Staff Report

Date: June 12, 2024

Case Number: ZC-24-038

Council District: 7

Zoning Map Amendment

Case Manager: [Brett Mangum](#)

Owner / Applicant: LGI Homes – Texas, LLC / Elaine Torres & Matt Gilbertson

Site Location: 11310 Old Weatherford Road

Acres: 5.22 acres

Request

Proposed Use: Commercial

Request: From: “C” Medium Density Multifamily

To: “E” Neighborhood Commercial

Recommendation

Land Use Compatibility: Requested change **is compatible**

Comprehensive Plan Map Consistency: Requested change **is consistent**

Comprehensive Plan Policy Consistency: Requested change **is consistent**

Staff Recommendation: **Approval**

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2. [Surrounding Zoning and Land Uses](#)
3. [Recent Zoning History](#)
4. [Public Notification](#)
5. [Development Impact Analysis](#)
 - a. [Land Use Compatibility](#)
 - b. [Comprehensive Plan Consistency](#)
6. Zoning Map with 300 ft. Notification Area
7. Overall Land Plan
8. Concept Layout
9. Area Map
10. Future Land Use Map
11. Aerial Photograph

Project Description and Background

The property is located at the south east corner of Westpoint Blvd. & Tierra Madre Blvd. in Council District 7. This is vacant land adjacent to Vista West II - Phase 2 residential development that is currently under construction. The applicant is seeking to rezone from “C” Medium Density Multifamily to “E” Neighborhood Commercial, a low intensity non-residential zoning classification that would allow for commercial and retail uses. “E” zoning does not require a Site Plan to accompany the application, however providing an exhibit can give staff a better understanding of the intended layout, scope, and function of the proposed development. The following illustration layout was provided by the applicant:



No new construction or buildings are planned at this time. The basic “E” development standards are included below for reference:

Neighborhood Commercial, "E" District	
Front yard*	20 feet minimum; 0 feet minimum when fronting an arterial street**
Rear yard*	10 feet minimum unless adjacent to residential district, where 15 feet minimum required
Side yard*	
Interior lot	5 feet minimum adjacent to residentially zoned lot, none otherwise. If provided, side yard must be 3 feet minimum
Corner lot**	None required unless through lot, then 10 feet minimum required
Height	3 stories or 45 feet maximum provided, however, stealth telecommunication towers are permitted to a height of 60 feet; telecommunication towers are permitted to a height of 45 feet as a special exception approved by the board of adjustment
Notes:	
* Additional setback may be required see Chapter 6, Development Standards, § 6.300, Bufferyard and Supplemental Building Setback.	
** May be subject to projected front yard (§6.101(f))	





Surrounding Zoning and Land Uses

North "CR" Low Density Multifamily / Tarrant Regional Water facility
East "A-5" One Family Residential / single family residential
South "C" Medium Density Multifamily / detention pond
West "E" Neighborhood Commercial / undeveloped

Recent Zoning History

- None

Public Notification

300-foot Legal Notifications were mailed on May 31, 2024.
The following organizations were emailed on May 31, 2024:

Organizations Notified	
FW Vista West HOA*	White Settlement ISD
Streams and Valleys Inc	Trinity Habitat for Humanity

**Located closest to this registered Neighborhood Association*

Development Impact Analysis

Land Use Compatibility

This section of Fort Worth is largely undeveloped at the present time, however there are neighborhoods actively under construction in the area, bringing new homes that will need commercial spaces to support them. The proposed commercial zoning is appropriate being that the site is located near what will be a major intersection at the entrance to a neighborhood (Vista West). The proposed zoning **is compatible** with surrounding land uses.

The current "C" multifamily zoning is not conducive to traditional garden apartment development due to its topography and relatively small size.

Comprehensive Plan Consistency – Far West Sector

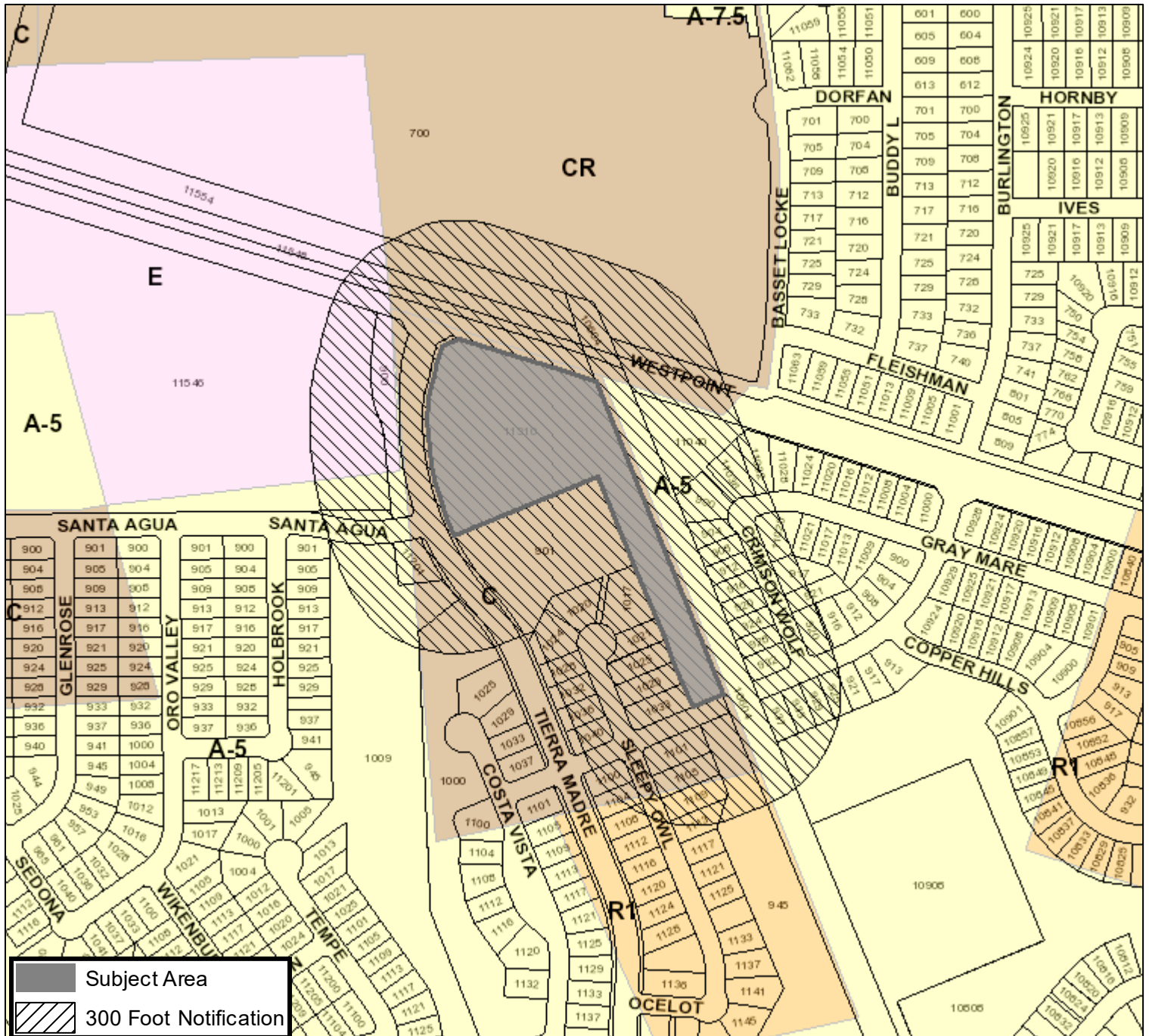
The 2023 Comprehensive Plan designates the property as *future open space*. The ideal state of land designated this way would be utilized as public or private recreation, or as passive land. The proposed zoning **is consistent** with the Comprehensive Plan map designation.



Policy-wise this change **is consistent** with the Comprehensive Plan in that will allow for a more sustainable tax base, driven less by residential property valuation and more by commercial and industrial investment. The conversion of this property to a commercial zoning allows for the continued diversification of the tax base and provides nonresidential development areas along a major roadway corridor emanating from the downtown core.

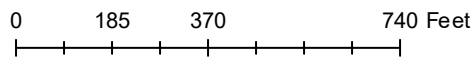


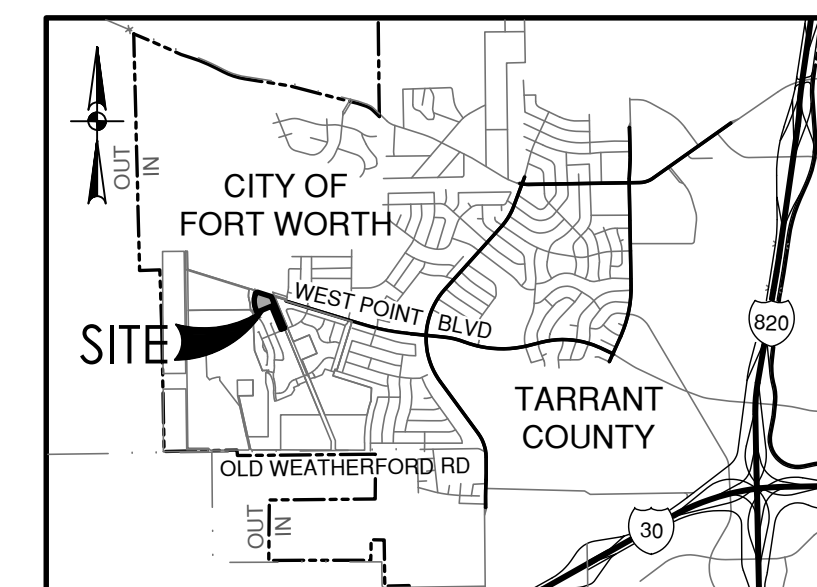
Area Zoning Map

Applicant: LGI Homes-Texas LLC/Elaine Torres
 Address: 11310 Old Weatherford Road
 Zoning From: C
 Zoning To: E
 Acres: 5.14346201
 Mapsco: Text
 Sector/District: Far_West
 Commission Date: 6/12/2024
 Contact: 817-392-8043



	Subject Area
	300 Foot Notification





LOCATION MAP
NOT-TO-SCALE

LEGEND

- PROPERTY BOUNDARY
- 3.27 ACRES (NET) TO BE REZONED AS "E" NEIGHBORHOOD COMMERCIAL
- 1.95 ACRES OF UNUSABLE PROPERTY
- BUILDING OUTLINE
- EXISTING EASEMENT

SITE DATA SUMMARY TABLE

SITE AREA	5.22 AC (GREEN + RED)
USABLE SITE AREA	3.27 AC (GREEN)
EXAMPLE BUILDING AREA (GROSS SQ. FOOTAGE)	- ESTIMATED AVAILABLE RETAIL/QSR = 20,000 SF - AS SHOWN = 15,800 SF
PARKING REQUIRED	78*
PARKING DISPLAYED ON EXHIBIT	111**
ASSUMED PARKING RATIO	1 PER 250 SF (RETAIL) 1 PER 100 SF (QSR)

* PARKING REQUIREMENTS BASED ON TYPE OF DEVELOPMENT SHOWN IN EXHIBIT (RETAIL & QSR)
** FINAL PARKING COUNT TO BE DETERMINED DURING DESIGN PHASE

CONCEPT DESIGN CRITERIA:

MINIMUM DRIVEWAY SPACING CRITERIA:
WESTPOINT BLVD (NEIGHBORHOOD CONNECTOR):
- 250' DRIVEWAY TO STREET INTERSECTION

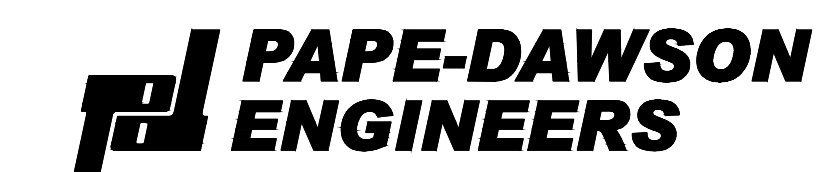
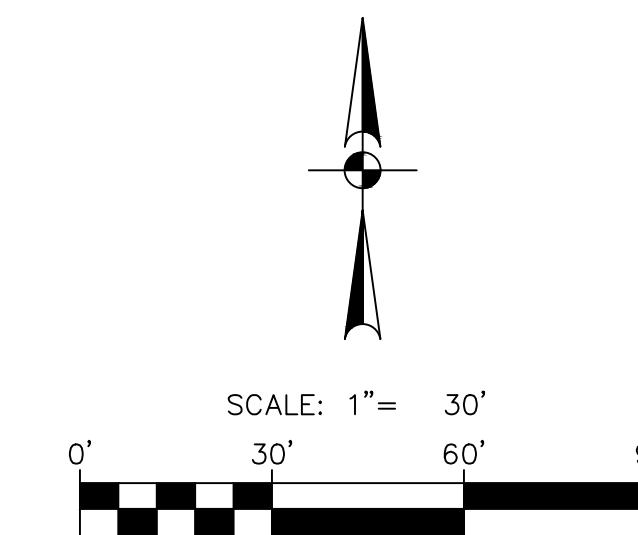
TIERRA MADRE BLVD (COLLECTOR STREET):
- 100' DRIVEWAY TO STREET INTERSECTION (MEETS REQUIREMENT)

SITE PLAN NOTES:
- SIZE OF EXAMPLE BUILDINGS ARE SUBJECT TO CHANGE BASED ON TENANT DEMANDS - EXAMPLE BUILDINGS SHOWN FOR ILLUSTRATION
- DETENTION NOT REQUIRED IF LESS THAN 90% IMPERVIOUS
- EXISTING WATER & SEWER STUBOUTS AVAILABLE AT THE SOUTHWESTERN CORNER OF THE PROPERTY

CURRENT ZONING:
- "C" MEDIUM DENSITY MULTIFAMILY (24 UNITS/ACRE)

PROPOSED ZONING:
- "E" NEIGHBORHOOD COMMERCIAL

VISTA WEST - CONCEPTUAL COMMERCIAL SITE PLAN
FORT WORTH, TEXAS



6105 TENNYSON PKWY, STE 210 | PLANO, TX 75024 | 214.420.8494
TEXAS ENGINEERING FIRM #470 | TEXAS SURVEYING FIRM #10194390

Date: May 28, 2024, 9:48am User ID: edaffis
 File: W:\Projects\170113\13\03\13_03_04_4 Exhibit_240528_Vista West Commercial Tract.dwg



PHASE 1 50's = 173 LOTS 60's = 81 LOTS TOTAL LOTS 254	PHASE 2 50's = 211 LOTS	PHASE 3 50's = 183 LOTS 60's = 53 LOTS TOTAL LOTS 236	PHASE 4 50's = 142 LOTS	PHASE 5 50's = 127 LOTS	PHASE 6 50's = 129 LOTS	PHASE 7 50's = 126 LOTS
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COMMERCIAL
5.33 ac

SUMMARY
50's = 1,091 LOTS 72%
60's = 134 LOTS 28%
TOTAL LOTS 1,225

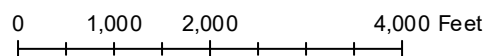
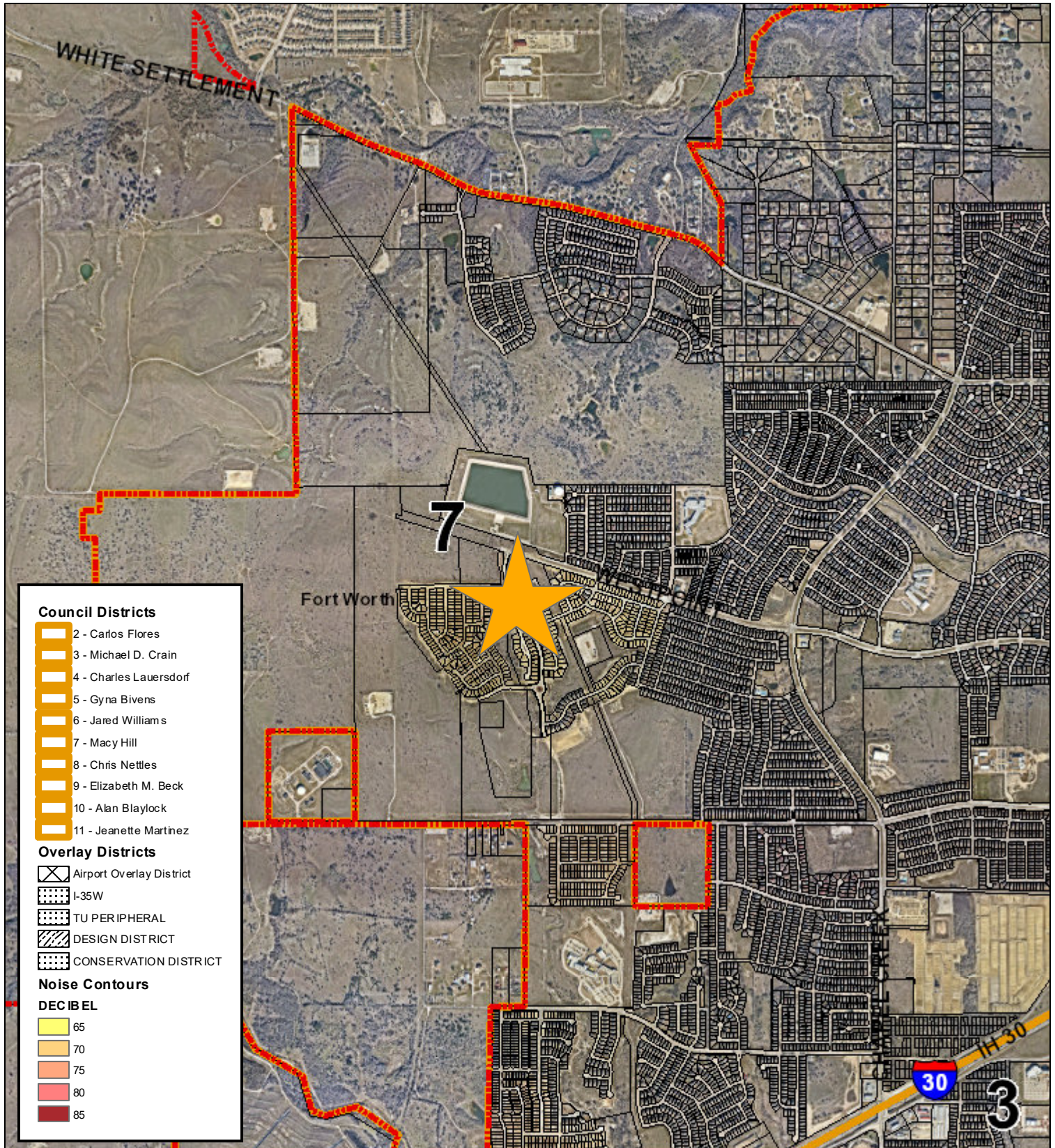
PHASING PLAN FOR
VISTA WEST II

PAPE-DAWSON ENGINEERS
HOUSTON | SAN ANTONIO | AUSTIN | FORT WORTH | DALLAS
10350 RICHMOND AVE, STE 200 | HOUSTON, TX 77042 | 713.428.2400
TBPPE FIRM REGISTRATION #470 | TBPES FIRM REGISTRATION #10193974

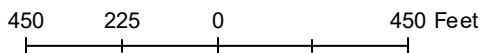
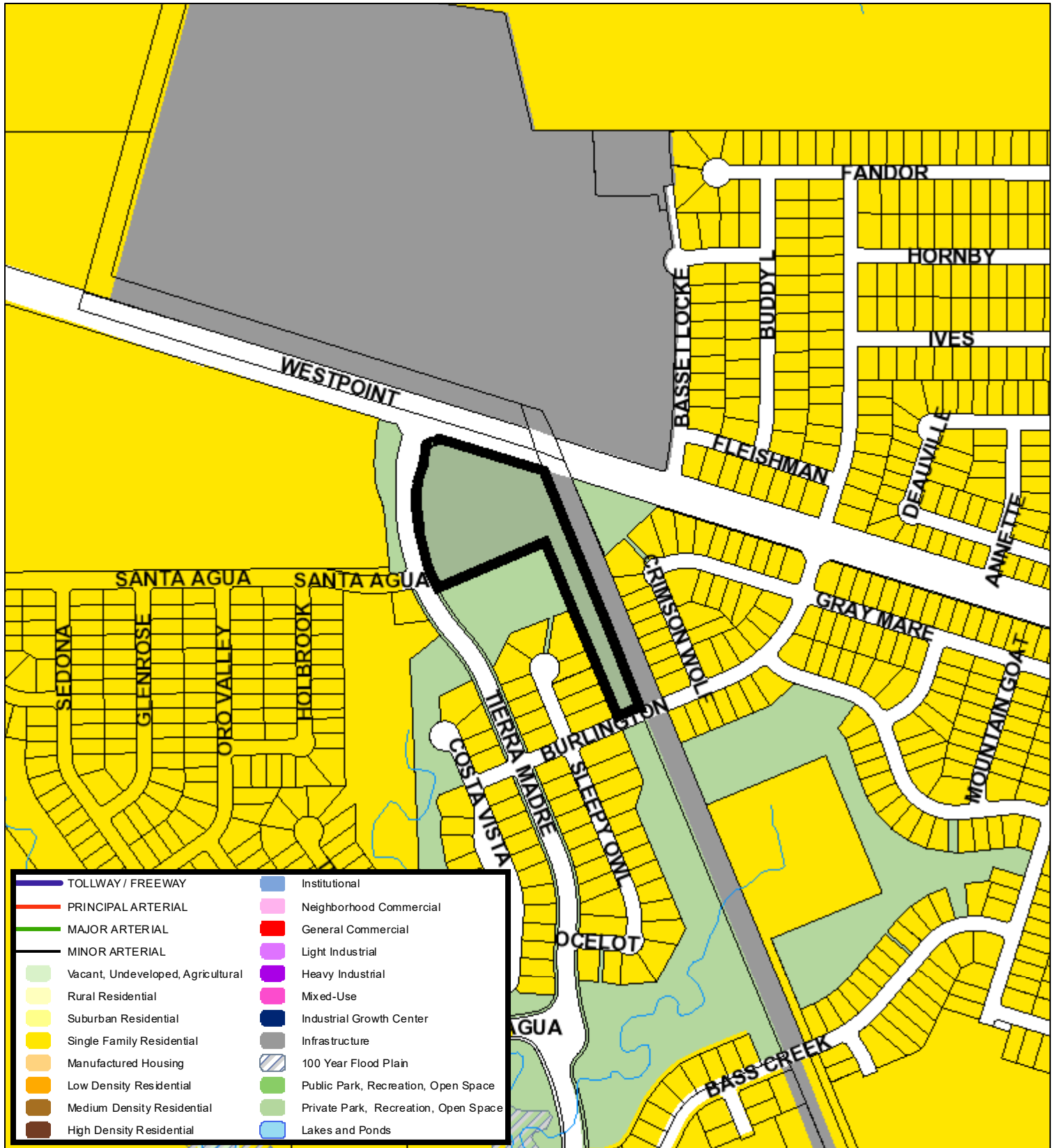
THIS DRAWING IS A PICTORIAL REPRESENTATION FOR PRESENTATION PURPOSES ONLY AND IS SUBJECT TO CHANGE WITHOUT NOTICE. FURTHER, SAID DRAWING IS A SCANNED IMAGE ONLY AND IS NOT FOR COMPUTATION OR CONSTRUCTION PURPOSES. THIS DRAWING MAY OR MAY NOT INCORPORATE INFORMATION AND/OR DATA RELATIVE TO ENGINEERING AND DRAINAGE, FLOOD PLAINS AND ENVIRONMENTAL ISSUES AND SHOULD NOT BE RELIED UPON FOR ANY PURPOSE. NO WARRANTIES, EXPRESS OR IMPLIED, CONCERNING THE ACTUAL DESIGN, LOCATION, AND CHARACTER OF THE FACILITIES SHOWN ON THIS MAP ARE INTENDED.

0 150 300 450 600
1" = 300'
PLANNER: SEAN WILLIAMS
04/08/2024

Area Map



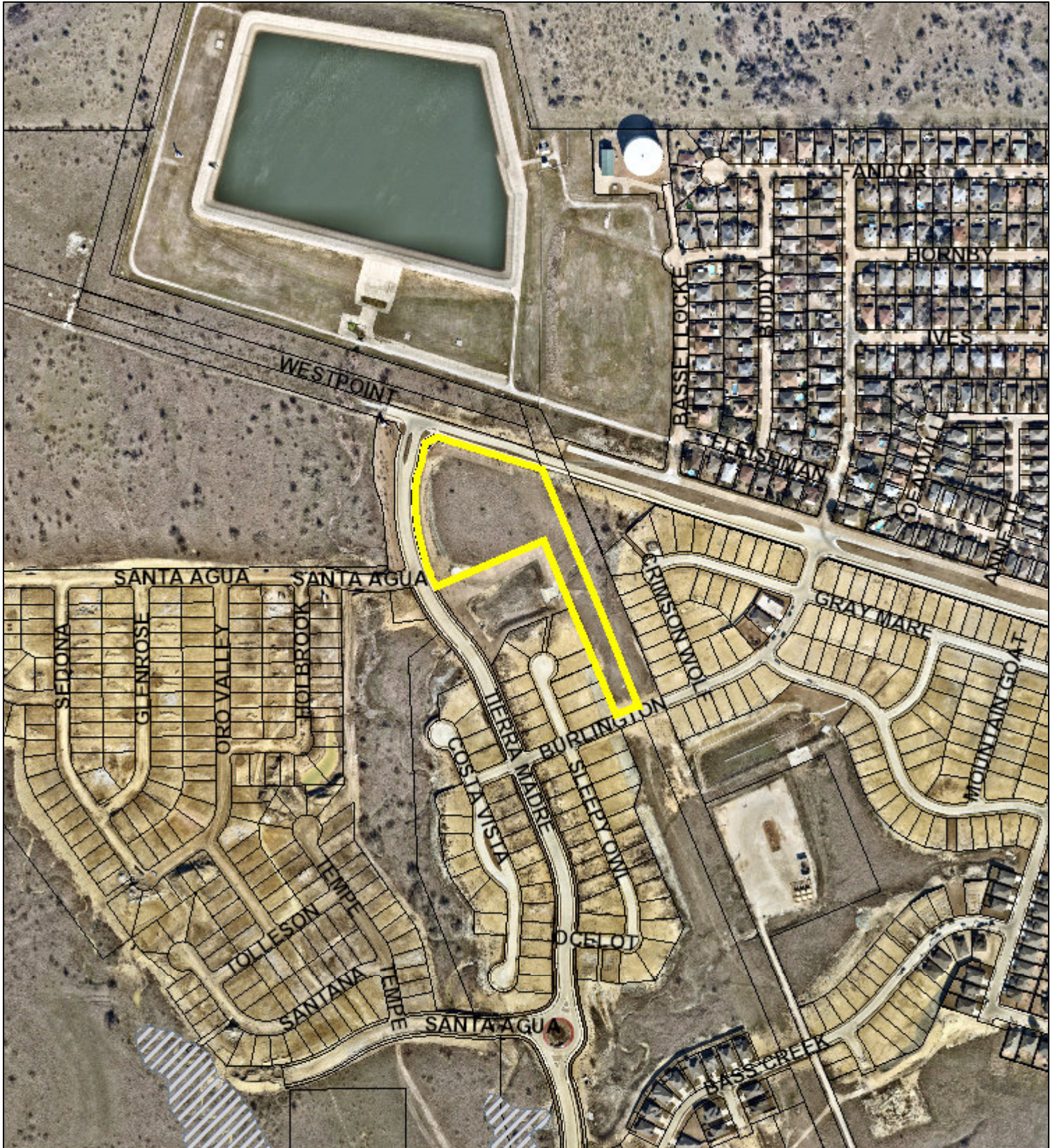
Future Land Use



A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



Aerial Photo Map



0 280 560 1,120 Feet





Zoning Staff Report

Date: June 12, 2024

Case Number: ZC-24-039

Council District: 7

Zoning Map Amendment & Site Plan

Case Manager: [Sandy Michel](#)

Owner / Applicant: Tammy Downey/ Dennis Askins

Site Location: 216 Nursery Lane

Acreage: 0.4 acres

Request

Proposed Use: 4-unit townhome development

Request: From: "B" Two Family
To: "C" Medium Density

Recommendation

Land Use Compatibility: Requested change is **compatible**

Comprehensive Plan Map Consistency: Requested change is **consistent**

Comprehensive Plan Policy Consistency: Requested change is **consistent**

Staff Recommendation: **Denial "C" Medium Density *or* Remand to Urban Design Commission for consideration of PD/UR with limited to 15 dwelling units per acre; a maximum of 6 total units; and excluding utility uses**

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8. Future Land Use Map
9. Aerial Photograph

Project Description and Background

The subject property, spanning 0.4 acres and located in the River District, currently has a single-family house. The applicant has discussed their plans with the River District NA and, in response to neighborhood concerns about overcrowding, proposes to develop four townhouses on this parcel. Surrounding the property are “B” Two-Family Districts to the north and west, “UR” Urban Residential to the south, and “MU-1” Low-Intensity Mixed Use zoning to the east. The vicinity features a mix of single-family homes, townhouses, and a vacant lot, along with other single-family and multi-family developments further out.

As mentioned previously, in an area with a lot of MU/UR zoning districts, which is a form-based district. Staff believes that not putting the form-based district designation will alter the character of the River District (refer to *Supplemental Information*). Consistency in the level of standards for Nursery Lane and other developments is important. Currently, the parcel does not have sidewalks or pedestrian lighting which cause a missing gap with the single-family homes (216 Nursery Lane and 212 Nursery Lane) (**Figure 1**).

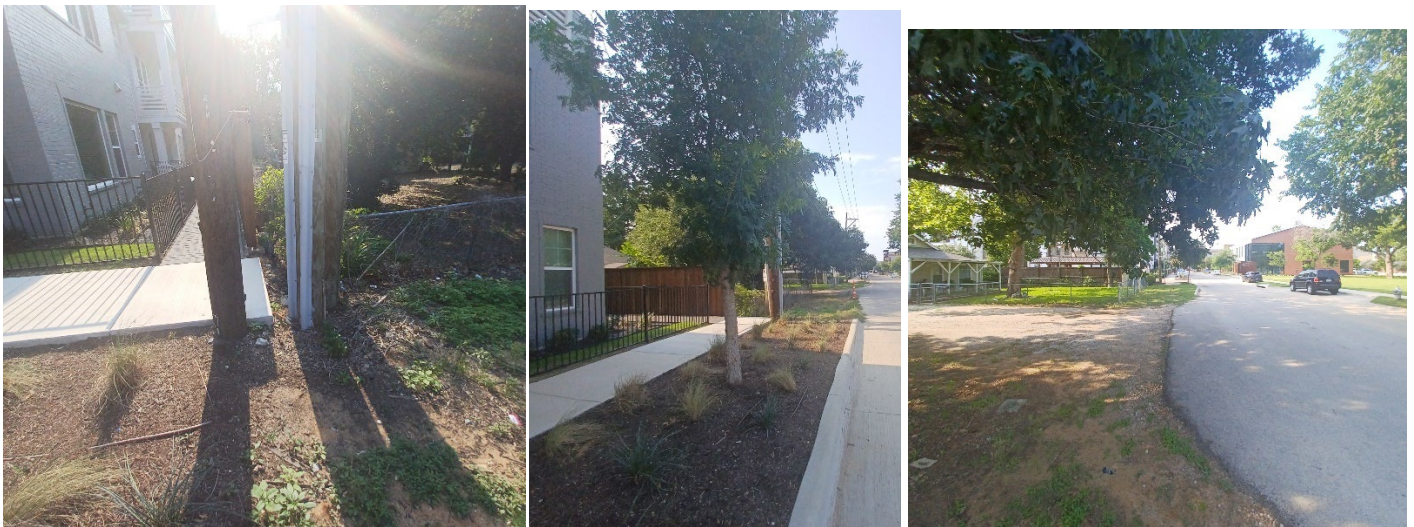


Figure 1: Site photos showing a lack of sidewalks, street trees, and pedestrian lighting

Staff proposes that the zoning change be designated as Plan Development-Urban Residential (PD/UR), with the following restrictions: a density limit of 15 dwelling units per acre, a maximum of 6 total units, and the exclusion of utility uses. This approach maintains the same design standards prevalent in the majority of the area while addressing the neighborhood's concerns about density.

Please note that the ZC case will need to be reviewed by the Urban Design Commission (UDC) before the ZC can make a final decision. Although this adds extra steps to the process, staff believes it is the best option to ensure the integrity and consistency of the River District's development standards.

The applicant has provided a detailed project description outlining their development intentions. *‘We would like to re-zone to a slightly higher density to be able to raze the site and rebuild townhomes. The proposed density would conform to most of the uses proximate to subject site on the same street. Directly to the south are new townhomes and new apartments are 75’ to the north. The zoning across the street is commercial with new office buildings to the northeast. This house and its neighbor are the only two visible on this portion of the street which have not been developed yet, to a different zoning.’* They propose constructing four townhouses, as depicted in the conceptual elevation drawing included in this rezoning case (**Figure 2**). The property currently houses a

single-family home built in 1941. The area has evolved from a single-family neighborhood to a predominantly multifamily one. The most recent development is a set of townhouses to the south in the UR district, built in 2021, comprising approximately 46 units (**Figure 3**). Other recent multifamily developments in the vicinity were constructed in 2020, 2018, and 2016.

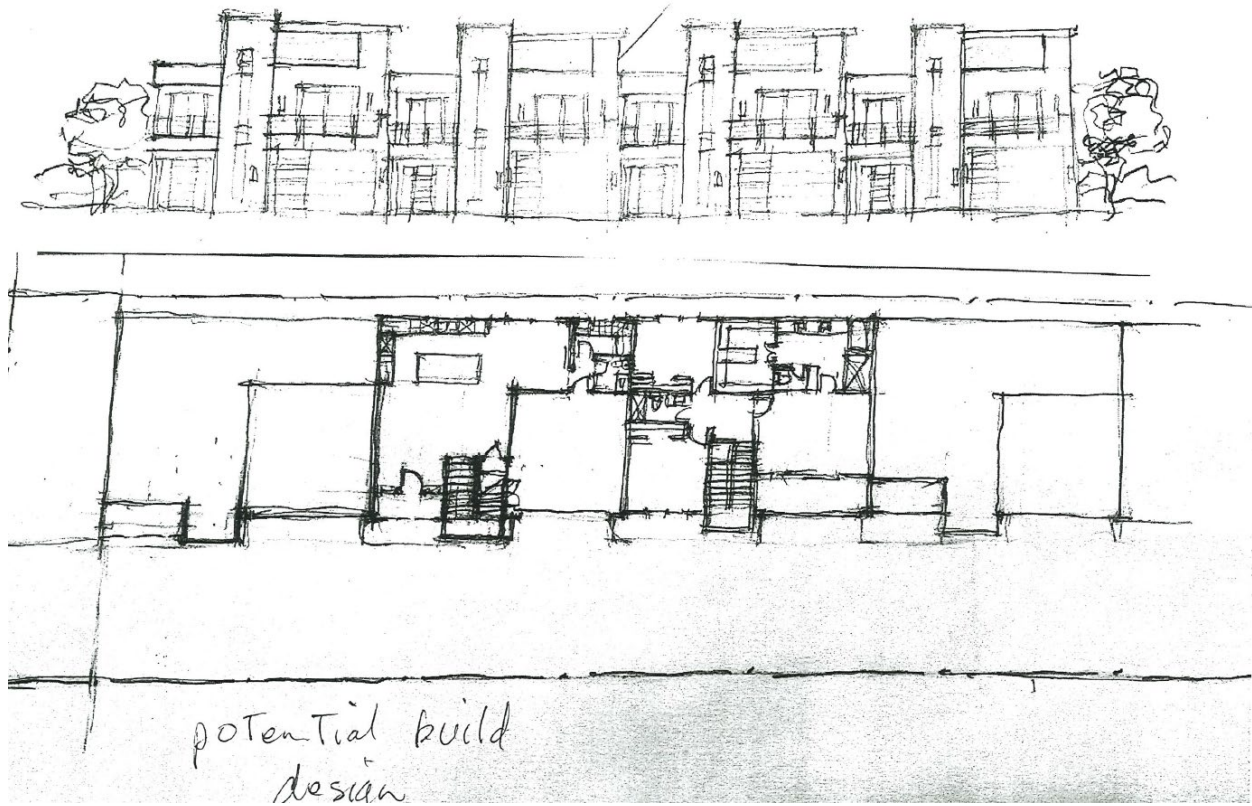


Figure 2: Conceptual Elevation Drawing, applicant provided



Figure 3: Recent development on Nursey Lane. Refer to ‘Supplemental Information’ for site photos reference in letters.

Surrounding Zoning and Land Uses

North	“B” Two-Family / Single-Family Residential
East	“MU-1” Low-intensity Mixed Use / Vacant Lot
South	“UR” Urban Residential / Townhouses
West	“B” Two-Family / Single-Family Residential

Recent Zoning History

- N/A

Public Notification

300-foot Legal Notifications were mailed on May 31, 2024.

The following organizations were notified: (emailed May 31, 2024)

Organizations Notified	
River District NA	Streams and Valleys Inc
Trinity Habitat for Humanity	

* Located within a registered Neighborhood Organization

Development Impact Analysis

Land Use Compatibility

The surrounding area is predominantly multi-family, with a vacant lot zoned MU-1 to the east and single-family homes to the west and southeast. This neighborhood features a variety of home styles. As previously mentioned, the project is located in the River District Neighborhood, a locally cultivated community in West Fort Worth known for its outdoor spaces, restaurants, and boutique office spaces. Anchored by the Trinity River, the district provides access to hike and bike paths. The River District Neighborhood aims to develop more living options and retail spaces.

The applicant seeks to rezone the property to accommodate four townhouses, as the current “B” Two-Family zoning does not permit this. While the rezoning would align the property’s designation with the prevailing residential character of the area, the proposed density might not be compatible. Although the applicant intends to build four townhouses, the rezoning to “C” Medium Density would allow up to nine units by right, based on the allowable density of 24 dwelling units per acre and the parcel size of 0.4 acres.

In conclusion, while the land uses are compatible with the area, the density might not be if the applicant plans to develop more than four units.

The proposed zoning is **compatible** with surrounding land uses.

Comprehensive Plan Consistency- FLU Map and Policies

The adopted Comprehensive Plan currently designates the subject property as Low-Density Residential on the Future Land Use Map.

RESIDENTIAL		
Rural Residential	1+ acre single-family	A-2.5, A-43
Suburban Residential	1/2+ acre single-family	A-21
Single-Family Residential	3,500+ sq. ft. lot single-family	A-10, A-7.5, A-5, AR
Manufactured Housing	Manufactured home parks and subdivisions	MH
Low Density Residential	2,500+ sq. ft. lot single-family, two-family, patio homes, townhouses, cluster housing	B, R1, R2
Medium Density Residential	Up to 36 units/acre multifamily	CR, C, D
Urban Residential	Medium to high density, residential only, pedestrian-oriented development for use between higher and lower intensity uses	UR
High Density Residential	>36 units/acre multifamily, mixed-use multifamily and pedestrian-oriented development in growth centers	UR, MU-1, MU-2, Form-Based Codes

The proposed “C” Medium Density zoning district designation does not align with the Low-Density Residential Future Land Use (FLU) category; it falls under the Medium Density Residential FLU category instead. While the “R2” Townhouse/Cluster zoning shares the same density level as “C” Medium Density, “R2” has fewer enhanced landscaping design standards compared to “C.” The applicant proposes to place townhouses, which is compatible with both zoning districts. However, the design standards for “R2” do not match the area, particularly on Nursery Street, which has MU/UR enhanced landscape design standards. “C” Medium Density zoning is more compatible with the street due to its stricter requirements. Therefore, the proposed “C” Medium-Density zoning for this area is consistent with the established zoning intent and urban planning objectives.

Based on the statement above, the proposed zoning is **consistent** with the Comprehensive Plan FLU Map and Policies.

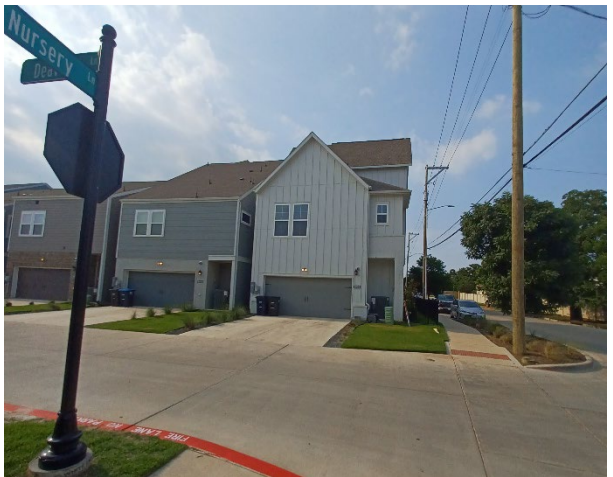


Supplemental Information

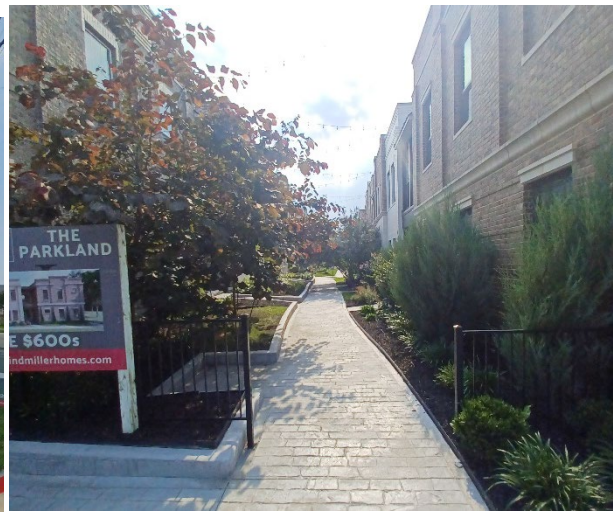
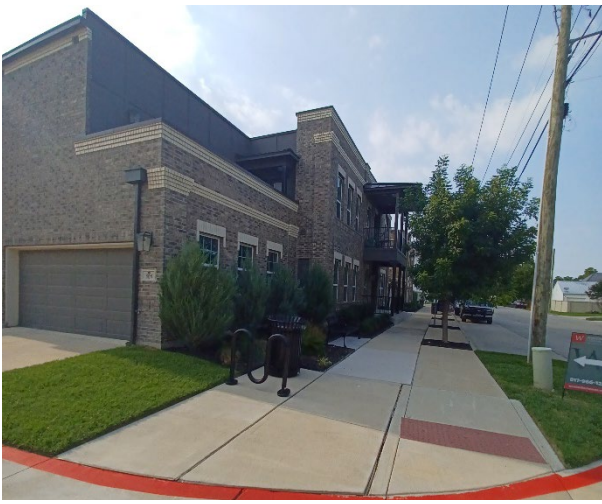
Refer to 'Figure 2' for location of site photos



A – Multifamily to the north of property- PD/UR “UR” Urban Residential zoning district.



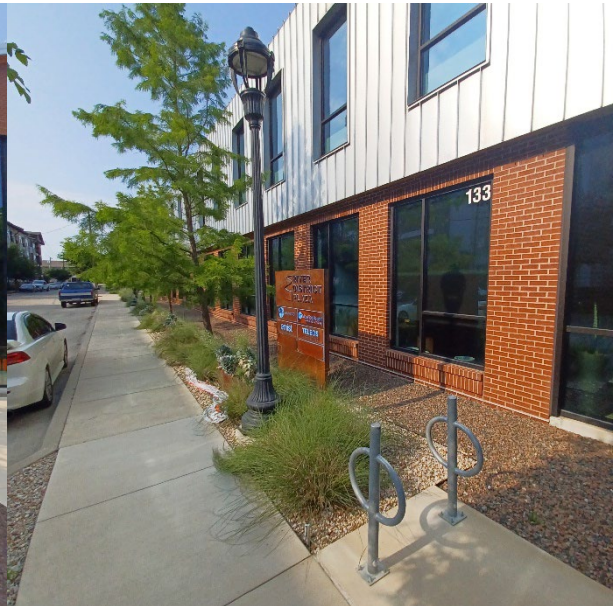
B – Townhouses to the south of property- “UR” Urban Residential zoning district.



C – Condos to the south of property- “UR” Urban Residential zoning district.



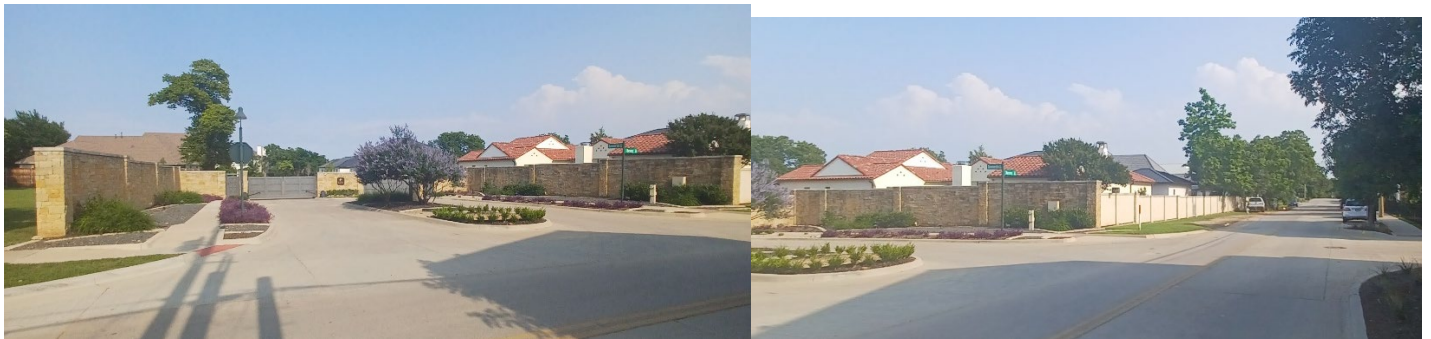
D – Townhouses to the south of property- “UR” Urban Residential zoning district.



E– Commercial Office to the northeast of property- “MU-1” Low-intensity Mixed Use zoning district.



E— Vacant Lot to the East of property- “MU-1” Low-intensity Mixed Use zoning district.

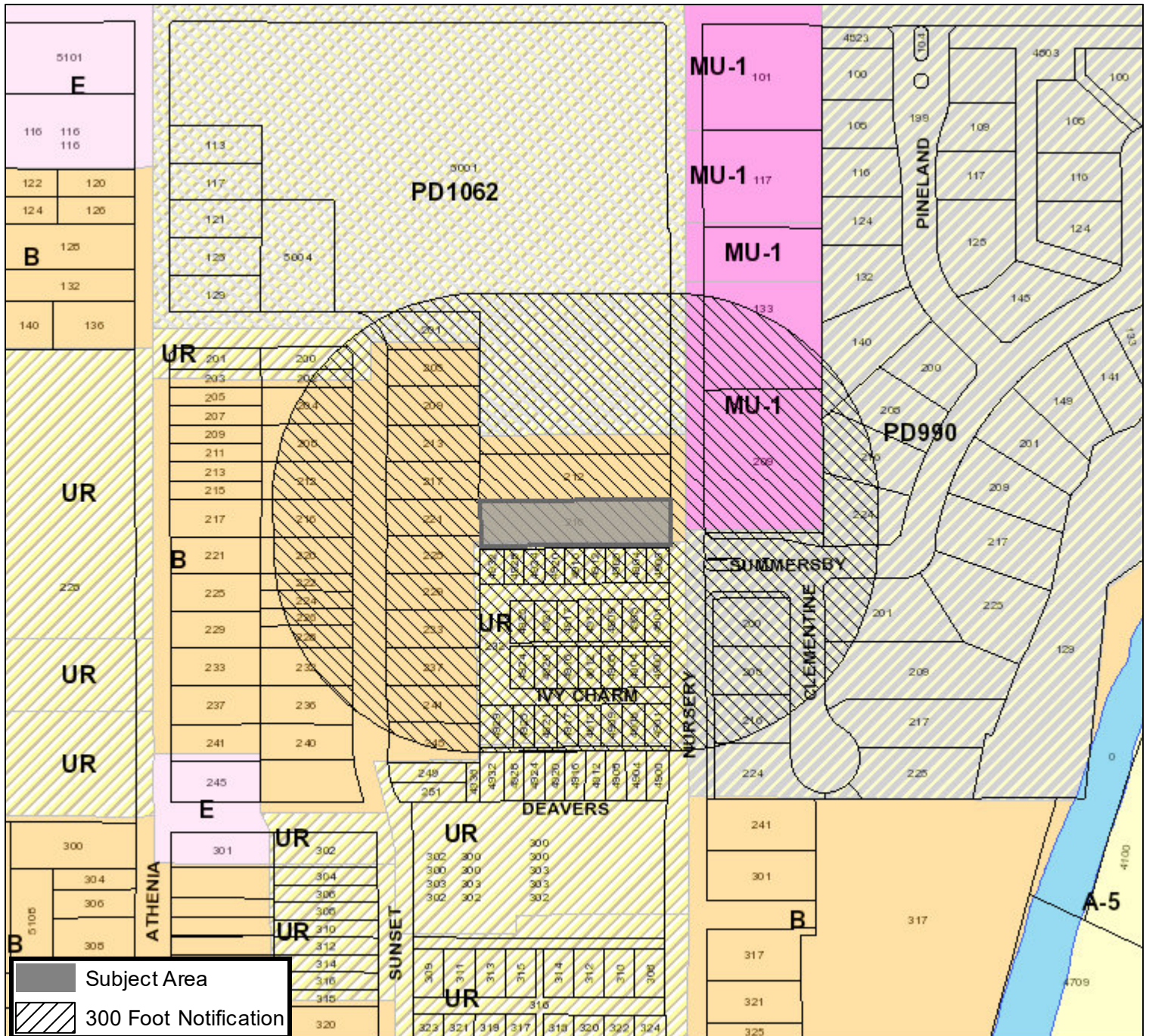




F— Single Family houses to the southeast of property- “PD/A-5” One-Family zoning district.

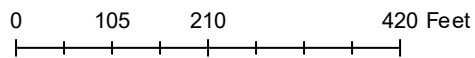


Area Zoning Map

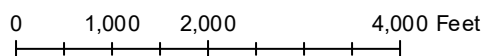
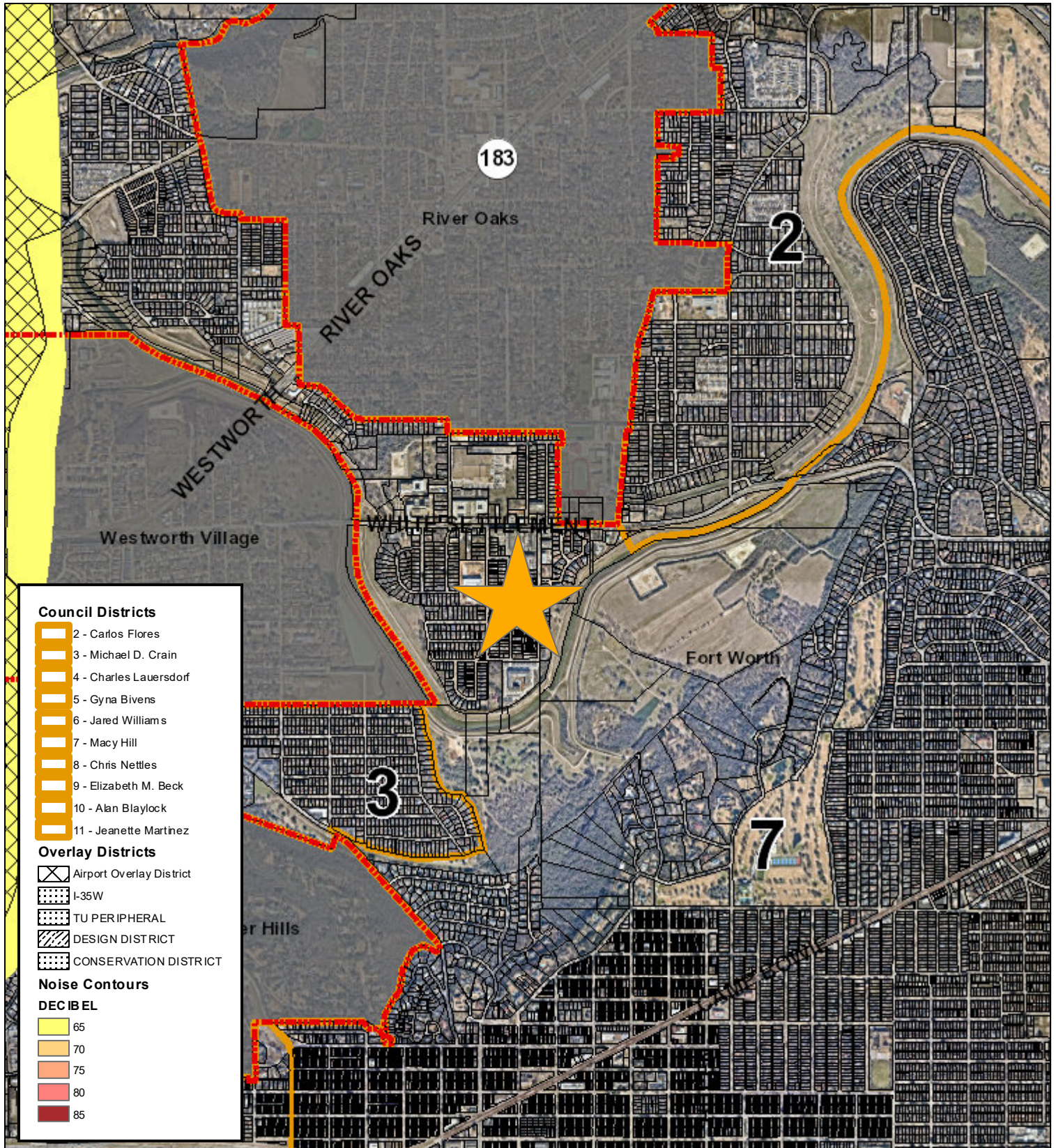
Applicant: Tammy Downey/Alyse Garabelli
 Address: 216 Nursery Lane
 Zoning From: B
 Zoning To: C
 Acres: 0.40792795
 Mapsco: Text
 Sector/District: Northside
 Commission Date: 6/12/2024
 Contact: 817-392-2806



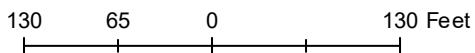
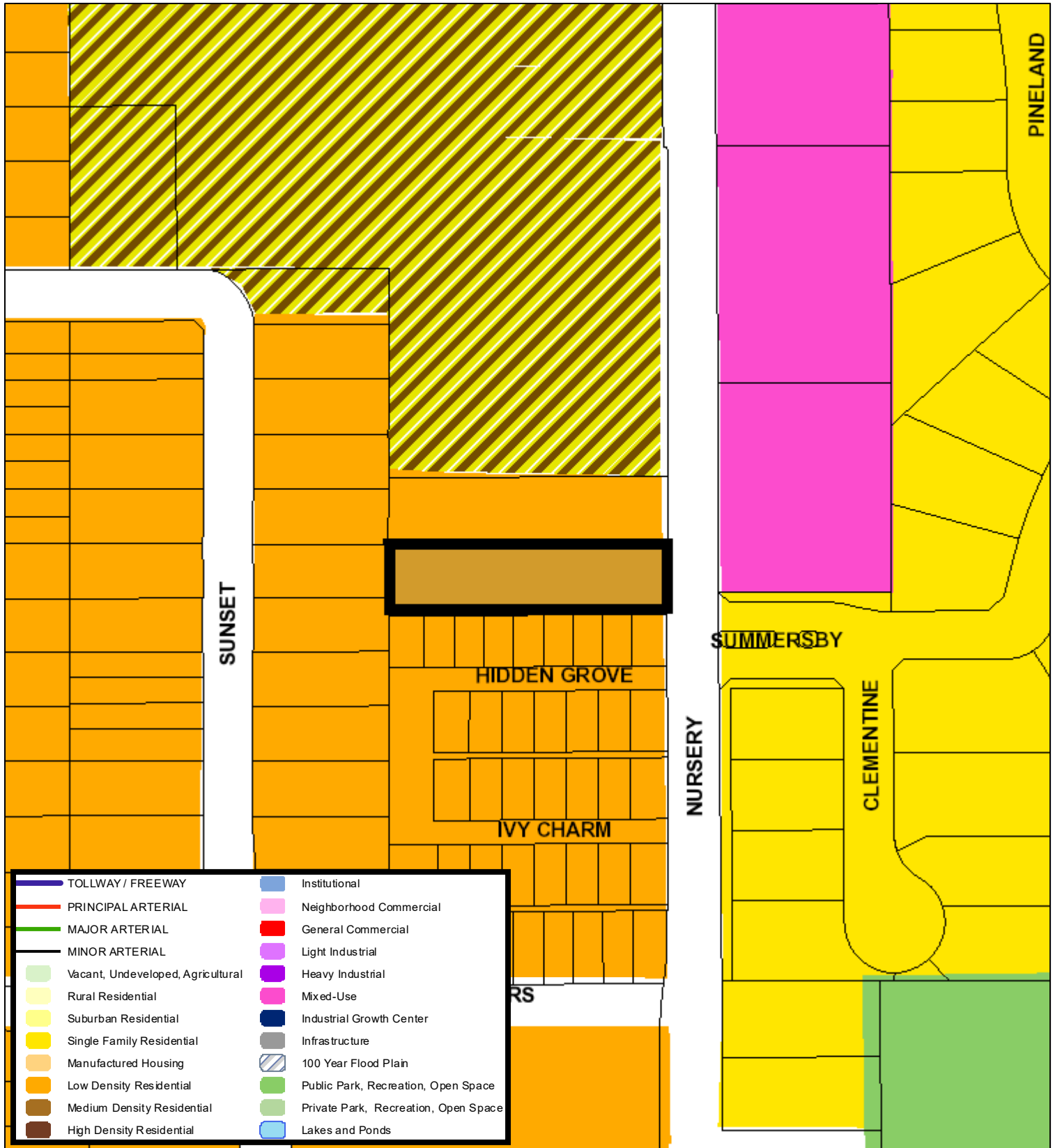
	Subject Area
	300 Foot Notification



Area Map



Future Land Use



A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



Aerial Photo Map



0 80 160 320 Feet





Zoning Staff Report

Date: June 12, 2024

Case Number: ZC-24-045

Council District: 3

Zoning Map Amendment & Site Plan

Case Manager: [Sandy Michel](#)

Owner / Applicant: Kelby Golden/ Brighton Yau

Site Location: Near the corner of Turner May Dr & Joplin Blues Ln

Acreage: 1.05 acres

Request

Proposed Use: Single-family residential, roadway, & open space- Part of Phase 8 in the Ventana Development

Request:
From: Unzoned
To: "PD 1169" PD/SU Planned Development/"A-5" One-Family and "R1" Zero Lot Line/Cluster with development standards not to exceed 30% R1 development and lot coverage not to exceed 60%; site plan waived.

Recommendation

Land Use Compatibility: Requested change **is compatible**

Comprehensive Plan Map Consistency: Requested change **is consistent**

Comprehensive Plan Policy Consistency: Requested change **is consistent**

Staff Recommendation: **Approval**

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9. Aerial Photograph

Project Description and Background

The subject property, spanning 1.05 acres, is currently outside the City of Fort Worth. However, the applicant is in the process of annexing the parcel (reference AX-24-003). This parcel is intended to be part of the Ventana Development Phase Eight (**Figure 1**) and will be used for roadways, open space, and single-family houses (**Figure 2**).

The applicant proposes annexing this small parcel to facilitate the next phase of the larger Ventana development, which is being completed in stages as outlined in the zoning exhibit included in this rezoning case. To proceed with Phase Eight, the applicant needs this parcel annexed into the city and requires a zoning change. The applicant requests to incorporate this parcel into the existing PD 1169- PD/SU Planned Development/"A-5" One-Family and "R1" Zero Lot Line/Cluster.

This annexation and rezoning will align the parcel with the development plans and ensure the cohesive integration of infrastructure and residential units within the Ventana community. The addition of the parcel is crucial for the seamless continuation of the project, providing necessary roadways and open spaces that contribute to the overall layout and functionality of Phase Eight.

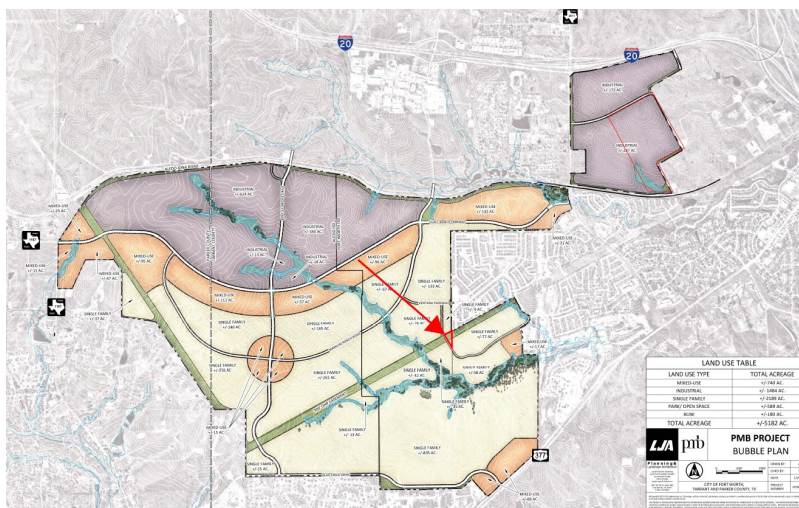


Figure 1: Master Plan for the Ventana Development, applicant provided

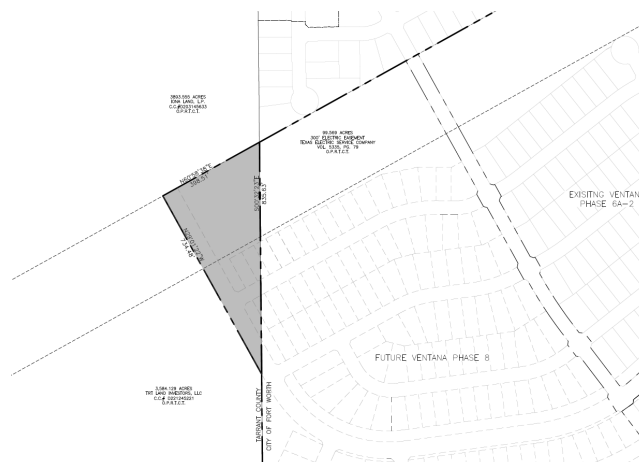


Figure 2: Unzoned Parcel part of the Ventana Development, phase 8, applicant provided

Surrounding Zoning and Land Uses

North	Unzoned
East	PD 1169- PD/SU Planned Development / Single-Family Residential
South	Unzoned
West	Unzoned

Recent Zoning History

- N/A

Public Notification

300-foot Legal Notifications were mailed on May 31, 2024.
The following organizations were notified: (emailed May 31, 2024)

Organizations Notified

Trinity Habitat for Humanity	Streams and Valleys Inc
------------------------------	-------------------------

* *Located within a registered Neighborhood Organization*

Development Impact Analysis

Land Use Compatibility

The surrounding area is slated to be part of the larger Ventana Development, with this particular parcel situated at the core of the overall project. Rezoning this parcel to be included in the adjacent PD 1169 will align its designation with the surrounding area. This alignment will facilitate the development of compatible uses that enhance the vibrancy and cohesiveness of the City of Fort Worth.

Integrating the parcel into PD 1169 ensures that its development is consistent with the planned infrastructure, residential units, and open spaces of Ventana. This rezoning supports the city's growth objectives by promoting orderly development and maintaining a cohesive community aesthetic. By enabling the development of compatible uses, the rezoning will contribute to the overall vitality of Fort Worth, creating a seamless transition between phases of the Ventana project and fostering a vibrant, well-planned community.

The proposed zoning is **compatible** with surrounding land uses.

Comprehensive Plan Consistency- FLU Map and Policies

The adopted Comprehensive Plan currently designates a part of the subject property as Infrastructure on the Future Land Use Map.

SPECIAL		
Vacant, Undeveloped, Agricultural	Vacant, undeveloped, or agriculture lands; vacant land located in the 100-year floodplain	AG
Infrastructure	Railroads, airports, utilities	ALL
Parks, Recreation, Open Space	Public or private recreation, or passive land	ALL
Institutional	Schools, churches, government, human services, utilities, community centers	Schools and Churches: ALL Others: CF

The parcel's location within the Infrastructure Future Land Use (FLU) category makes it highly compatible with the proposed use. The applicant plans to construct a road on this parcel, which will serve as a critical connection to future phases of the Ventana development. Consequently, incorporating this parcel into the existing PD 1169 zoning district, in an area designated for infrastructure development, aligns with the future urban planning objectives.

This rezoning supports the intended land use by facilitating necessary infrastructure that enhances connectivity and access within the Ventana development. This approach ensures the planned roadways and utilities are seamlessly integrated, contributing to the overall functionality and efficiency of the community. Therefore, the proposed rezoning not only aligns with but also reinforces the City's broader urban planning and development goals.

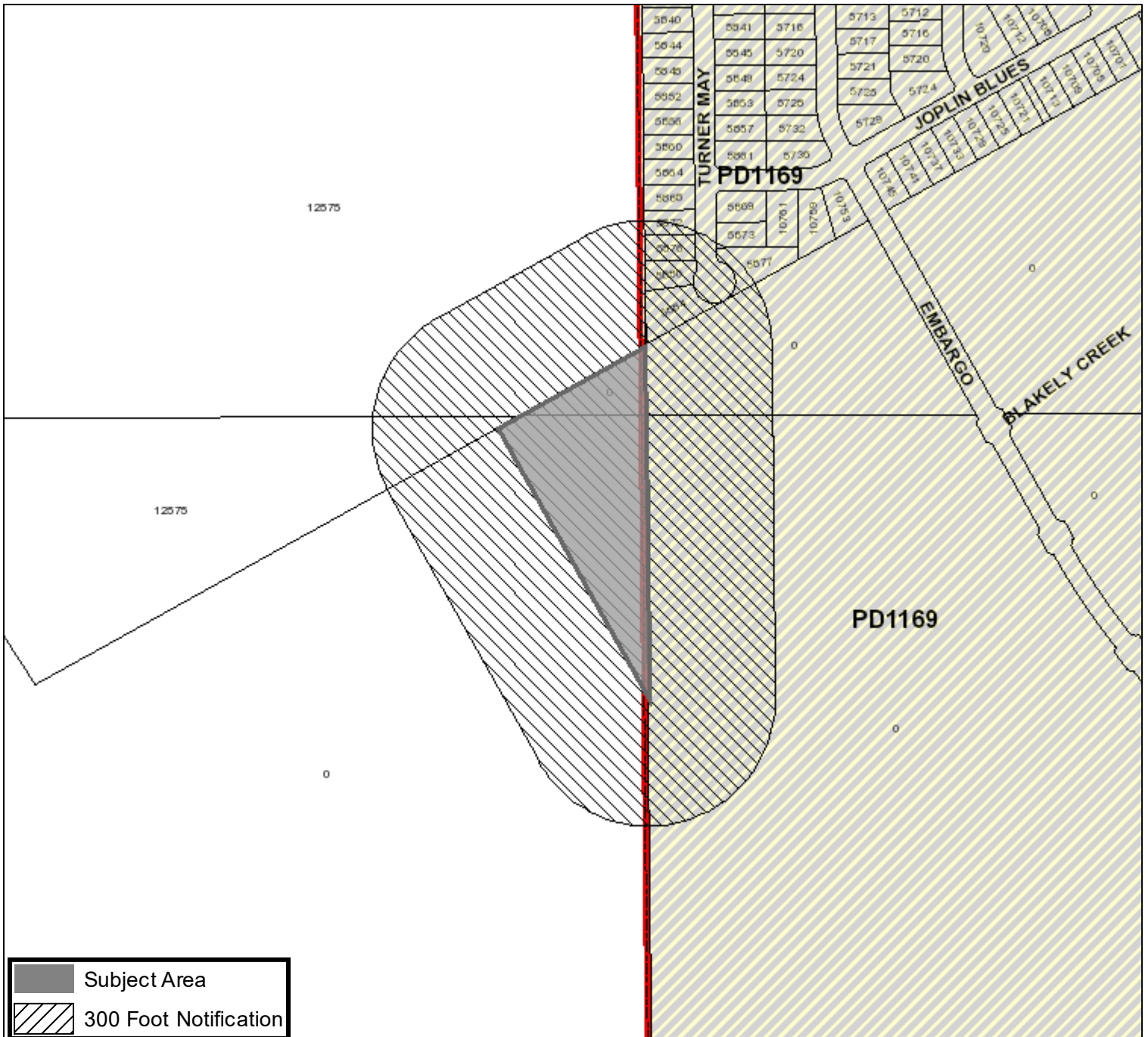
Based on conformance with the policies stated above, the proposed zoning is **consistent** with the Comprehensive Plan FLU Map and Policies.



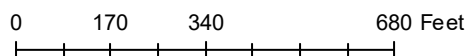


Area Zoning Map

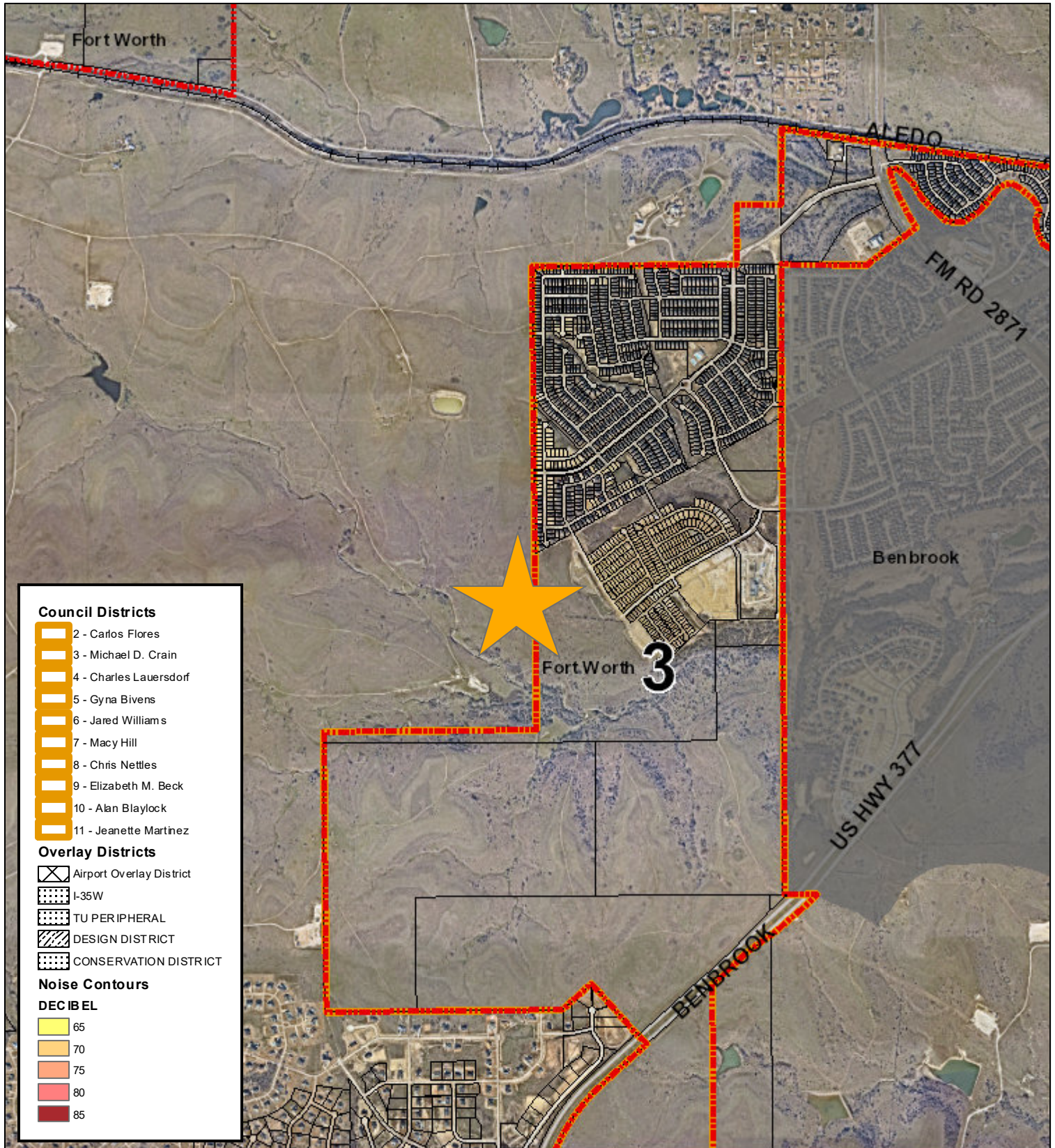
Applicant: TRT Land Investors LLC
 Address: null
 Zoning From: Unzoned
 Zoning To: PD1169
 Acres: 3.3597239
 Mapsco: Text
 Sector/District: Far_Southwest
 Commission Date: 6/12/2024
 Contact: 817-392-2806



	Subject Area
	300 Foot Notification



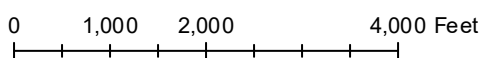
Area Map



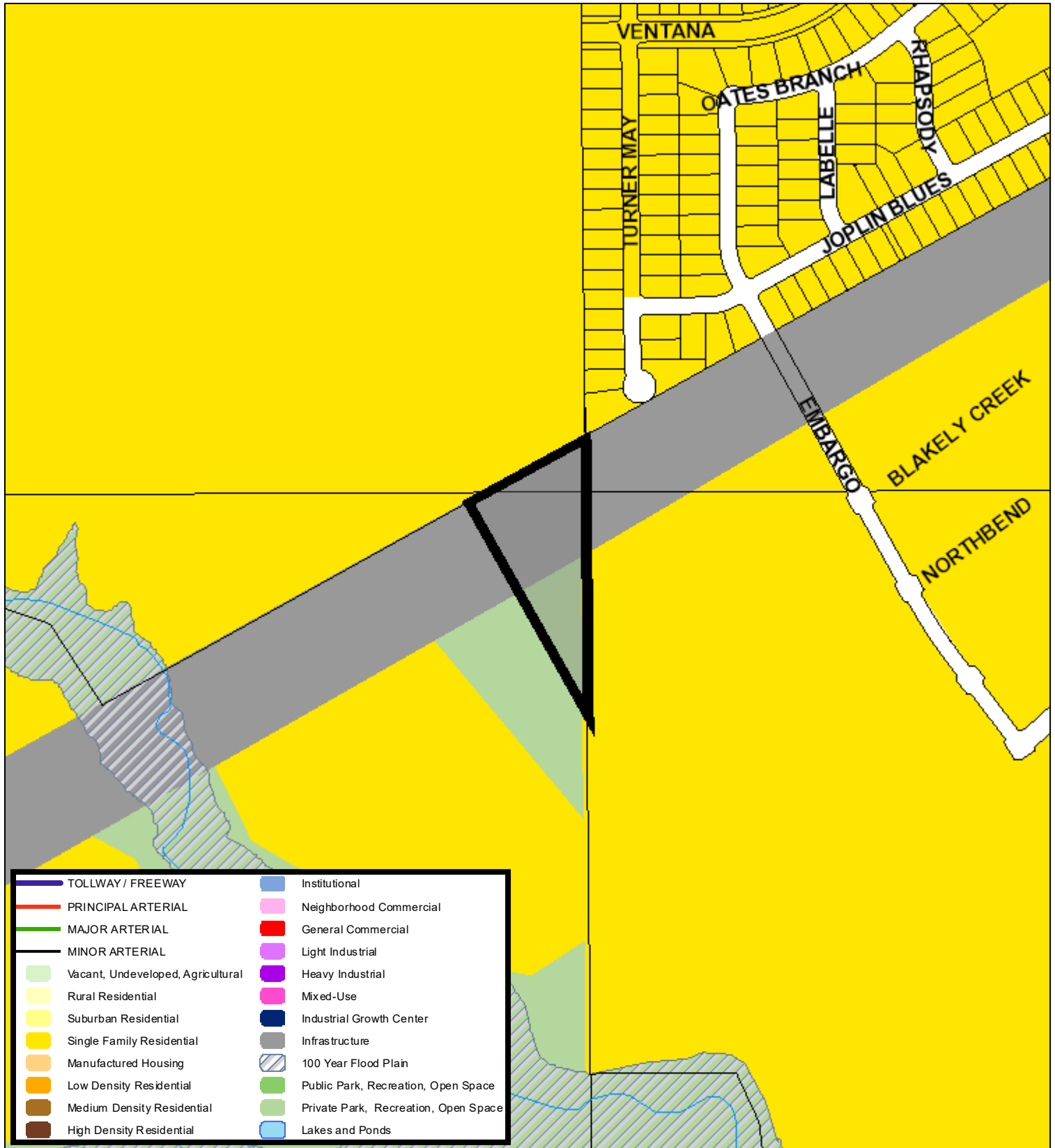
Council Districts	
	2 - Carlos Flores
	3 - Michael D. Crain
	4 - Charles Lauersdorf
	5 - Gyna Bivens
	6 - Jared Williams
	7 - Macy Hill
	8 - Chris Nettles
	9 - Elizabeth M. Beck
	10 - Alan Blaylock
	11 - Jeanette Martinez

Overlay Districts	
	Airport Overlay District
	I-35W
	TU PERIPHERAL
	DESIGN DISTRICT
	CONSERVATION DISTRICT

Noise Contours	
DECIBEL	
	65
	70
	75
	80
	85



Future Land Use

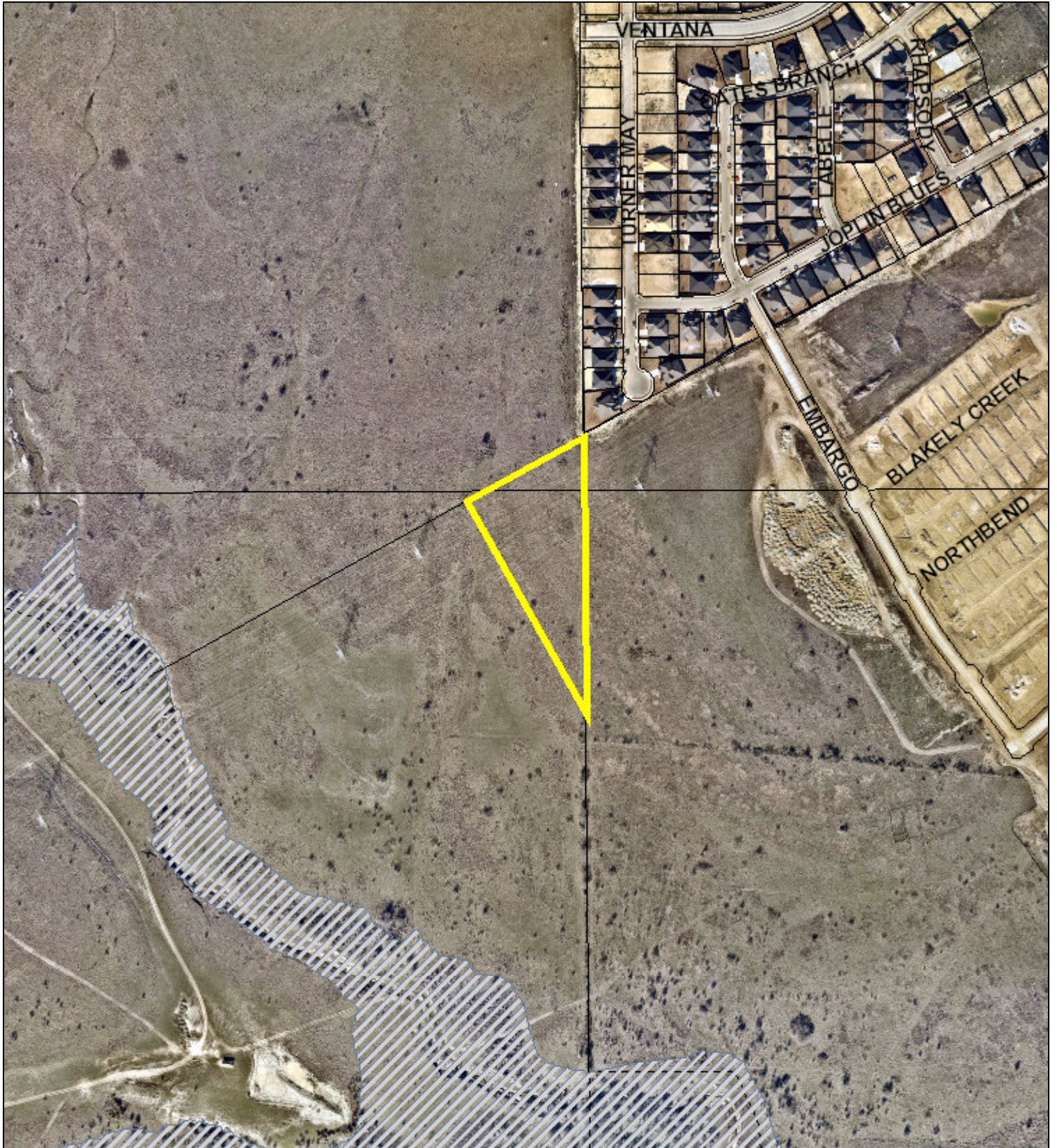


400 200 0 400 Feet

A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



Aerial Photo Map



0 250 500 1,000 Feet





Zoning Staff Report

Date: June 12, 2024

Case Number: ZC-24-048

Council District: 8

Zoning Map Amendment & Site Plan

Case Manager: [Sandy Michel](#)

Owner / Applicant: Endeavor Acquisition, LLC/ Saniya Hemani

Site Location: 2005 Renner Avenue

Acres: 0.1549 acres

Request

Proposed Use: Single-Family Residential

Request: From: "I" Light Industrial
To: "A-5" One Family

Recommendation

Land Use Compatibility: Requested change **is compatible**

Comprehensive Plan Map Consistency: Requested change **is consistent**

Comprehensive Plan Policy Consistency: Requested change **is consistent**

Staff Recommendation: **Approval**

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1. [Project Description and Background](#)
2. [Surrounding Zoning and Land Uses](#)
3. [Recent Zoning History](#)
4. [Public Notification](#)
5. [Development Impact Analysis](#)
 - a. [Land Use Compatibility](#)
 - b. [Comprehensive Plan Consistency](#)
6. Zoning Map with 300 ft. Notification Area
7. Area Map
8. Future Land Use Map
9. Aerial Photograph

Project Description and Background

The subject property, encompassing 0.1549 acres, is currently a vacant lot situated within an “I” Light Industrial zoning district, which also includes other vacant lots facing the same block (**Figure 1**). To the east of the property are parcels zoned as “B” Two-Family Districts, primarily consisting of single-family residential homes. The vicinity to the north features “ER” Neighborhood Commercial Restricted zoning with existing buildings, while to the west, there are additional vacant parcels within the “I” Light Industrial zoning district.

The applicant proposes to construct a single-family house on this lot, as stated in the zoning application. This development aims to introduce residential use into an area of industrial zoning. The proposed construction of a single-family home will bridge the residential zones to the east and the commercial zones to the north, fostering a more integrated and diverse community fabric.

Moreover, this development could serve as a catalyst for further residential projects in the area, potentially transforming the currently underutilized industrial lots into a vibrant mixed-use neighborhood.



Figure 1: Site Photos

Surrounding Zoning and Land Uses

North	“I” Light Industrial / Vacant
East	“B” Two-Family / Residential
South	“I” Light Industrial / Vacant
West	“I” Light Industrial / Vacant

Recent Zoning History

- N/A

Public Notification

300-foot Legal Notifications were mailed on May 31, 2024.

The following organizations were notified: (emailed May 31, 2024)

Organizations Notified	
United Communities Association of South Fort Worth	Streams and Valleys Inc
Belmont NA	Southeast Fort Worth Inc
Trinity Habitat for Humanity	

* Located within a registered Neighborhood Organization

Development Impact Analysis

Land Use Compatibility

The surrounding area is predominantly vacant, with the exception of single-family homes to the east. The applicant seeks to rezone the property to build a single-family house. This rezoning would align with the existing single-family homes in the area. However, altering the zoning of this parcel might be considered spot zoning because, despite the presence of single-family homes, the adjacent properties are zoned “B” Two-Family, and the nearest one-family zoning district is further away.

Despite this, the proposed rezoning could still be justified. The presence of an established neighborhood and the lack of industrial uses in the immediate vicinity make the proposed single-family house compatible with the surrounding area. Additionally, introducing a single-family home could serve as a catalyst for further residential development on this block face, potentially revitalizing the currently vacant lots and encouraging more cohesive neighborhood growth.

The proposed zoning is **compatible** with surrounding land uses.

Comprehensive Plan Consistency- FLU Map and Policies

The adopted Comprehensive Plan currently designates the subject property as Single-Family Residential on the Future Land Use Map.

RESIDENTIAL		
Rural Residential	1+ acre single-family	A-2.5, A-43
Suburban Residential	1/2+ acre single-family	A-21
Single-Family Residential	3,500+ sq. ft. lot single-family	A-10, A-7.5, A-5, AR
Manufactured Housing	Manufactured home parks and subdivisions	MH
Low Density Residential	2,500+ sq. ft. lot single-family, two-family, patio homes, townhouses, cluster housing	B, R1, R2
Medium Density Residential	Up to 36 units/acre multifamily	CR, C, D
Urban Residential	Medium to high density, residential only, pedestrian-oriented development for use between higher and lower intensity uses	UR
High Density Residential	>36 units/acre multifamily, mixed-use multifamily and pedestrian-oriented development in growth centers	UR, MU-1, MU-2, Form-Based Codes

The proposed property's designation aligns with the Single-Family Future Land Use (FLU) category. Therefore, pursuing single-family zoning for this area is entirely consistent with the FLU Map and the City's development policies.

This alignment ensures that the proposed use of the property for single-family housing adheres to the City's long-term planning and land use objectives. By designating this area for single-family development, the FLU Map indicates a clear vision for a cohesive residential community. Rezoning the property to accommodate single-family housing will not only conform to these guidelines but also contribute to the orderly and planned growth of the area.

Furthermore, such a rezoning effort underscores the City's commitment to promoting stable, family-oriented neighborhoods, which can attract residents seeking a suburban lifestyle within the urban framework. This approach supports sustainable development by ensuring that land use decisions are made in harmony with the overarching planning strategy, ultimately enhancing the quality of life for residents and fostering a sense of community.

Based on conformance with the policies stated above, the proposed zoning is **consistent** with the Comprehensive Plan FLU Map and Policies.



Supplemental Information

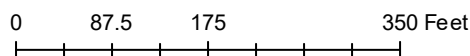
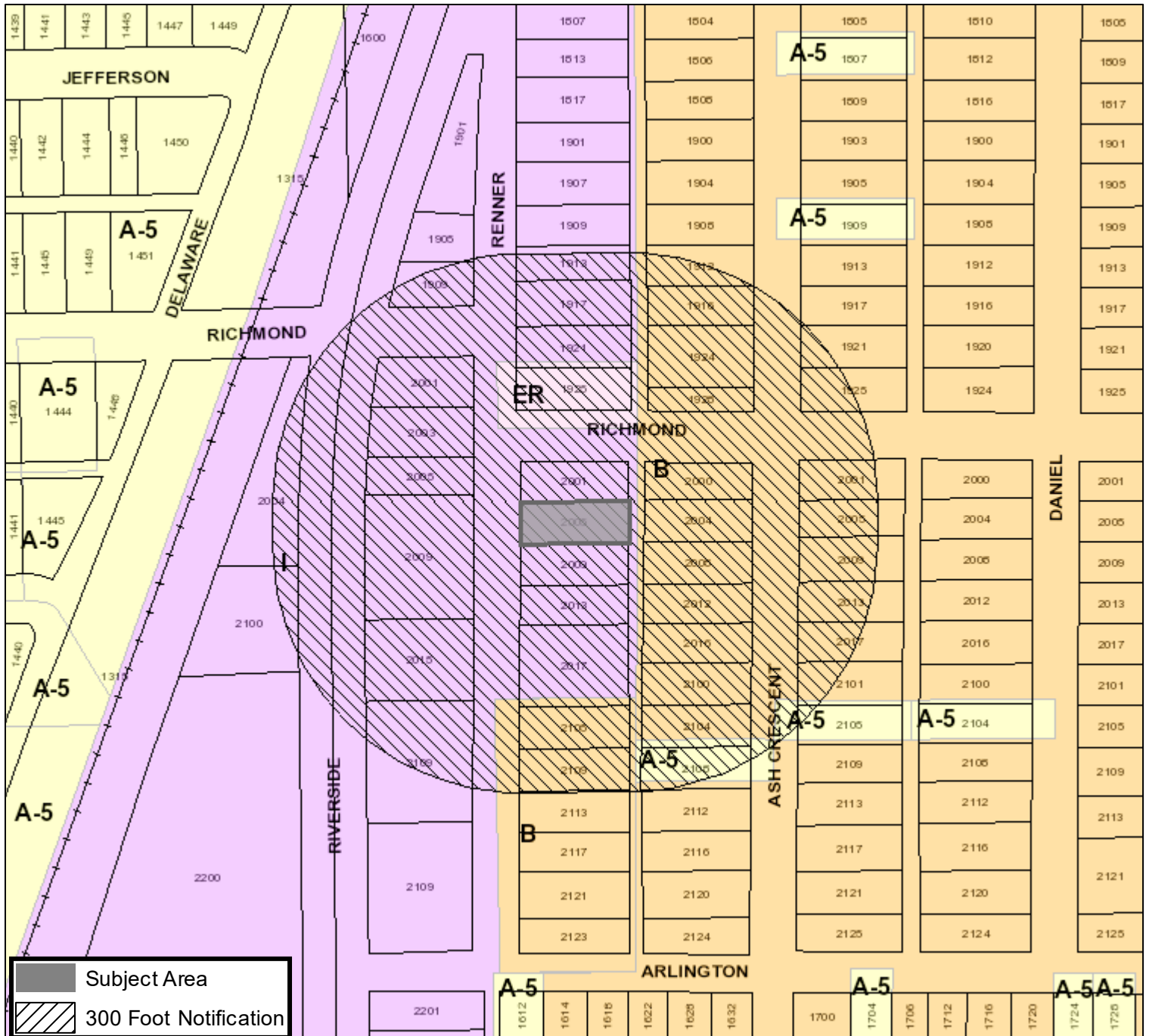
Site Photos



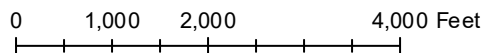
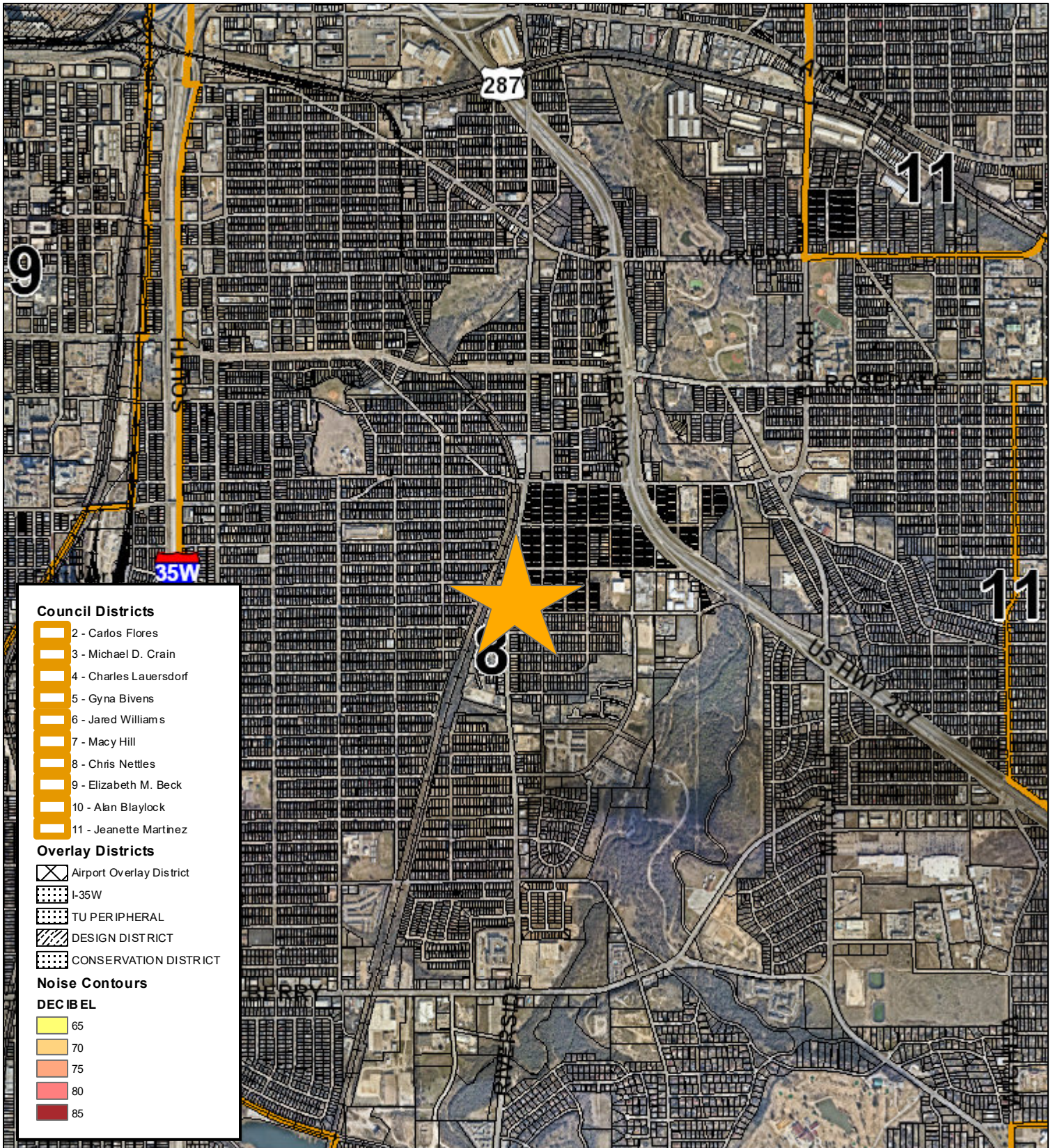


Area Zoning Map

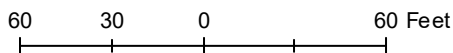
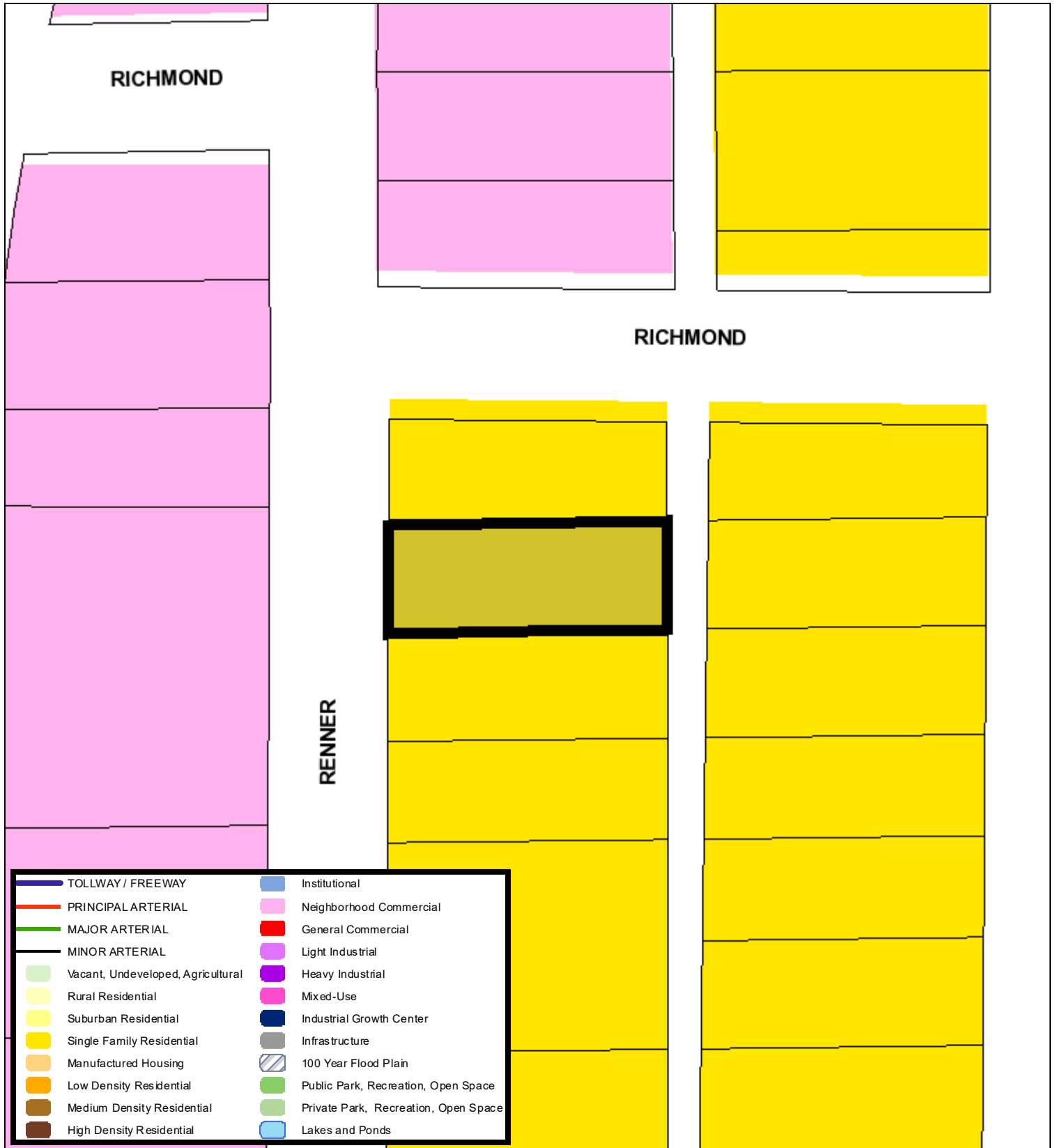
Applicant: Endeavor Acquisitions, LLC/Saniya A. Hemani
 Address: 2005 Renner Avenue
 Zoning From: I
 Zoning To: A-5
 Acres: 0.15257707
 Mapsco: Text
 Sector/District: Southside
 Commission Date: 6/12/2024
 Contact: 817-392-2806



Area Map



Future Land Use



A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



Aerial Photo Map



0 37.5 75 150 Feet





Zoning Staff Report

Date: June 12, 2024

Case Number: ZC-24-049

Council District: 10

Conditional Use Permit

Case Manager: [Alondra Salas-Beltré](#)

Owner / Applicant: Fort Worth Quarry Company LLC / QT South LLC

Site Location: 4800 Old Decatur Road

Acreage: 0.97 acres

Request

Proposed Use: Automated car wash

Request: To: Add Conditional Use Permit (CUP) to allow a carwash facility in “E” Neighborhood Commercial; site plan included

Recommendation

Land Use Compatibility: Requested change **is not compatible**

Comprehensive Plan Map Consistency: Requested change **is consistent**

Comprehensive Plan Consistency: Requested change **is not consistent**

Staff Recommendation: **Denial**

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- [3. Recent Zoning History](#)
- [4. Public Notification](#)
- [5. Development Impact Analysis](#)
 - [a. Land Use Compatibility](#)
 - [b. Comprehensive Plan Consistency](#)
 - [c. Site Plan Comments](#)
6. Zoning Map with 300 ft. Notification Area
7. Site Plan
8. Area Map
9. Future Land Use Map
10. Aerial Photograph

Project Description and Background

The proposed site is an undeveloped area located about 330 feet north of the northeast corner of Northwest loop 820 & Decatur Road. The applicant seeks a Conditional Use Permit to construct an automated carwash facility. Automated carwashes are allowed in industrial and commercial districts G when the distance from a residential district or use exceeds 200 feet but require CUP approval in all other commercial zones.

Conditional uses, such as the proposed carwash facility, are generally compatible with the permitted land uses in a given zoning district. However, they undergo a rigorous individual review process examining their proposed location, design, and configuration. This process ensures that the use is appropriate for a particular location and considers the community's concerns.

While a carwash is not permitted in the "E" zoning district, allowing one by CUP with a site plan may help mitigate any neighborhood concerns and give options for the CUP to be revoked in case of code violation convictions. The proposed car wash is located in a vacant lot, with the nearest structures being an industrial development about 800' to the West, and single-family homes located over 1000' feet to the north.

Through Ordinance 23609 effective March 29, 2019, the Conditional Use Permit allows for an unlimited time period for the operation of a use unless otherwise approved by the City Council. If a time limit is established for a Conditional Use Permit, the renewal of the CUP shall be considered through the public hearing process and approved by the City Council. A CUP shall expire if no permitting action is taken within six months of approval or cease of the use for six months. A CUP may be revoked through the public hearing process if necessary after convictions of one or more code violations.

Per Section 4.407 (a), the following general rules apply to all conditional uses:

- a) Conditional use permits in residential districts shall be limited to those uses designated "CUP" in the Residential District Use Table in Chapter 4, Article 6, Section 4.603.
- b) Approval of a conditional use permit shall authorize only the particular use or category of related uses for which the conditional use permit is issued.
- c) A conditional use shall not be enlarged, extended or otherwise modified unless approved by the City Council or approved administratively as applicable.
- d) The use of property for the purposes described in a conditional use permit shall not commence until a certificate of occupancy has been issued. A certificate of occupancy shall not be issued until all or approvals which may be required by the Codes and Ordinances of the City, including, but not limited to, a Building Permit, a Certificate of Occupancy and subdivision approval have been satisfied.

Section (d) provides the following Conditional Use Permit factors in consideration of appropriateness of a request:

- a) The proposed use is consistent with the Comprehensive Plan;
- b) The proposed use is compatible with the existing and adjacent uses.
- c) The proposed use meets all supplemental use standards specifically applicable to the use as set forth in Chapter 5;
- d) The proposed use is compatible with and preserves the character and integrity of adjacent development and neighborhoods;
- e) The proposed use is not materially detrimental to the public health, safety, and welfare, or results in material damage or prejudice to other property in the vicinity.

Surrounding Zoning and Land Uses

North “PD/C” Planned Development for Multifamily / Vacant land
East “PD/C” Planned Development for Multifamily / Vacant land
South “E” Neighborhood Commercial / Vacant
West “J” Medium Industrial / Industrial Development

Recent Zoning History

- ZC-22-157 from E, F, PD1184/5 to PD/C, PD/F plus commercial and multifamily uses
- ZC-17-191 PD 1184 & 1185 were approved by City Council on March 6, 2018 by a vote of 9-0. PD 1184 is a Planned Development for a mixed-use commercial development including a hotel, entertainment complex, and convention center. PD 1185 is a Planned Development for four story apartments built around the rim of the former quarry/lake.

Public Notification

300-foot Legal Notifications were mailed on May 31, 2024.
The following organizations were notified: (emailed)

Organizations Notified	
North Fort Worth Alliance	Inter-District 2 Alliance
Trailwood Estates HOA	Terrace Landing OA
Far Greater Northside Historical NA	Streams and Valleys Inc
Trinity Habitat for Humanity	Eagle Mountain-Saginaw ISD
Lake Worth ISD	

* *Located closest to this registered Neighborhood Association*

Development Impact Analysis

Land Use Compatibility

The applicant has requested a change to the current zoning designation from "E" Neighborhood Commercial to add a Conditional Use Permit (CUP) overlay for constructing a one-lane automated car wash as part of a larger project with a gas station and convenience store to the south. Although the land is undeveloped and the nearest single-family subdivision is over 700 feet away, the property is surrounded by commercial zoning to the south and multifamily areas to the north and east that are part of a planned development with a site plan that the City Council.

Generally, the proposed land use is considered suitable for a commercial area. However, the proximity to the planned multifamily development raises concerns due to the potential noise from the car wash, which makes the proposed land use at this particular site **not compatible** with the surrounding area.

The Comprehensive Plan outlines general land use categories without specifying individual land uses. The CUP process enables the City to evaluate the suitability of specific uses in certain locations. Although the currently adopted plan designates the subject property as "Neighborhood Commercial" on the Future Land Use Map, there is a proposal for mixed-use and multifamily development around the lake. The City prefers a change from Neighborhood Commercial to Mixed Use for the Future Land Use, along with mixed-use zoning. The proposed zoning **is not consistent** with the Comprehensive Plan.

Site Plan Comments

Zoning and Land Use

The submitted site plan is not in general compliance with Zoning Ordinance regulations.

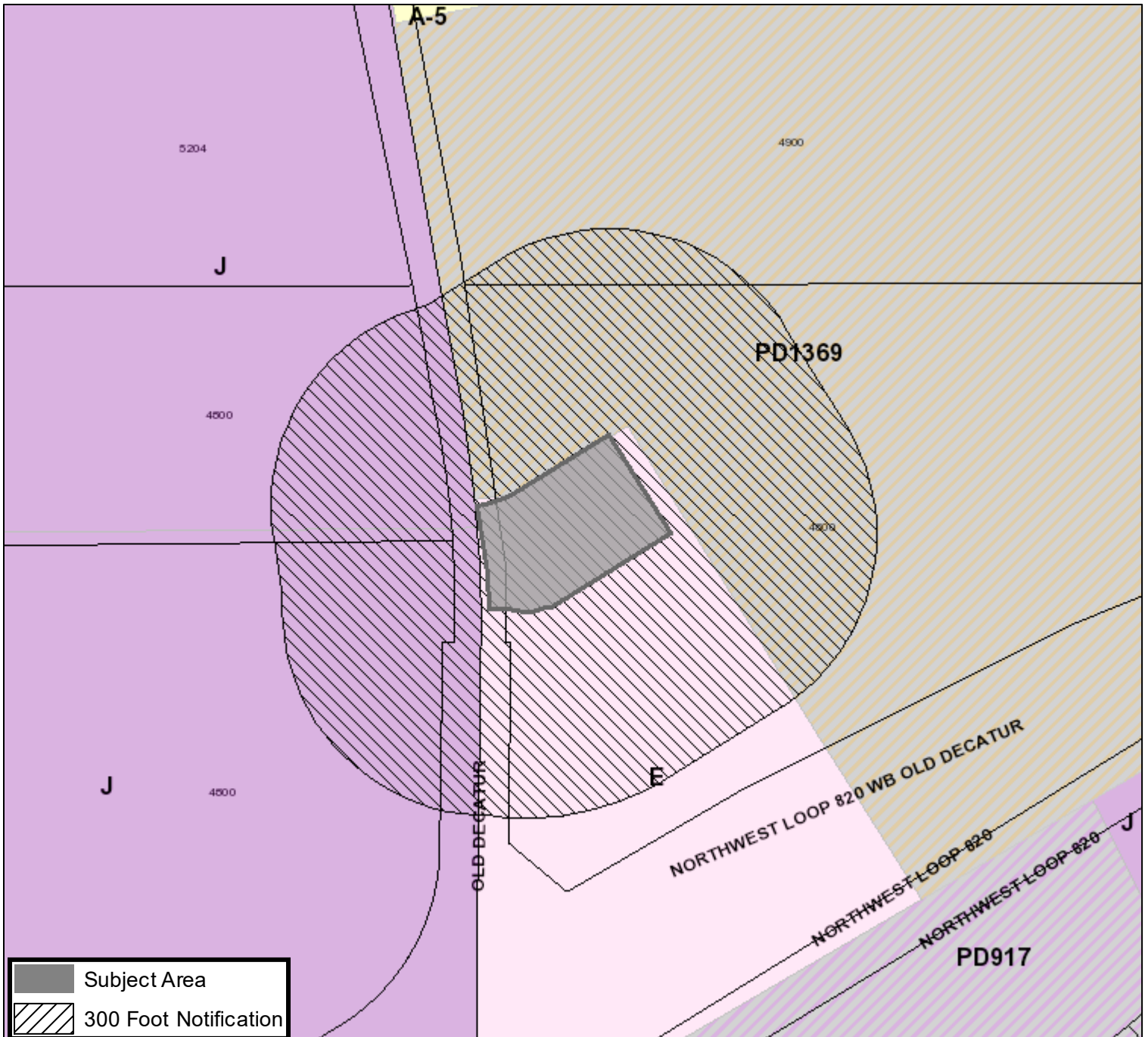
1. Update the zoning case number to ZC-24-046.
2. Indicate the number of cars that can be held on the wash line simultaneously to determine the parking count.
3. Include the parking count calculation in the Site Data table. Note that vacuum spaces count towards the required parking
4. All drying and vacuuming facilities or any accessory structure shall not be in the front yard
5. The site must have a 10% landscaped area, with the majority (75%) of this area in front of the buildings.
6. Landscape area is hard to distinguish, please include surface material on the legend.
7. Handicap parking is required
8. The proposed dryer location is directly adjacent to a multifamily district, per City ordinance, no car wash dryer shall face a residential district or use.





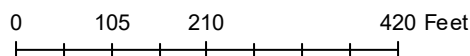
ZC-24-049

Area Zoning Map

Applicant: Fort Worth Quarry Company/QT South
 Address: 4800 Old Decatur Road
 Zoning From: E
 Zoning To: Add a CUP for Car Wash
 Acres: 0.97259186
 Mapsco: Text
 Sector/District: Far_Northwest
 Commission Date: 6/12/2024
 Contact: 817-392-2495



	Subject Area
	300 Foot Notification



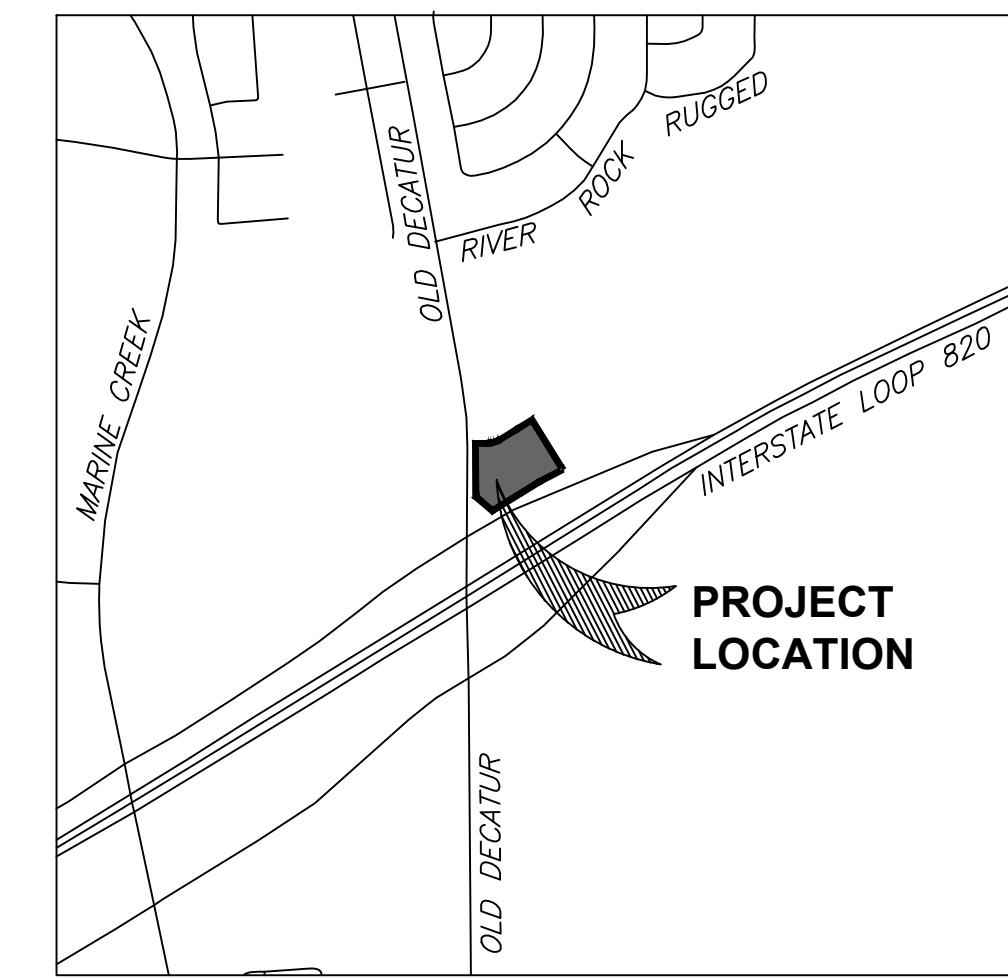
OWNER/DEVELOPER: QUIKTRIP CORPORATION
 BUBBLE BATH CAR WASH
 4705 SOUTH 129TH EAST AVE
 TULSA, OKLAHOMA 74134

ENGINEER: LIQUE ENGINEERS
 816 CAMARON STE 110
 SAN ANTONIO, TX. 78212
 210-549-4207
 CONTACT: DAMIAN ESQUIVEL, P.E.

LAND SURVEY: LIQUE ENGINEERS
 816 CAMARON STE 110
 SAN ANTONIO, TX. 78212
 210-549-4207
 CONTACT: JOSE GILBERTO GONZALEZ

ARCHITECT: LIQUE DESIGN STUDIO
 816 CAMARON ST. STE 110
 SAN ANTONIO, TX 78212
 210-549-4207
 CONTACT: CESAR SOSTRE

BEING A 0.9760 ACRE (42,516 SQUARE FOOT) TRACT OF LAND SITUATED IN THE ROBERT MUSSELMAN SURVEY, ABSTRACT NO. 1102 AND THE J. T. HOBBS SURVEY, ABSTRACT NO. 806, CITY OF FORT WORTH, TARRANT COUNTY, TEXAS; SAID TRACT BEING A PORTION OF A TRACT OF LAND DESCRIBED IN SPECIAL WARRANTY DEED TO FORT WORTH QUARRY FALLS COMPANY, LLC RECORDED IN INSTRUMENT NUMBER D222030435, OFFICIAL PUBLIC RECORDS, TARRANT COUNTY, TEXAS (O.P.R.T.C.T.)



GENERAL NOTES:

- THIS PROJECT WILL COMPLY WITH SECTION 6.301, LANDSCAPING.
- THIS PROJECT WILL COMPLY WITH SECTION 6.302, URBAN FORESTRY.
- ALL SIGNAGE WILL CONFORM TO ARTICLE 4, SIGNS.
- ALL PROVIDED LIGHTING WILL CONFORM TO THE LIGHTING CODE.

CURVE TABLE					
CURVE#	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD LENGTH
C1	44.16'	111.52'	22°41'20"	S69°44'41"W	43.87'
C2	49.62'	90.00'	31°35'31"	N74°11'29"E	49.00'

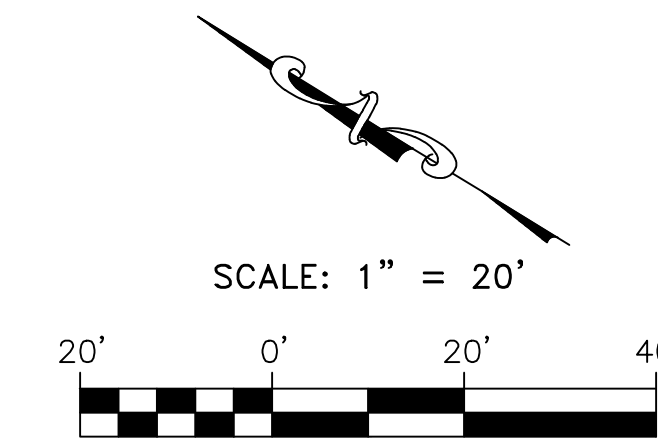
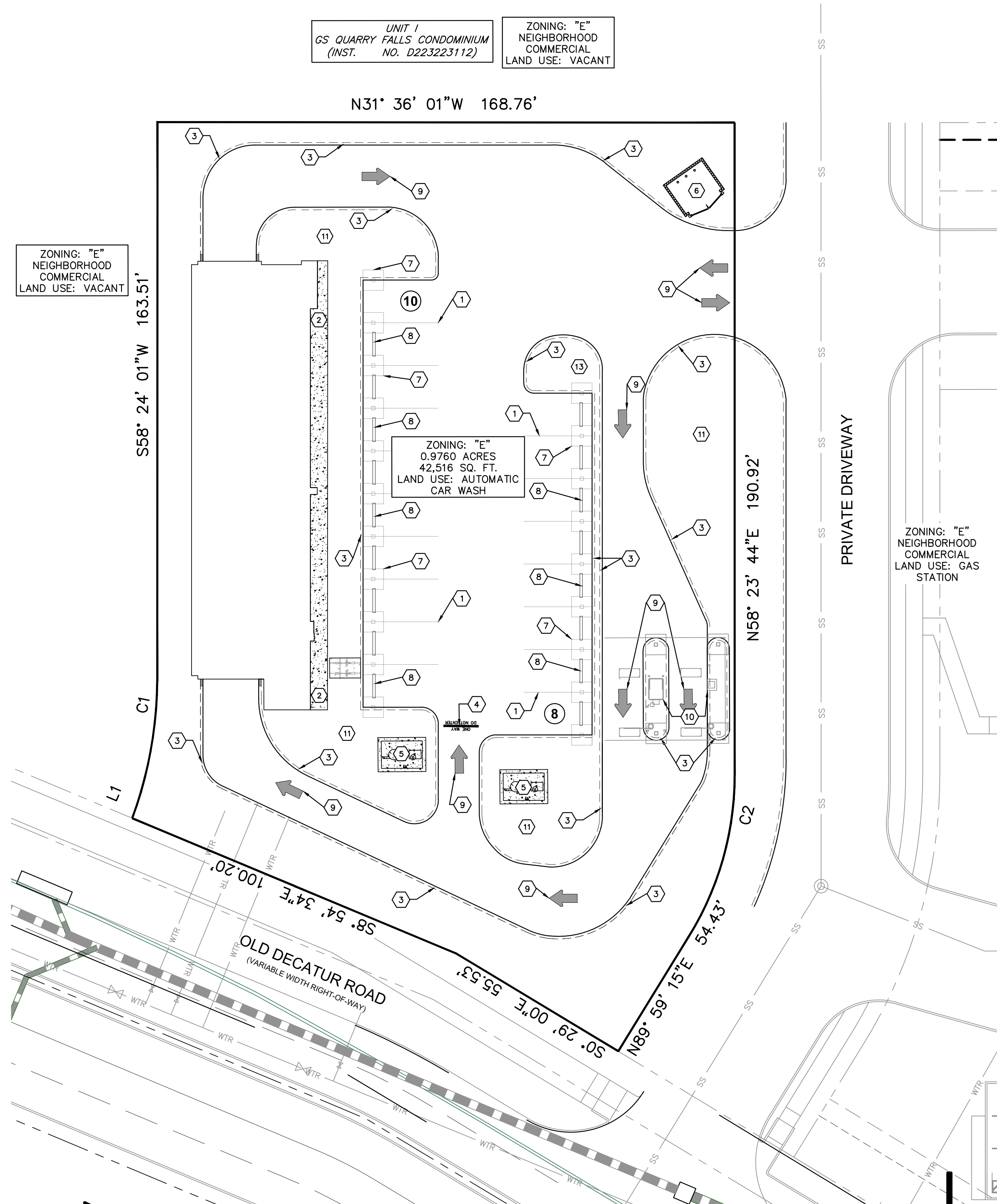
LINE TABLE		
LINE#	LENGTH	BEARING
L1	11.45'	S81°05'21"W

KEY NOTES

1	TYPICAL PARKING STRIPING	
2	CONCRETE SIDEWALK	
3	MONOLITHIC CURB	
4	DO NOT ENTER SIGN	
5	VACUUM ENCLOSURE (SEE ARCH. PLANS FOR DETAILS)	
6	ENCLOSED DUMPSTER (SEE ARCH. PLANS FOR DETAILS)	
7	VACUUM CANOPIES	
8	WHEEL STOP	
9	TRAFFIC ARROWS	
10	PAY TERMINAL	
11	PROPOSED LANDSCAPE	
#	PARKING COUNT	

UNIT 1
 GS QUARRY FALLS CONDOMINIUM
 (INST. NO. D223223112)

ZONING: "E"
 NEIGHBORHOOD COMMERCIAL
 LAND USE: VACANT



PROPERTY LINE	---
ADJACENT PROPERTY LINE	---
LIMITS OF CONSTRUCTION	--- LC ---
SITE DISTANCE TRIANGLE	---▲---
FOUND 1" IRON ROD	⊙
EXISTING SEWER MANHOLE	⊙
EXISTING UTILITY POLE	⊙
EXISTING GAS LINE	--- GAS ---
EXISTING WATER LINE	--- W ---
EXISTING 8" SANITARY SEWER	--- 8"SS ---
EXISTING 10" SANITARY SEWER	--- SS ---
PROPOSED CURB	---
PROPOSED RIBBON CURB	---
EXISTING FENCE	--- ---
8' ZONING BUFFER	---

**BUBBLE BATH 1874
 PRELIMINARY SITE PLAN
 QUARRY FALLS
 FORT WORTH, TEXAS**

LIQUE
 ENGINEERS & SURVEYING
 TBPELS # - 20405 &
 # - 10194727
 816 Camaron Ste. 110
 San Antonio, TX. 78212
 Phone: 210-549-4207

THIS DOCUMENT IS RELEASED FOR REVIEW PURPOSES ONLY UNDER THE AUTHORIZATION OF: DAMIAN ESQUIVEL, P.E. #98362

REVISION: #
 DATE: MAY 4, 2024

JOB: 104-01-XX
 SCALE: 1" = 20'

SHEET NO.
 EXHIBIT

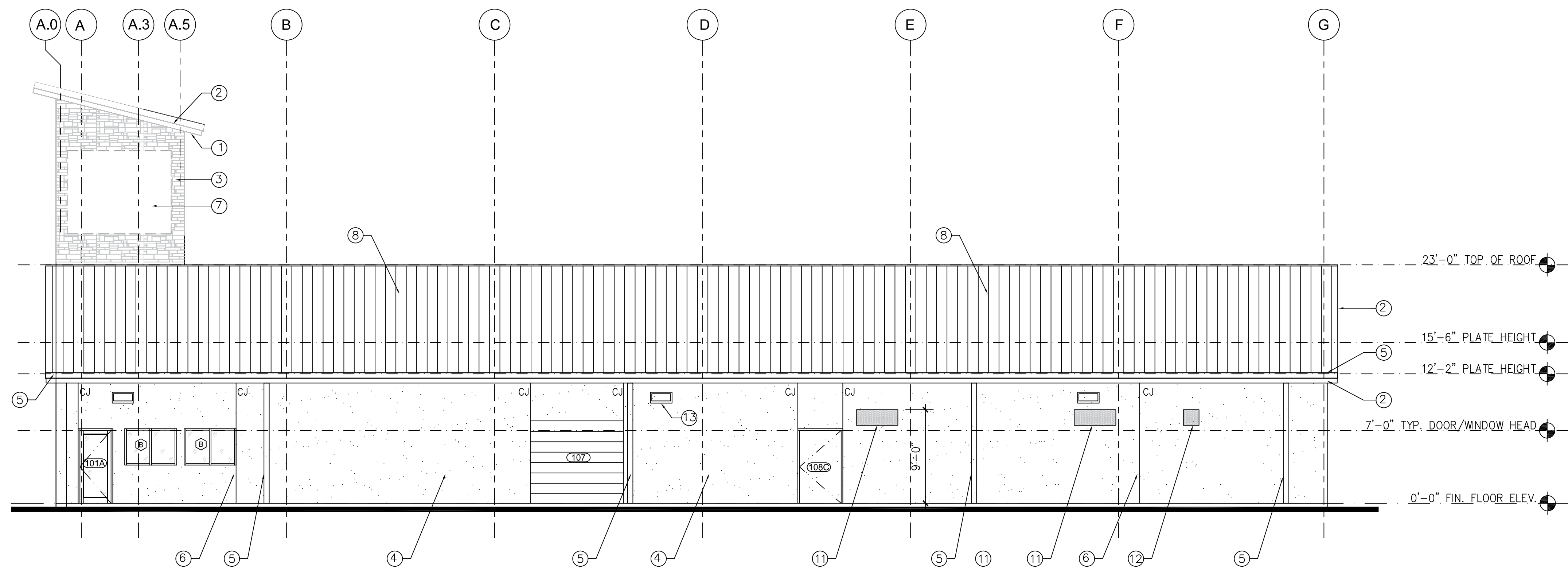
DIRECTOR OF DEVELOPMENT SERVICES

DATE

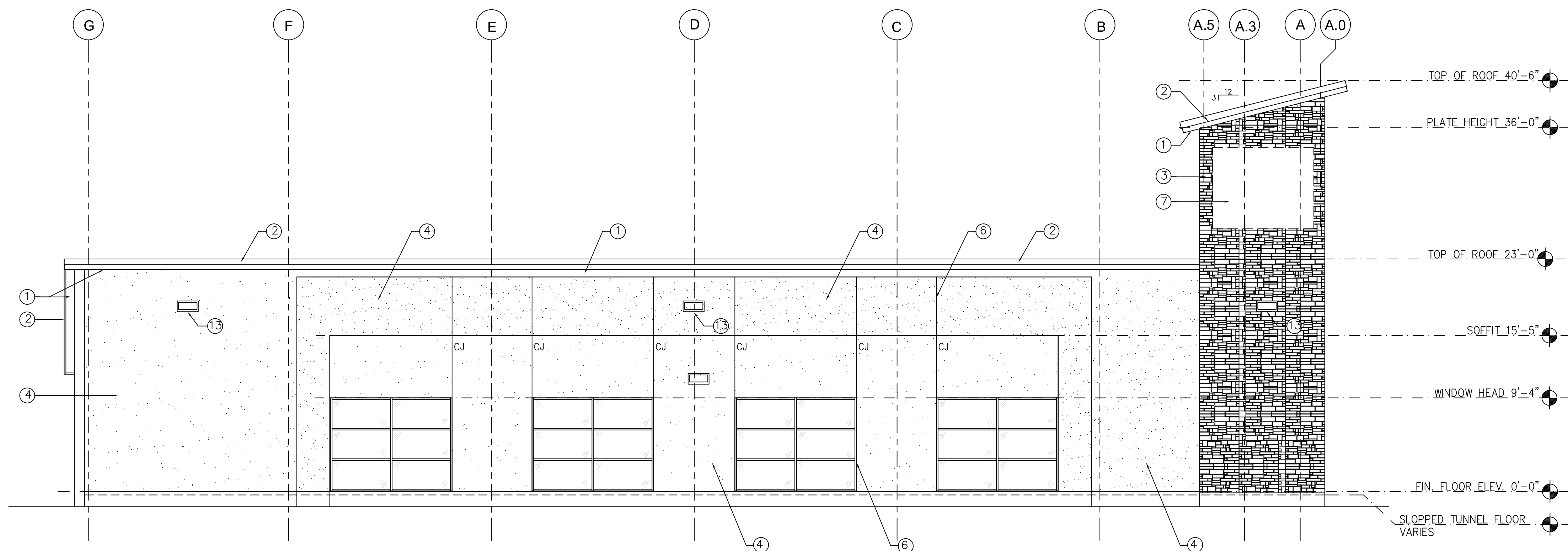
**BUBBLE BATH CAR WASH 1874
 ZONING CASE #XXXXX**

COMMENTS

NO. DATE



1 EAST ELEVATION
1/8" = 1'-0"



2 WEST ELEVATION
1/8" = 1'-0"

KEYED NOTES	
①	PRE-FINISHED METAL SOFFIT AS SPECIFIED
②	PRE-FINISHED METAL FASCIA MATCH ROOF COLOR
③	STONE VENEER, SEE FINISH SCHEDULE
④	PAINTED STUCCO REFERENCE FINISH SCHEDULE
⑤	PRE-FINISHED METAL GUTTER & DOWNSPOUT, PAINTED
⑥	TYPICAL STUCCO CONTROL JOINTS
⑦	SIGNAGE, BY OWNER
⑧	PRE-FINISHED METAL 'R' PANEL ROOF, SEE FINISH SCHEDULE
⑨	STEEL CAGED LADDER, REF. SHOP DRAWINGS, PAINTED COLOR BLACK
⑩	TOWER ACCESS METAL PLATFORM, COLOR TO MATCH UNDERSIDE OF ROOF.
⑪	MOTORIZED LOUVERS, REF. MECHANICAL
⑫	MECHANICAL VENT, REF. MECHANICAL
⑬	WALL MOUNTED LIGHTING FIXTURE

GENERAL NOTES	
A.	CJ DENOTES STUCCO CONTROL JOINT LOCATION
B.	EXTERIOR FASCIA AND GUTTER PROFILES TO BE AS "SCULPTURED GUTTER AND EAVE" PROFILES BY MBCI
C.	THE BUILDING ELEVATIONS SHOWN AND APPROVED HEREIN SHALL DEMONSTRATE HOW ALL MECHANICAL EQUIPMENT SHALL BE SCREENED. IT IS THE APPLICANT'S RESPONSIBILITY TO ENSURE THAT SCREENING OCCURS IN THE FIELD AS DEMONSTRATED BY THESE PLANS, REGARDLESS OF CURB REQUIREMENTS, MECHANICAL PLAN CHANGES, OR OTHER CIRCUMSTANCES. FAILURE TO PROVIDE SCREENING MAY RESULT IN DELAY OF FINAL INSPECTION AND/OR ISSUANCE OF A CERTIFICATE OF OCCUPANCY.



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THE BUBBLE BATH CARWASH

BUBBLE BATH 1874

QUARRY FALLS
FORT WORTH, TX



PROJECT DATE: MAY 13, 2024
PROJECT MANAGER: JR
PROJECT TEAM: LIQUE DESIGN STUDIO

BUILDING ELEVATIONS

A-100

NOT FOR REGULATORY APPROVAL, PERMITTING OR CONSTRUCTION

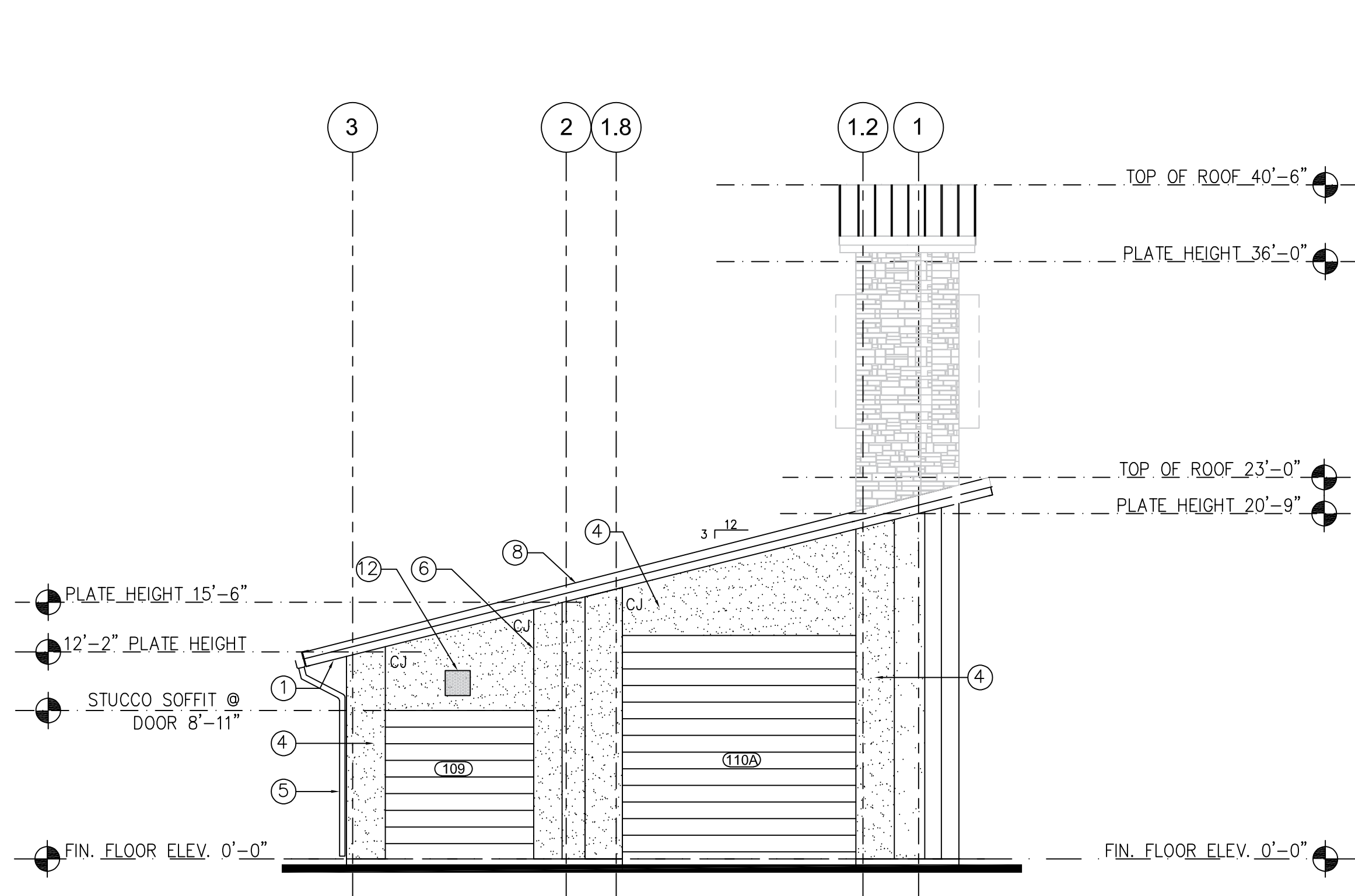
NOTICE:
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KEYED NOTES

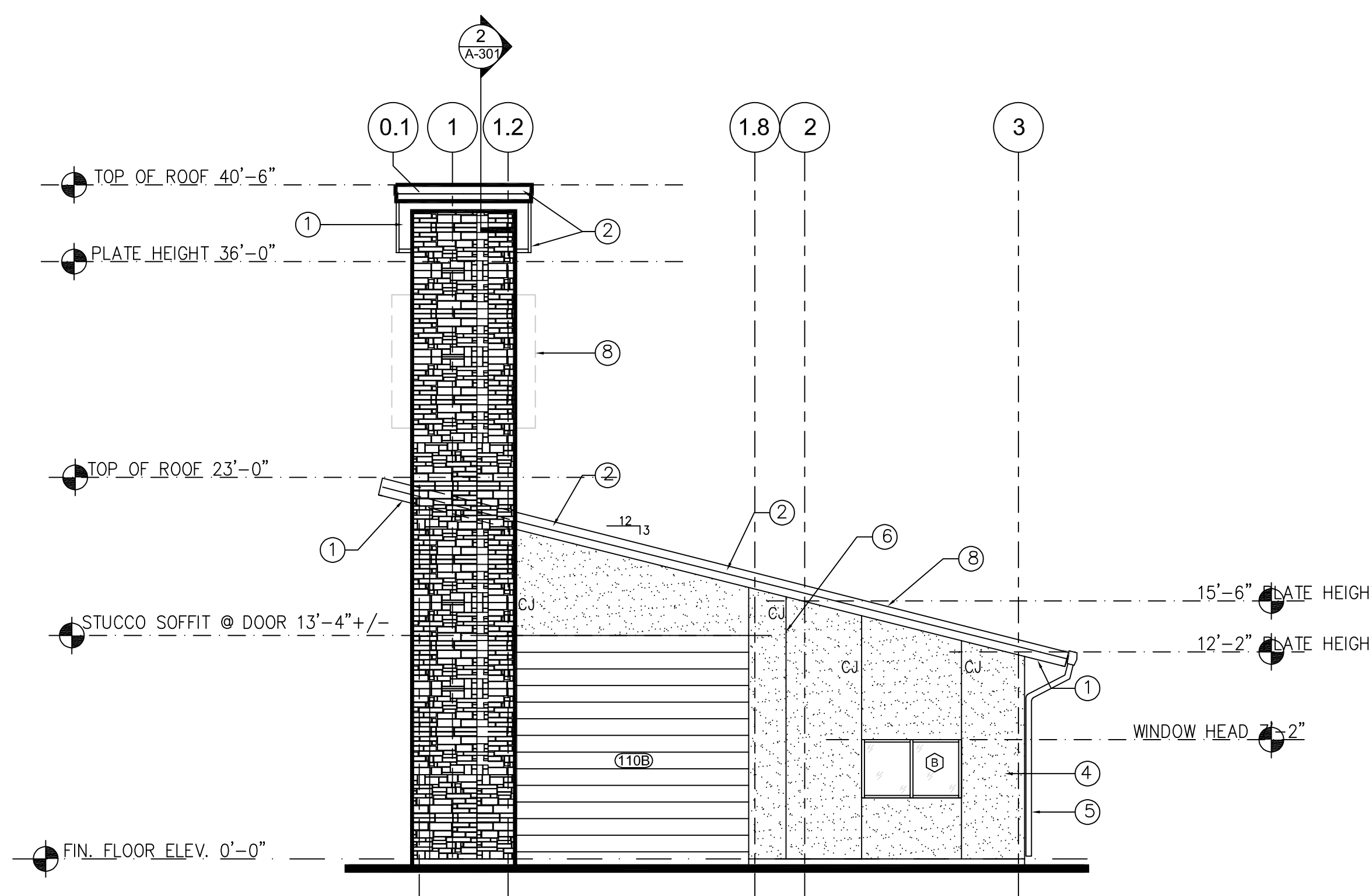
- ① PRE-FINISHED METAL SOFFIT AS SPECIFIED
- ② PRE-FINISHED METAL FASCIA MATCH ROOF COLOR
- ③ STONE VENEER, SEE FINISH SCHEDULE
- ④ PAINTED STUCCO REFERENCE FINISH SCHEDULE
- ⑤ PRE-FINISHED METAL GUTTER & DOWNSPOUT, PAINTED
- ⑥ TYPICAL STUCCO CONTROL JOINTS
- ⑦ SIGNAGE, BY OWNER
- ⑧ PRE-FINISHED METAL 'R' PANEL ROOF, SEE FINISH SCHEDULE
- ⑨ STEEL CAGED LADDER, REF. SHOP DRAWINGS, PAINTED COLOR BLACK
- ⑩ TOWER ACCESS METAL PLATFORM, COLOR TO MATCH UNDERSIDE OF ROOF.
- ⑪ MOTORIZED LOUVERS, REF. MECHANICAL
- ⑫ MECHANICAL VENT, REF. MECHANICAL
- ⑬ WALL MOUNTED LIGHTING FIXTURE

GENERAL NOTES

- A. CJ DENOTES STUCCO CONTROL JOINT LOCATION
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- C. THE BUILDING ELEVATIONS SHOWN AND APPROVED HEREIN SHALL DEMONSTRATE HOW ALL MECHANICAL EQUIPMENT SHALL BE SCREENED. IT IS THE APPLICANT'S RESPONSIBILITY TO ENSURE THAT SCREENING OCCURS IN THE FIELD AS DEMONSTRATED BY THESE PLANS, REGARDLESS OF CURB REQUIREMENTS, MECHANICAL PLAN CHANGES, OR OTHER CIRCUMSTANCES. FAILURE TO PROVIDE SCREENING MAY RESULT IN DELAY OF FINAL INSPECTION AND/OR ISSUANCE OF A CERTIFICATE OF OCCUPANCY.



1 NORTH ELEVATION
1/8" = 1'-0"



2 SOUTH ELEVATION
1/8" = 1'-0"



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THE BUBBLE BATH CARWASH

BUBBLE BATH 1874

QUARRY FALLS
FORT WORTH, TX



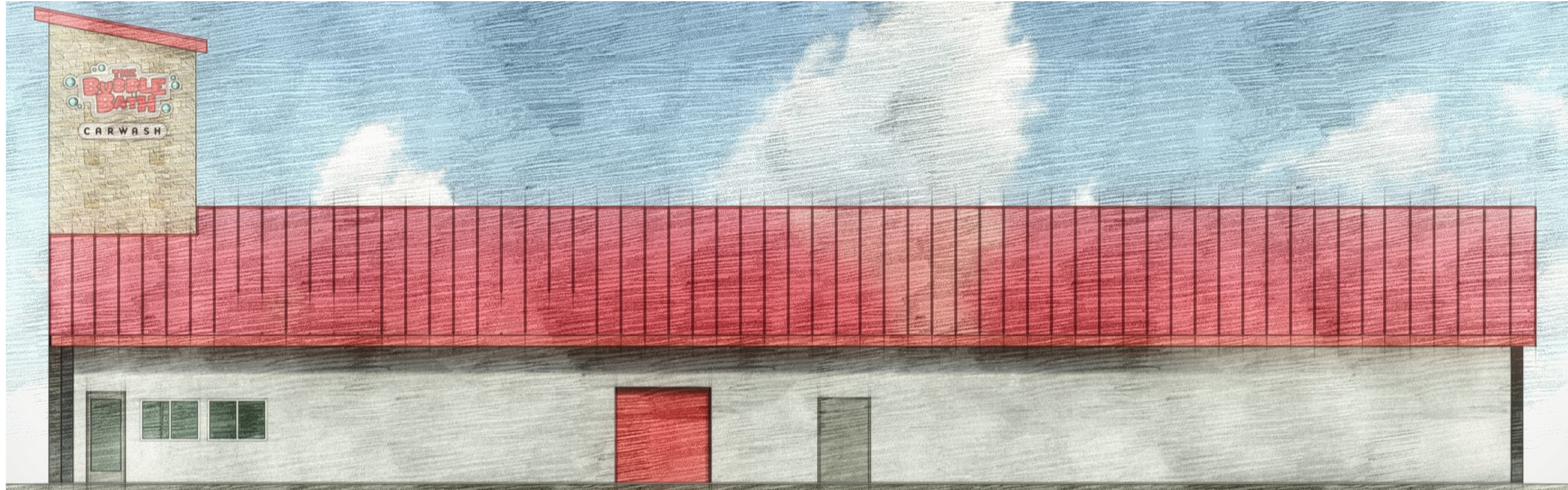
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BUILDING ELEVATIONS

A-101

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THE BUBBLE BATH CARWASH

BUBBLE BATH

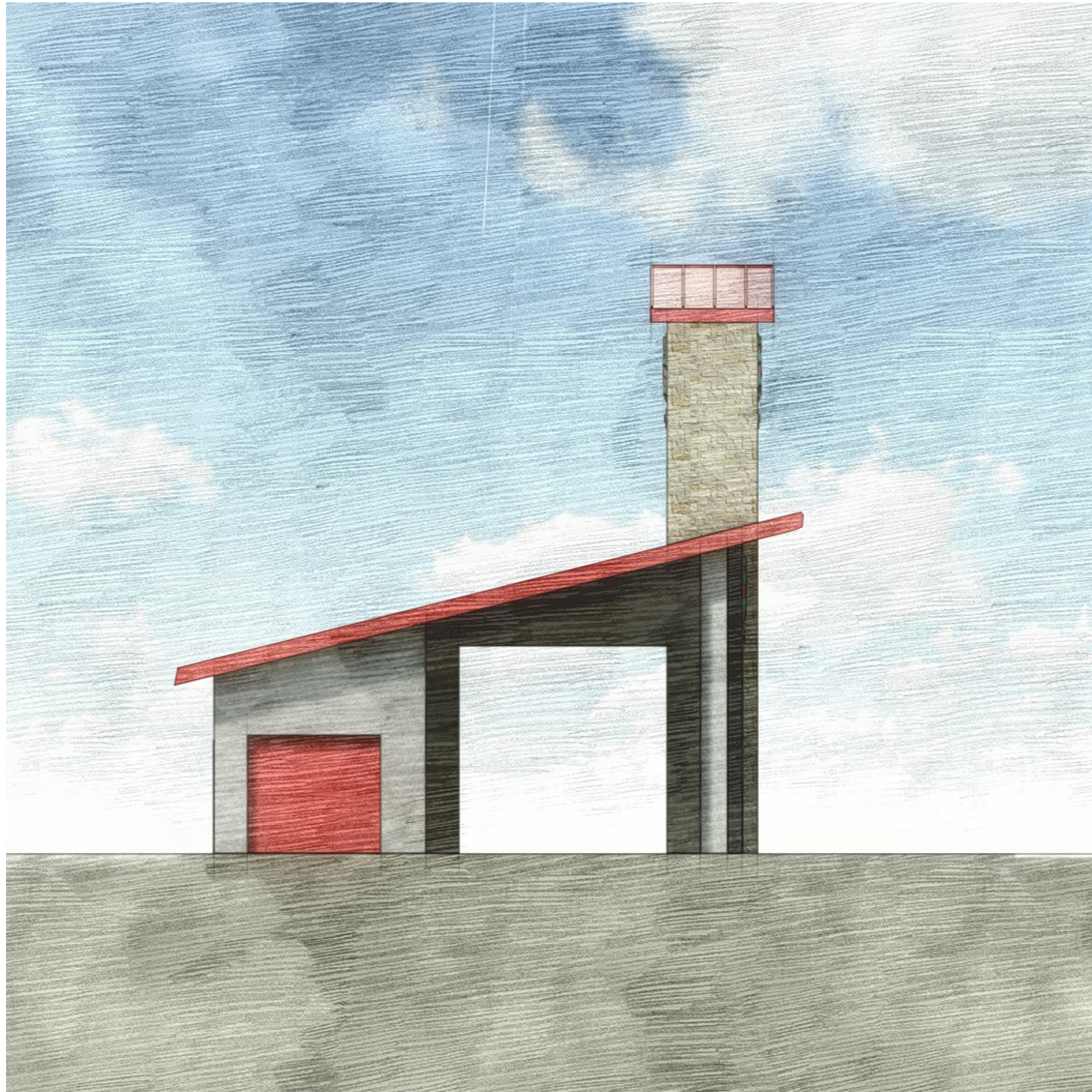
QUARRY FALLS
 FORT WORTH, TX



PROJECT DATE: MAY 13, 2024
 PROJECT MANAGER: JR
 PROJECT TEAM: LIQUE DESIGN STUDIO

**RENDERED
 BUILDING
 ELEVATIONS**

A-200



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THE BUBBLE BATH CARWASH

BUBBLE BATH

QUARRY FALLS
 FORT WORTH, TX



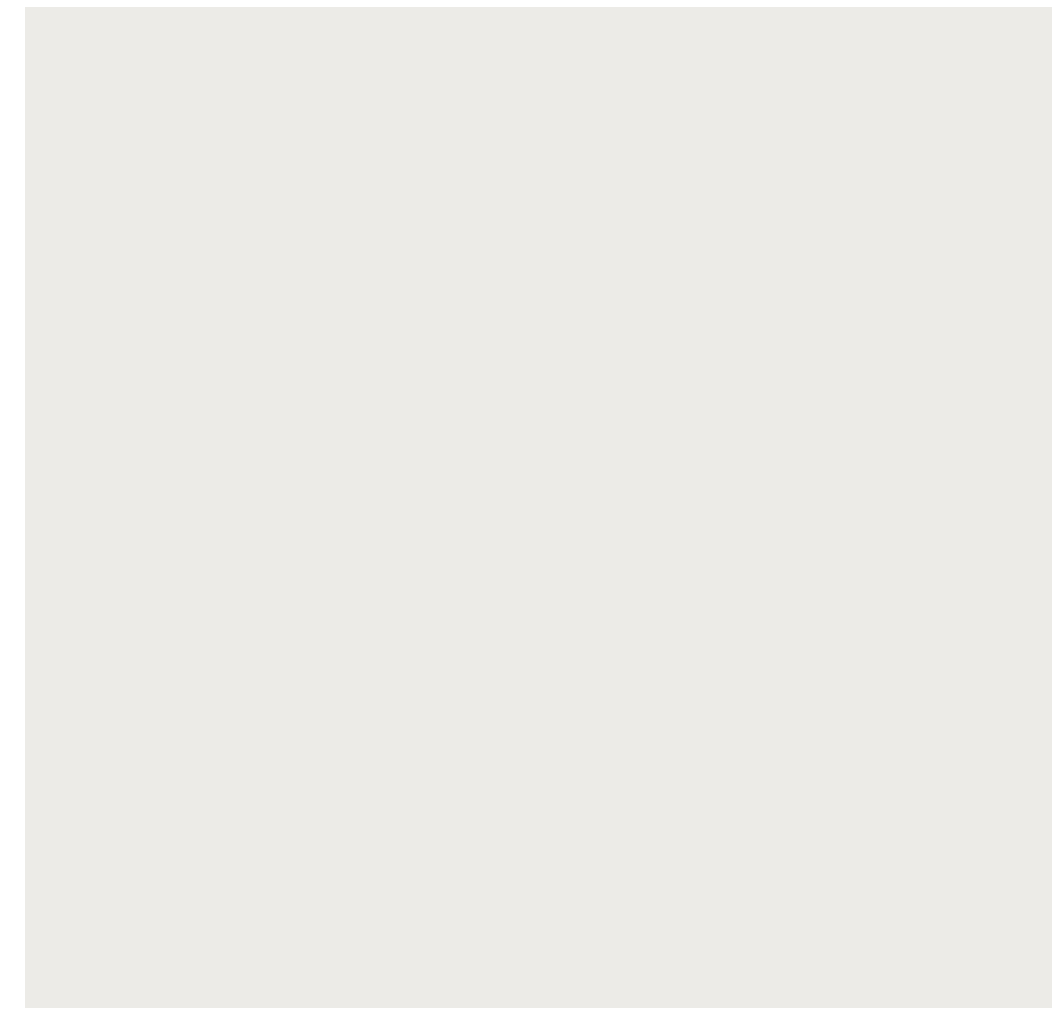
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 PROJECT TEAM: LIQUE DESIGN STUDIO

**RENDERED
 BUILDING
 ELEVATIONS**

A-201



BUILDING RENDER FOR REFERENCE



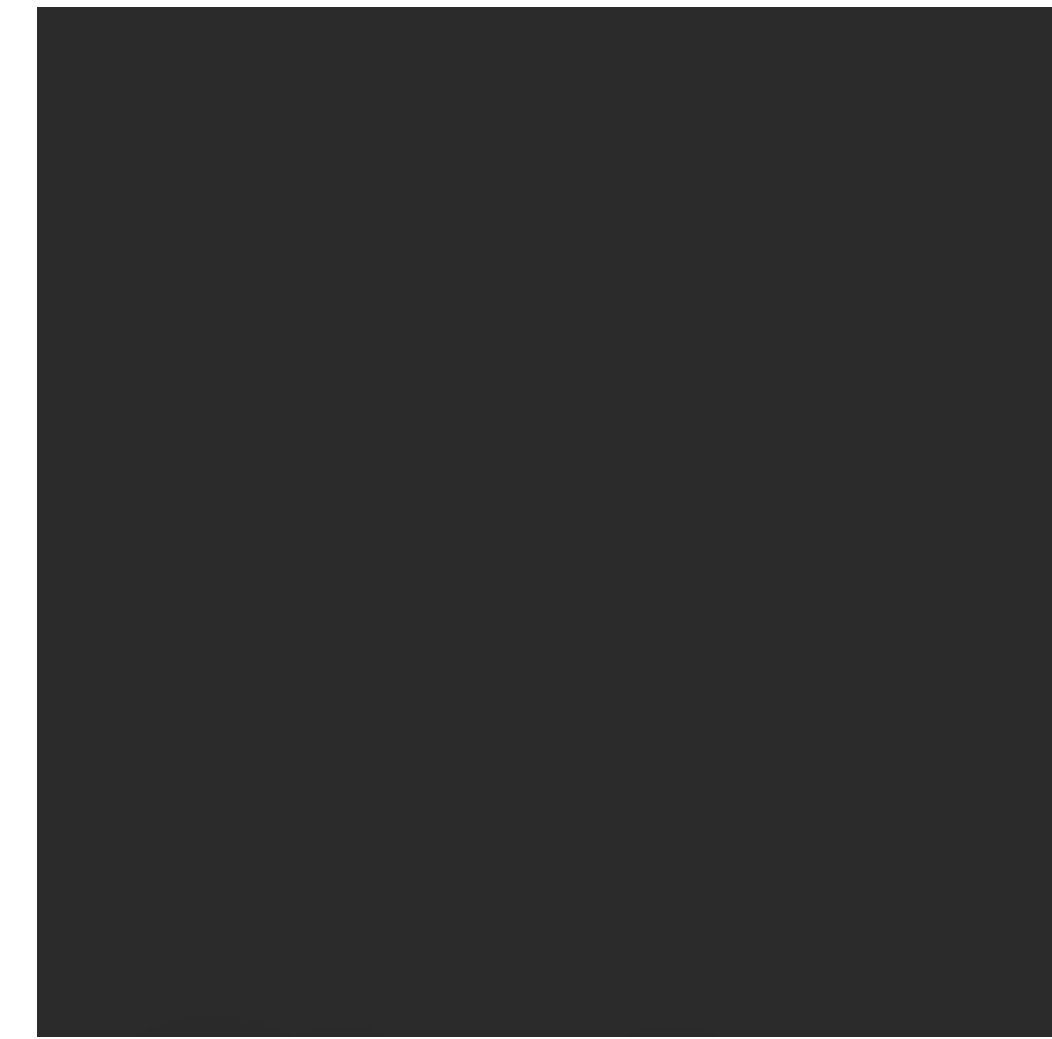
ST-1:

3 COAT 7/8" STUCCO
SHERWIN-WILLIAMS "SNOW BOUND"
PRIMARY WALLS



RF-1:

STANDING SEAM METAL ROOF
WESTERN STATES METAL ROOFING
FINISH: REGAL RED



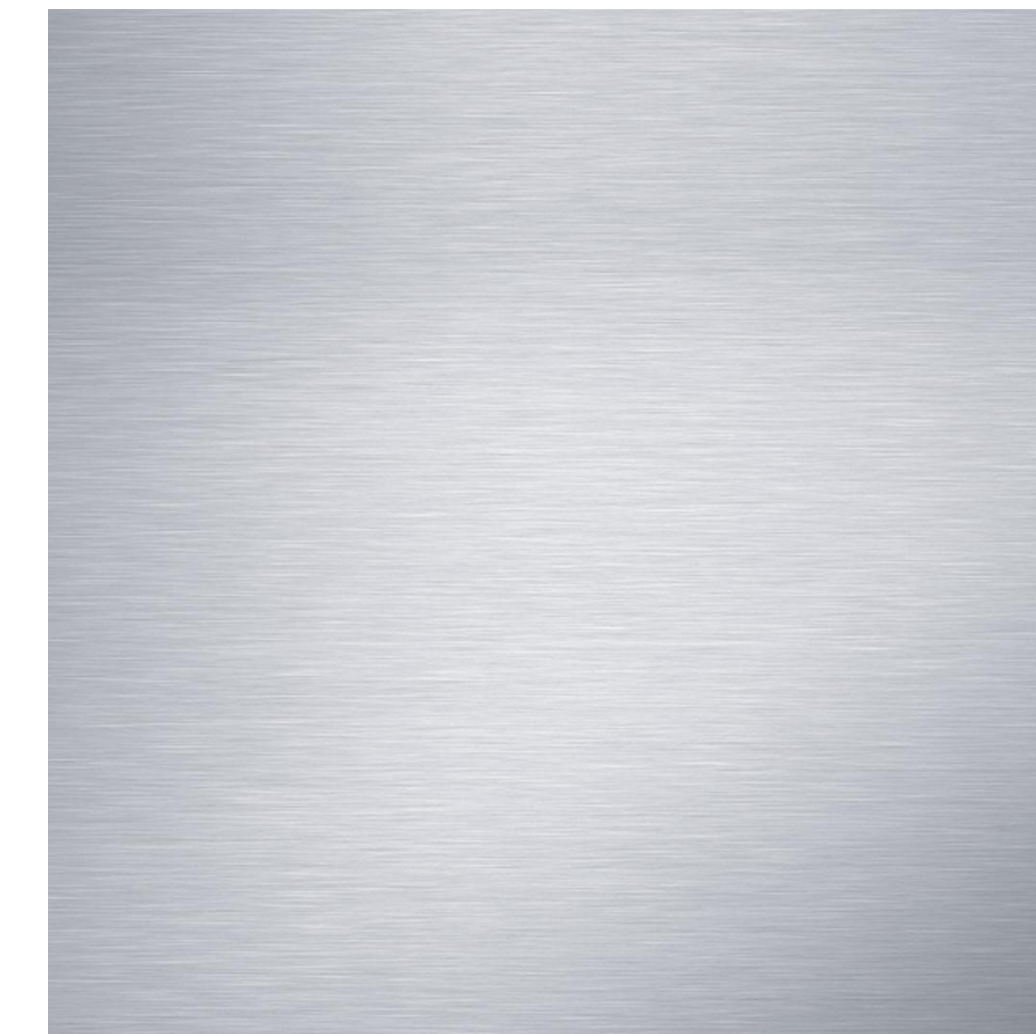
SP-1:

SOFFIT PANEL
WESTERN STATES METAL ROOFING
FINISH: BLACK



ST-2:

3 COAT 7/8" STUCCO
SHERWIN-WILLIAMS "IRON ORE"
ACCENT WALLS



AL-1:

ALUMINUM
Tubelite
Entry Door/Window Frame



STN-1:

STONE VENEER
NATURAL NATIVE STONE.
COLOR: FALL BLEND



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THE BUBBLE BATH CARWASH

BUBBLE BATH

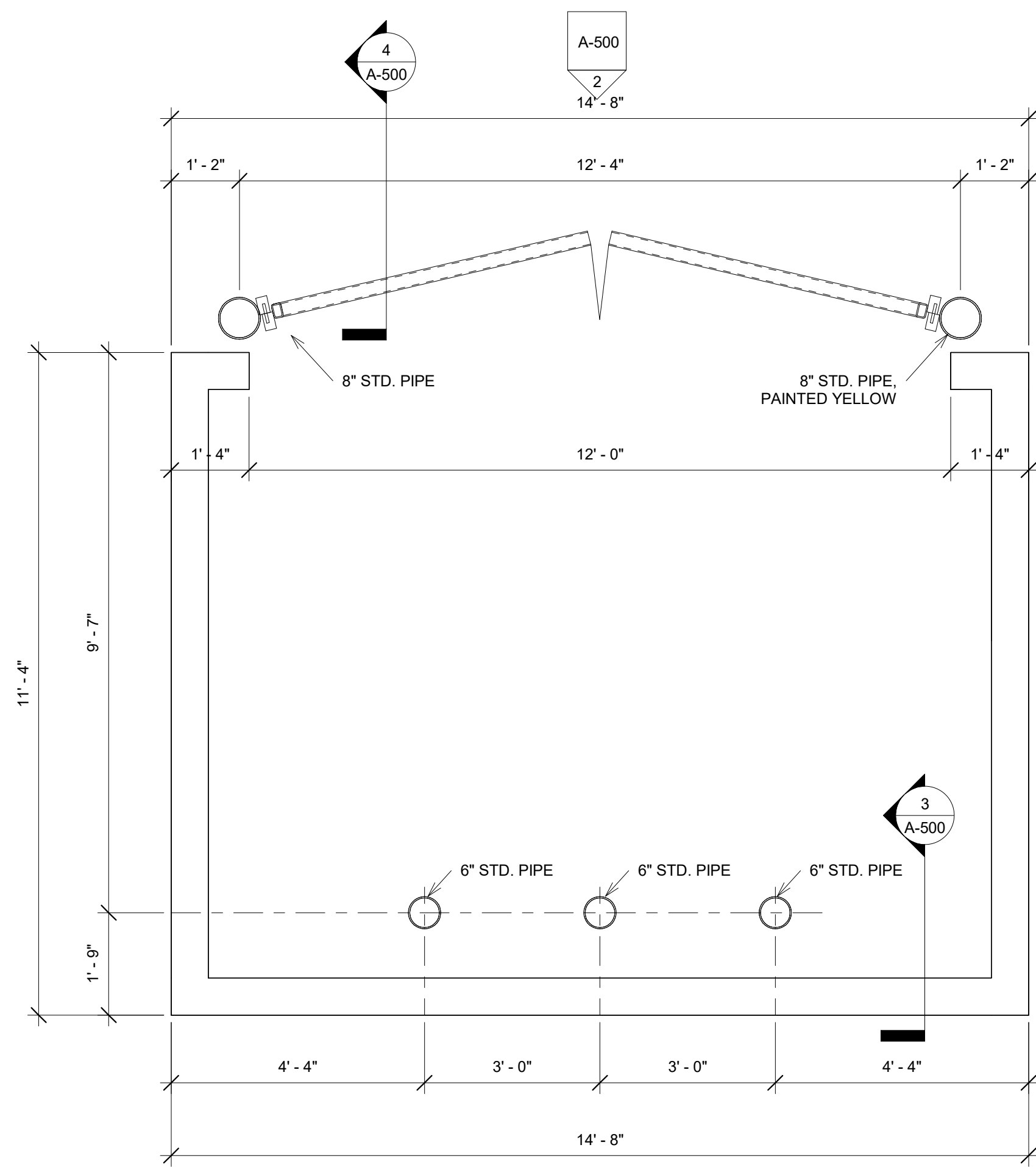
QUARRY FALLS
FORT WORTH, TX



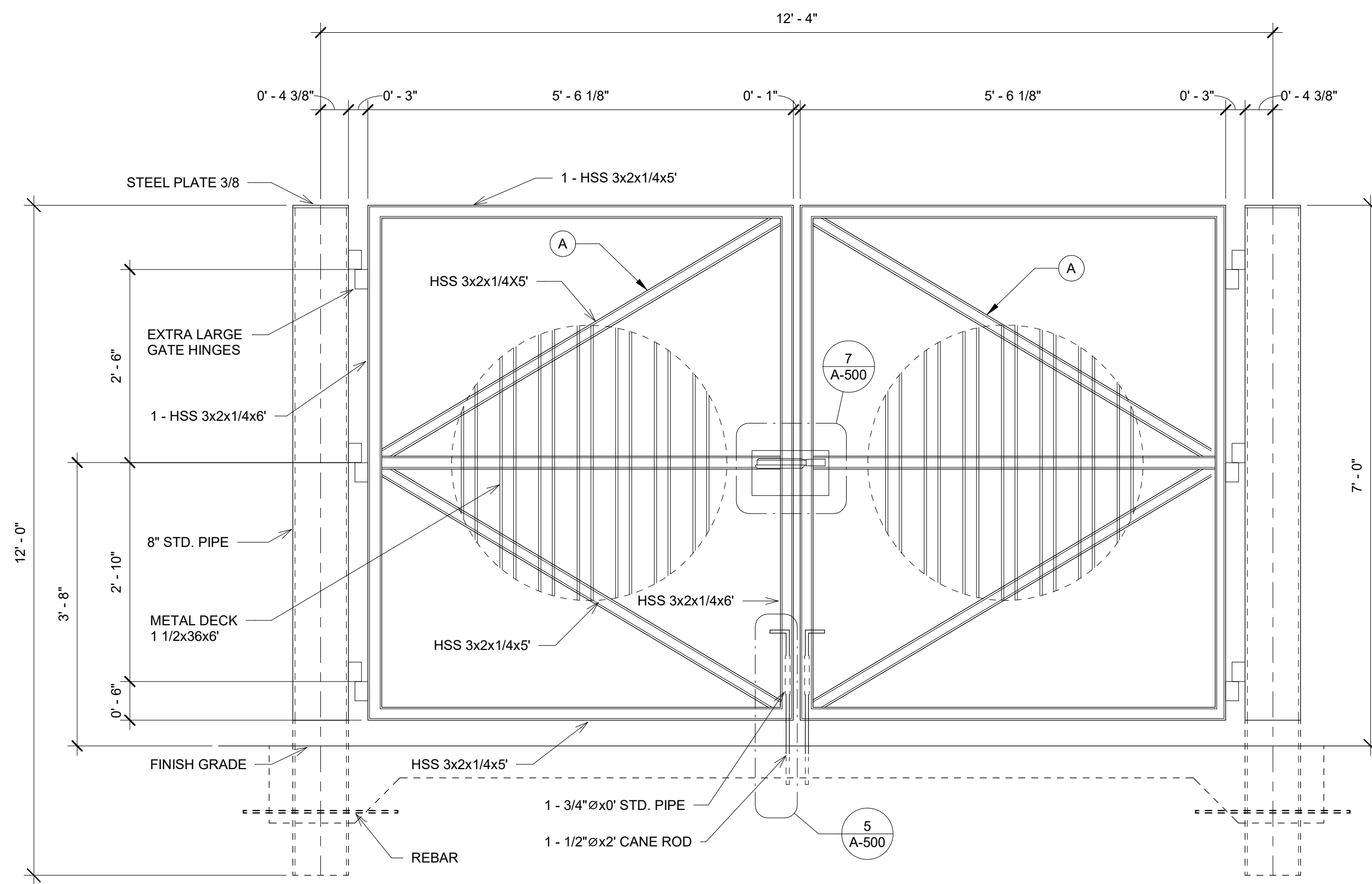
PROJECT DATE: MAY 13, 2024
PROJECT MANAGER: JR
PROJECT TEAM: LIQUE DESIGN STUDIO

MATERIAL GUIDE

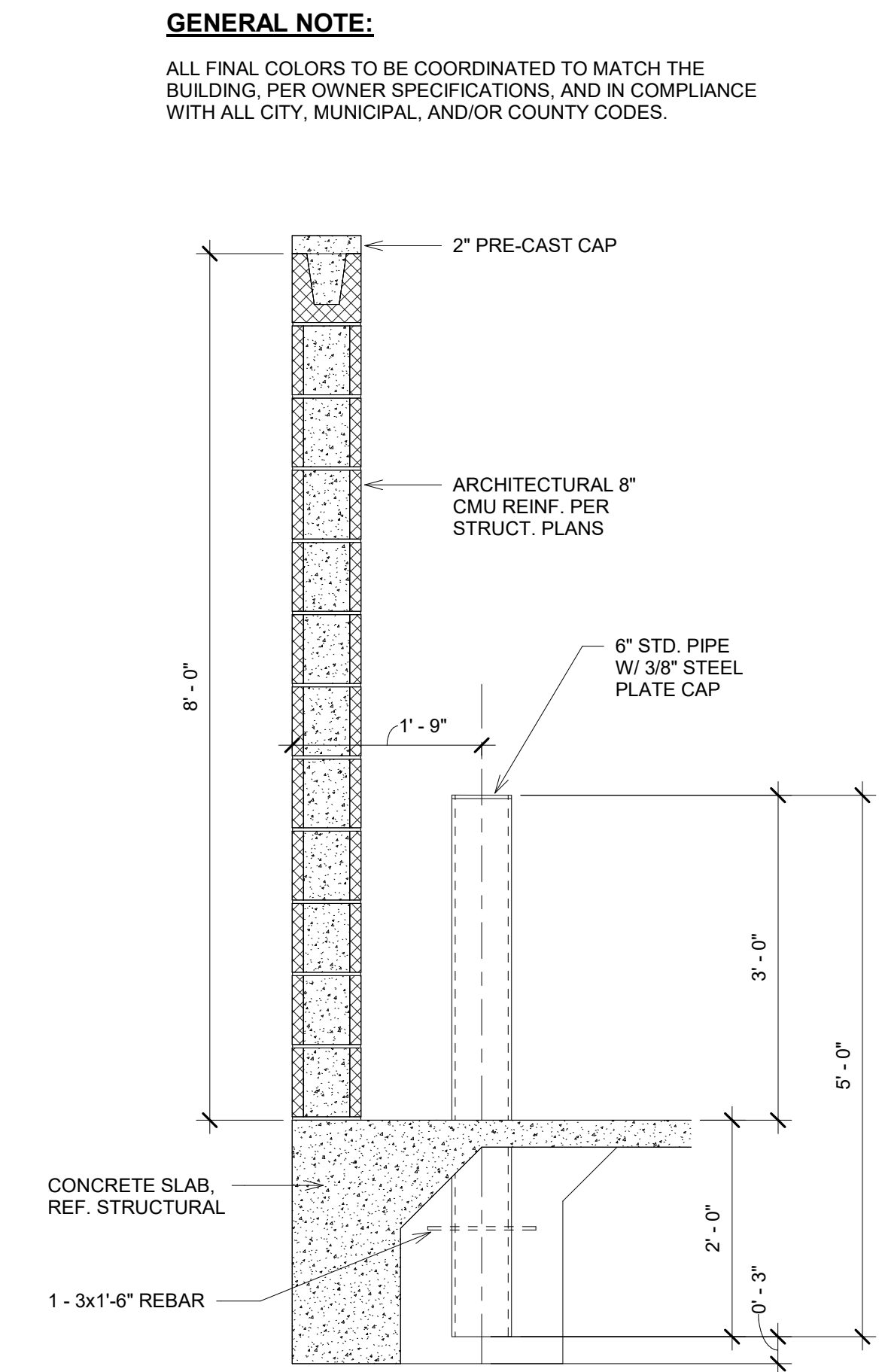
A-301



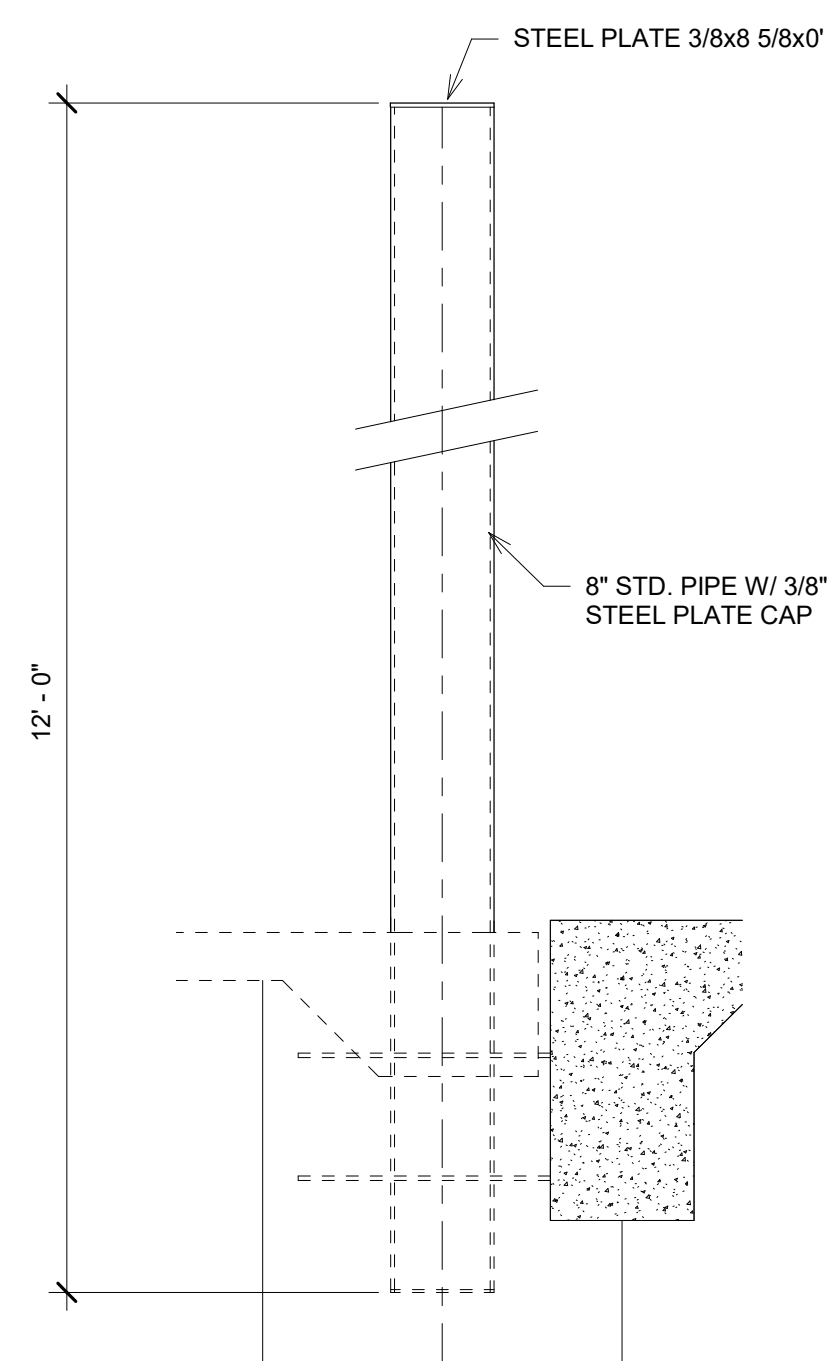
1 TRASH PLAN
1/2" = 1'-0"



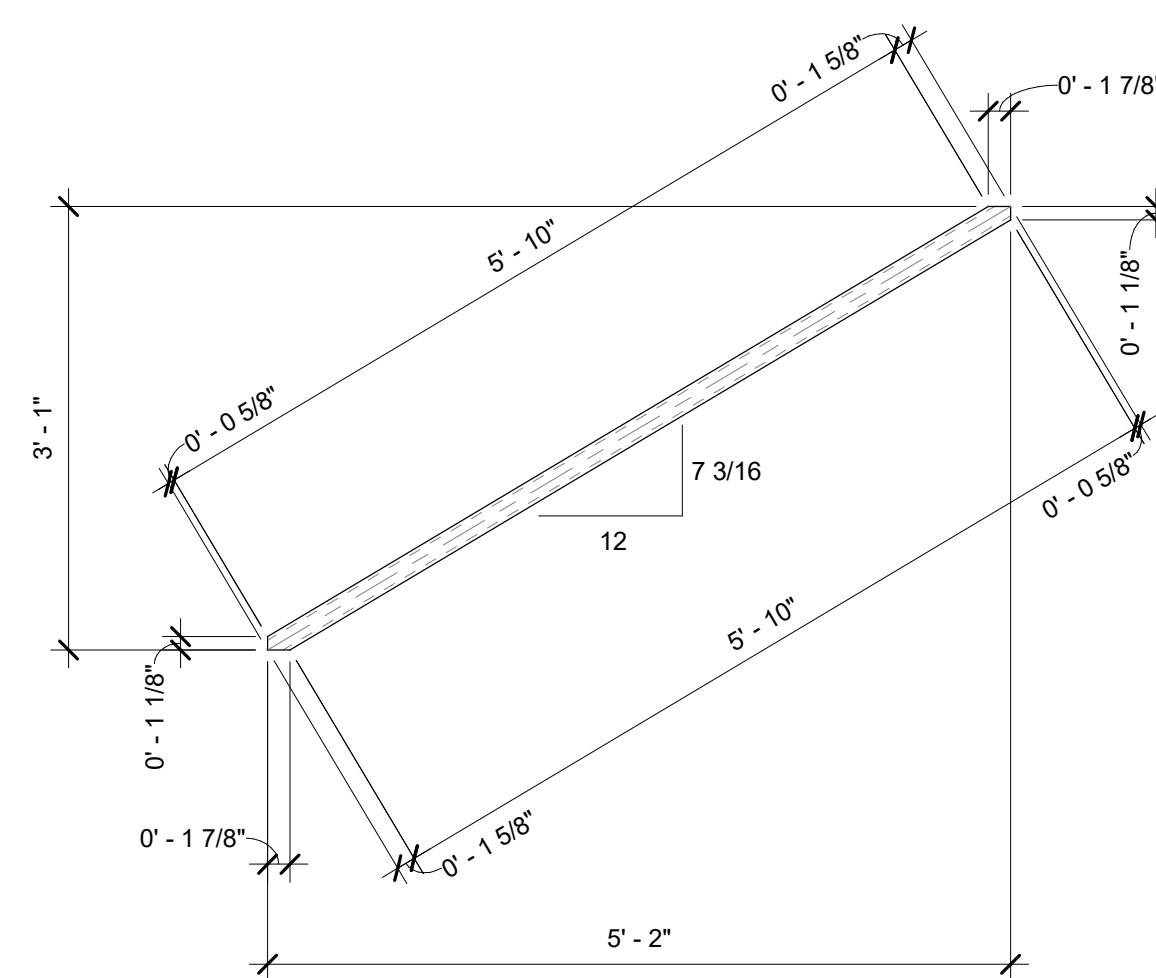
2 DUMPSTER ENCLOSURE FRONT VIEW
3/4" = 1'-0"



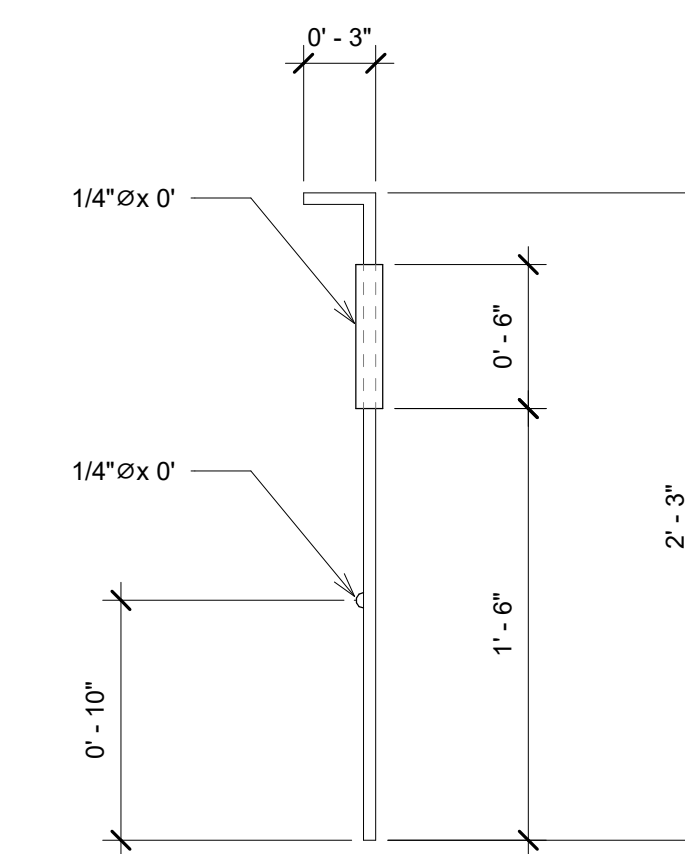
3 DUMPSTER ENCLOSURE SECTION 2
3/4" = 1'-0"



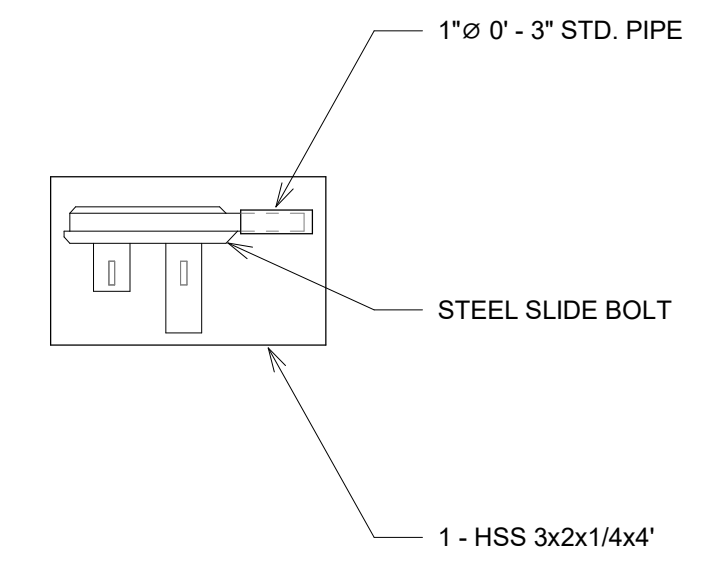
4 DUMPSTER ENCLOSURE SECTION
3/4" = 1'-0"



5 DETAIL A
3/4" = 1'-0"



6 DETAIL B
1 1/2" = 1'-0"



7 DETAIL C
1 1/2" = 1'-0"

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THE BUBBLE BATH CARWASH

BUBBLE BATH

QUARRY FALLS
FORT WORTH, TX

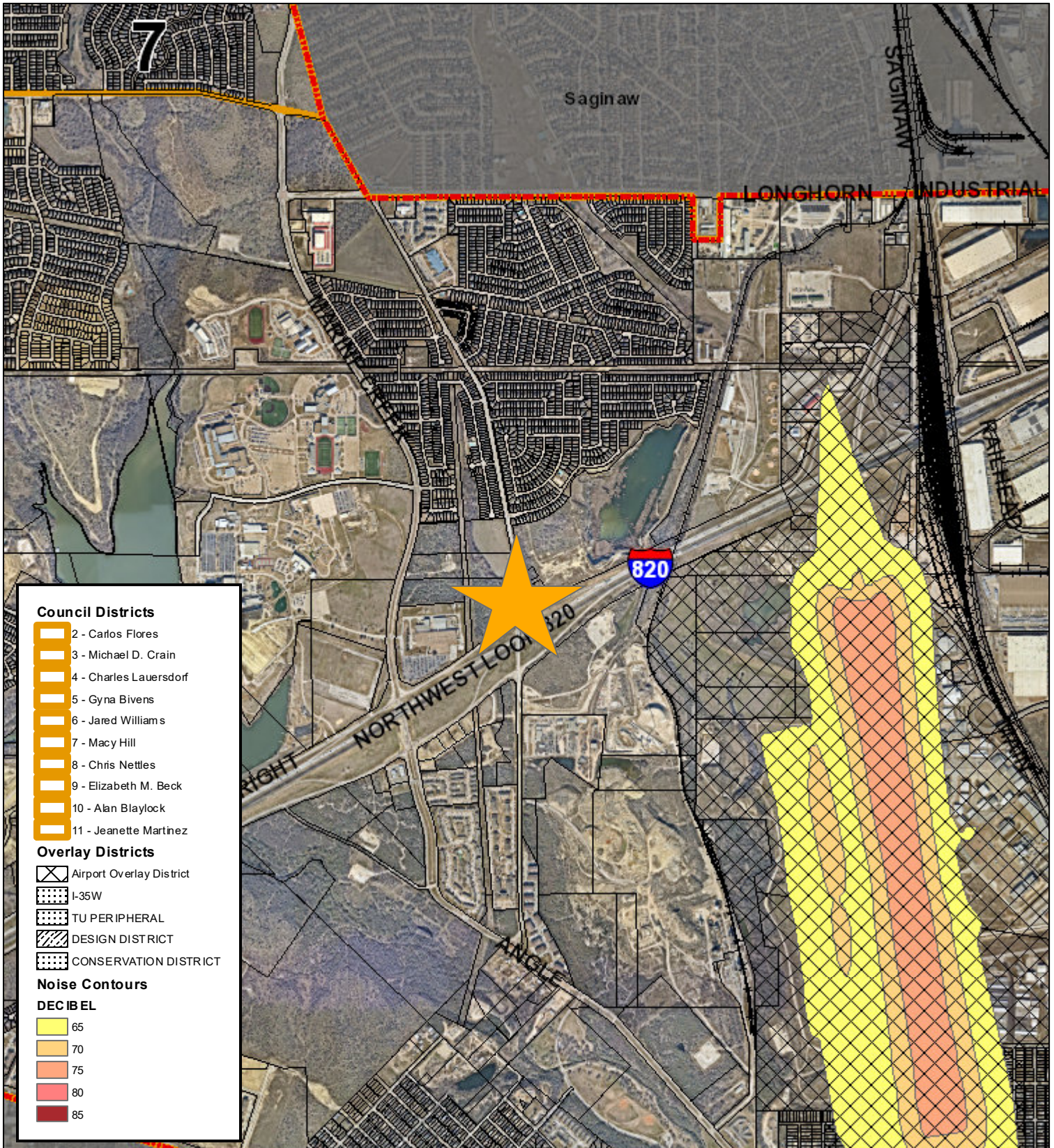


PROJECT DATE: MAY 13, 2024
PROJECT MANAGER: JR
PROJECT TEAM: LIQUE DESIGN STUDIO

TRASH ENCLOSURE

A-500

Area Map



Council Districts

- 2 - Carlos Flores
- 3 - Michael D. Crain
- 4 - Charles Lauerdorf
- 5 - Gyna Bivens
- 6 - Jared Williams
- 7 - Macy Hill
- 8 - Chris Nettles
- 9 - Elizabeth M. Beck
- 10 - Alan Blaylock
- 11 - Jeanette Martinez

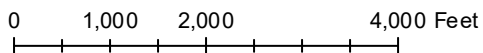
Overlay Districts

- Airport Overlay District
- I-35W
- TU PERIPHERAL
- DESIGN DISTRICT
- CONSERVATION DISTRICT

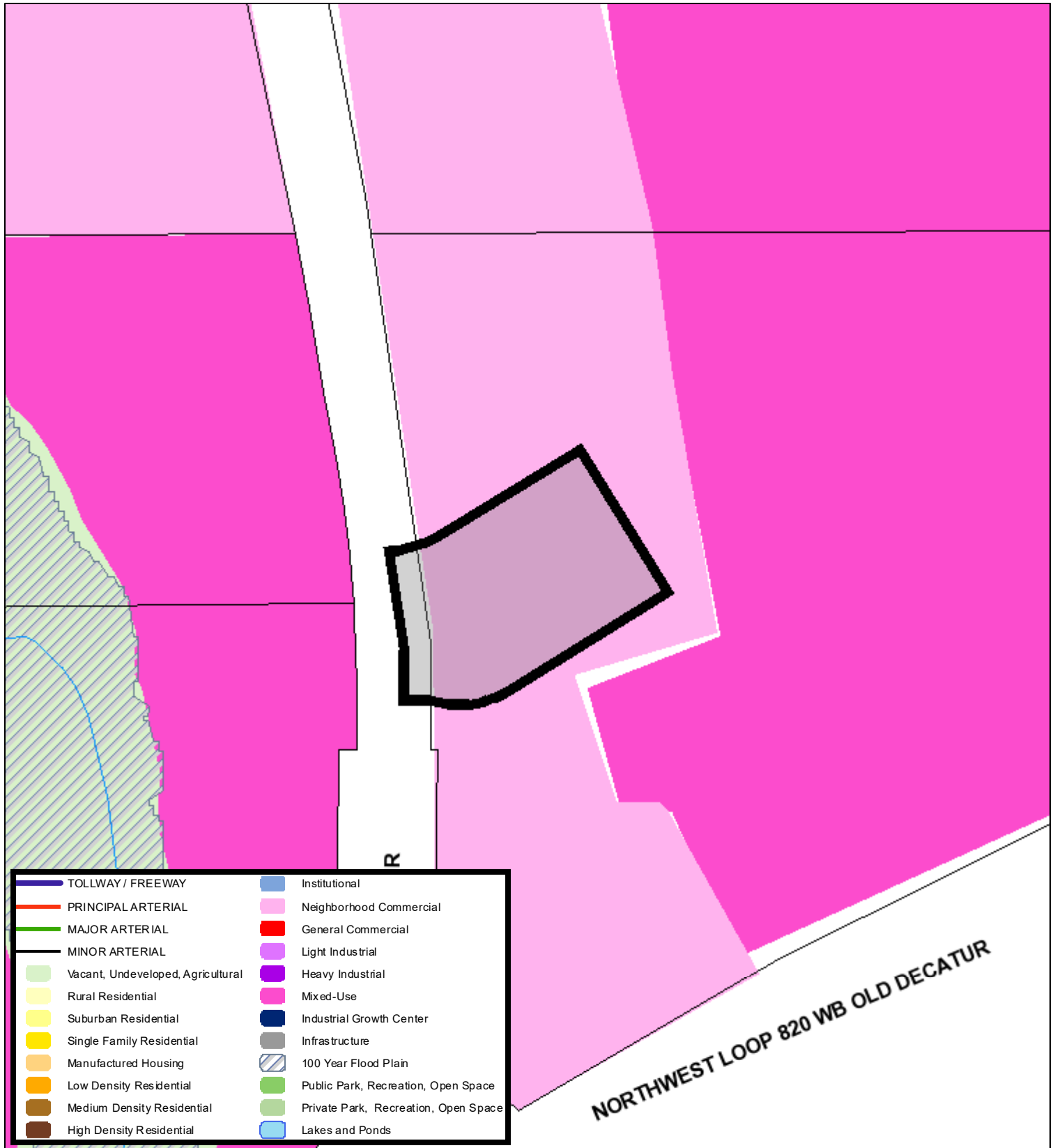
Noise Contours

DECIBEL

- 65
- 70
- 75
- 80
- 85



Future Land Use



130 65 0 130 Feet

A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



Aerial Photo Map



0 85 170 340 Feet





Zoning Staff Report

Date: June 12, 2024

Case Number: ZC-24-051

Council District: 3

Zoning Map Amendment & Site Plan

Case Manager: [Sandy Michel](#)

Owner / Applicant: Leo-17 Realty LLC/ Jacob Petrie

Site Location: 9944 Camp Bowie W Blvd

Acres: 1.05 acres

Request

Proposed Use: Office/ Warehouse Space

Request: From: "E" Neighborhood Commercial
To: "PD/I" Planned Development for all uses in "I" Light Industrial excluding all Vehicle Sales and Services uses, site plan included

Recommendation

Land Use Compatibility: Requested change **is compatible**

Comprehensive Plan Map Consistency: Requested change **is not consistent**

Comprehensive Plan Policy Consistency: Requested change **is not consistent**

Staff Recommendation: **Denial**

Table of Contents

- [1. Project Description and Background](#)
- [2. Surrounding Zoning and Land Uses](#)
- [3. Recent Zoning History](#)
- [4. Public Notification](#)
- [5. Development Impact Analysis](#)
 - [a. Land Use Compatibility](#)
 - [b. Comprehensive Plan Consistency](#)
6. Zoning Map with 300 ft. Notification Area
7. Area Map
8. Future Land Use Map
9. Aerial Photograph

Project Description and Background

The subject property, spanning 1.05 acres, is located fronting Camp Bowie Blvd. The surrounding area is predominantly commercial, zoned "E" Neighborhood Commercial, with the exception of the area to the north, which is zoned "C" Medium Density.

The applicant proposes to construct a commercial building designed to accommodate various tenants and businesses, as outlined in the zoning application. A site plan is included in this rezoning case because the application is requesting a Planned Development with a base zoning of 'I' Light Industrial (**Figure 1**). This zoning designation will allow for warehouse use by future tenants.

The applicant has opted for a Planned Development to specifically exclude all vehicle sales and services uses. Their intent is to create flexible tenant spaces while being mindful of the surrounding parcels, particularly the residential houses to the north. This approach ensures that the development is adaptable to a range of commercial uses, promoting economic activity while safeguarding the quality of life for nearby residents.

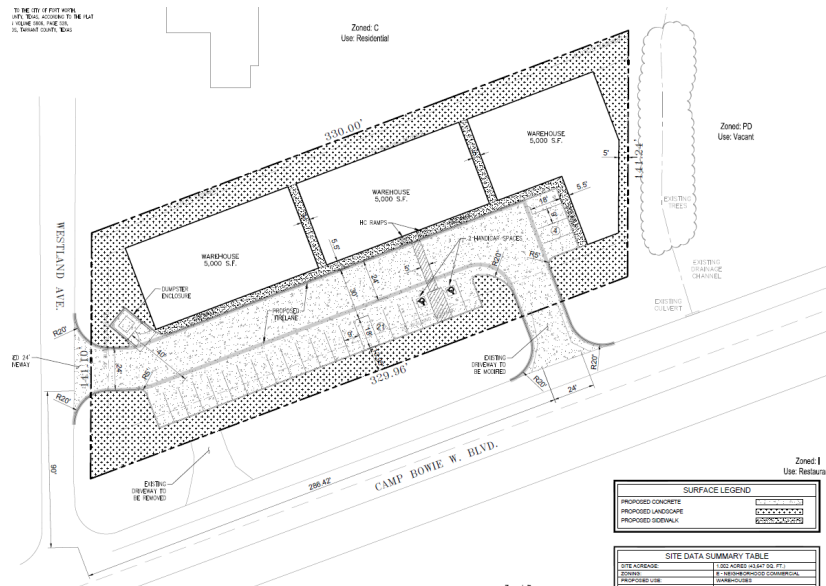


Figure 1: Proposed Site Plan



Figure 2: Site Photos

Surrounding Zoning and Land Uses

North	"C" Medium Density / Residential
East	"PD-SU" for all uses in "E" plus mini warehouse TO ADD SHOWROOM, WAREHOUSE, AND FLEET PARKING FOR POOL COMPANY / Commercial
Southeast	"I" Light Industrial / Commercial
Southwest	"E" Neighborhood Commercial/ Commercial
West	"E" Neighborhood Commercial/ Commercial

Recent Zoning History

- N/A

Public Notification

300-foot Legal Notifications were mailed on May 31, 2024.
The following organizations were notified: (emailed May 31, 2024)

Organizations Notified	
Camp Bowie District, Inc	Streams and Valleys Inc
Trinity Habitat for Humanity	Westland NA

* Located within a registered Neighborhood Organization

Development Impact Analysis

Land Use Compatibility

The surrounding area features a diverse mix of uses, including commercial establishments, truck parking facilities, and residential properties. The applicant is seeking to rezone the property to accommodate specific uses permitted in the "I" Light Industrial zoning district while explicitly excluding vehicle sales and services.

Straight zoning to "I" Light Industrial would not fully align the property's designation with the prevailing commercial character of the surrounding area. Such zoning could potentially introduce uses that might not harmonize with the existing properties. However, by opting for a Planned Development (PD) with an included site plan, the rezoning can be more effectively tailored to ensure compatibility with the neighborhood.

This Planned Development approach allows for more precise control and oversight of the types of businesses that will occupy the property. It enables the development of compatible uses that enhance the commercial vitality of the area while also addressing concerns about potential negative impacts on nearby residential properties. The site plan requirement within the PD zoning provides a framework for monitoring and regulating the specific uses and layout of the development, ensuring they contribute positively to the area.

In summary, the Planned Development with a site plan offers a balanced solution that supports commercial growth and diversity, aligns with the surrounding area's character, and maintains a safeguard against incompatible uses.

This strategic approach helps to foster a better community, promoting both economic development and residential well-being.

The proposed zoning is **compatible** with surrounding land uses.

Comprehensive Plan Consistency- FLU Map and Policies

The adopted Comprehensive Plan currently designates the subject property as a Neighborhood Commercial on the Future Land Use Map.

COMMERCIAL		
Neighborhood Commercial	Retail, services, offices and mixed uses serving daily needs for a local market area	ER, E, MU-1, Applicable Form-Based Codes
General Commercial	Retail, services, offices and mixed uses serving occasional needs for a larger market area	All Commercial, MU-1, MU-2, Applicable Form-Based Codes

The proposed property's designation does not align with the Neighborhood Commercial Future Land Use (FLU) category. Consequently, seeking industrial zoning in an area designated for Neighborhood Commercial development contradicts the intended objectives.

Industrial zoning is primarily intended for uses such as food processing, animal hospitals and outdoor kennels, transportation terminals, temporary batch plants, warehousing, outside sales and storage, printing, and light manufacturing. Introducing industrial zoning in this area would deviate from the policies and goals outlined in the Comprehensive Plan, which aims to promote diverse and integrated neighborhoods through adherence to appropriate land use designations.

The Comprehensive Plan emphasizes creating vibrant, mixed-use communities that support both residential and commercial activities. Industrial zoning, with its focus on heavy commercial and light manufacturing uses, would undermine this vision by potentially introducing incompatible uses that could disrupt the neighborhood's character and quality of life.

Therefore, the proposed industrial zoning for this area is inconsistent with the established zoning intent and urban planning objectives. Adhering to the Neighborhood Commercial FLU category is crucial for maintaining the planned development pattern, ensuring that land uses are compatible with the surrounding area, and supporting the long-term goals of creating cohesive, livable neighborhoods.

Based on conformance with the policies stated above, the proposed zoning is **not consistent** with the Comprehensive Plan FLU Map and Policies.

Site Plan Comments

Zoning

- The site plan is in general compliance with the Zoning Ordinance regulations.

(Comments made by Platting (Subdivision Ordinance), Transportation/Public Works, Fire, Park & Recreation, and Water Department staff cannot be waived through the Zoning Commission and City Council. Approval of the zoning site plan does not constitute the acceptance of conditions.)

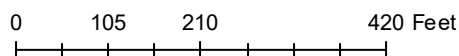
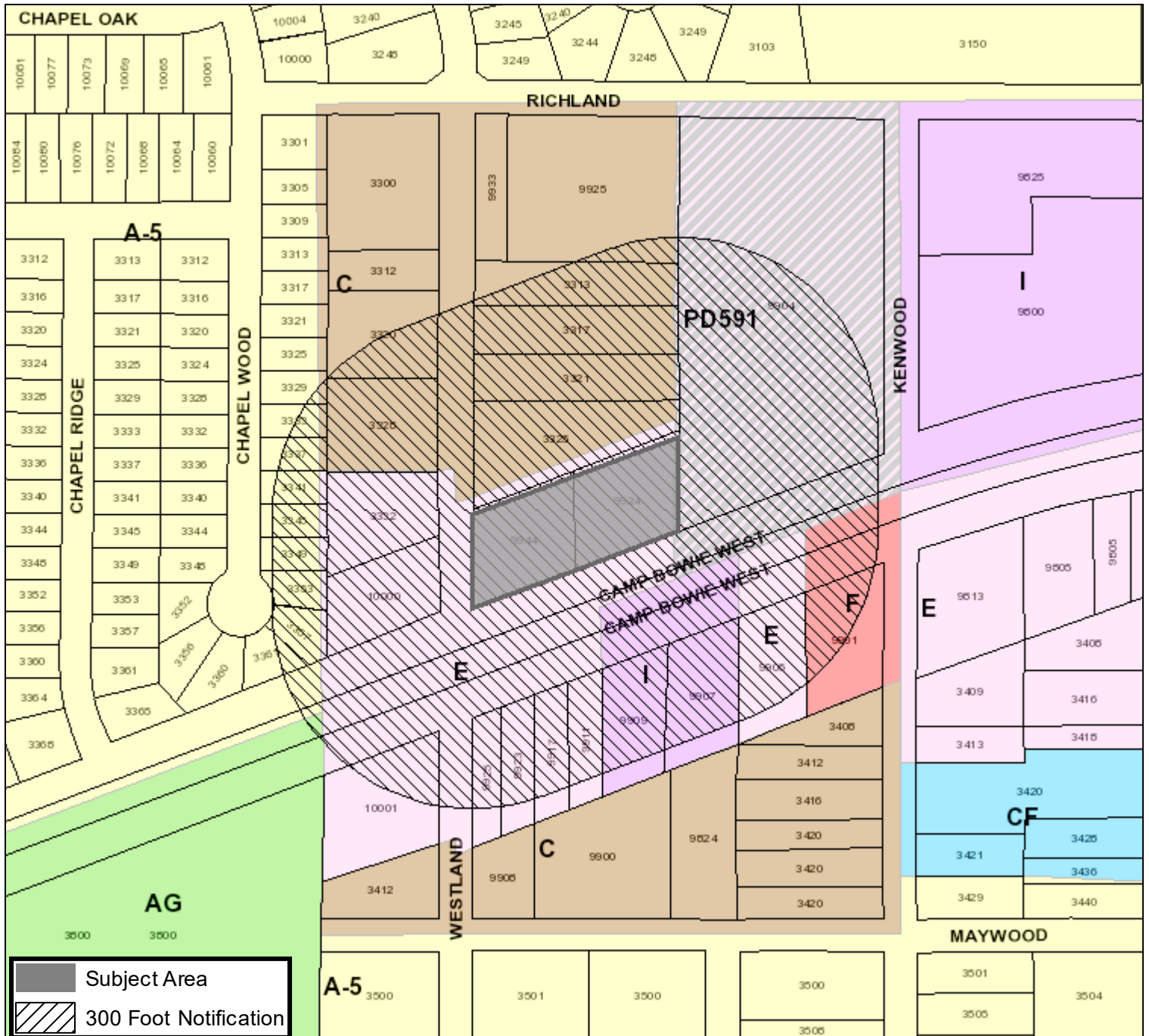
Supplemental Information

Site Photos



Area Zoning Map

Applicant: Leo-17 Realty LLC
Address: 9924-9944 (evens) Camp Bowie West
Zoning From: E
Zoning To: PD/I office/warehouse
Acres: 0.99998435
Mapsc0: Text
Sector/District: Far_West
Commission Date: 6/12/2024
Contact: 817-392-2806



CAMP BOWIE INDUSTRIAL PARK
 9944 CAMP BOWIE W. BLVD.
 FORT WORTH, TX 76116



AG DESIGN GROUP, LLC
 PO BOX 383023
 DUNCANVILLE, TX 75138

GENERAL NOTES

- CONTRACTOR SHALL VERIFY ALL EXISTING SITE AND BUILDING CONDITIONS IN THE FIELD PRIOR TO START OF ANY WORK. A REGISTERED SURVEYOR SHALL BE ENGAGED TO LAY OUT ALL SITE WORK.
- CONTRACTOR SHALL REVIEW DOCUMENTS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES IN PROJECT PLANS AND SPECIFICATIONS, IN WRITING.
- DRAWINGS SHALL NOT BE SCALED FOR BIDDING AND/OR CONSTRUCTION PURPOSES.
- ALL PLAN DIMENSIONS ARE TO FINISHED FACE OF WALL UNLESS NOTED OTHERWISE.
- ALL CONSTRUCTION WORK SHALL MEET OR EXCEED ALL LOCAL, STATE AND NATIONAL BUILDING CODES, AND COMPLY WITH THE CITY OF FORT WORTH BUILDING ORDINANCES. A BUILDING PERMIT SHALL BE OBTAINED FROM THE CITY OF FORT WORTH.
- A LANDING MUST BE PROVIDED AT EACH EXIT DOOR. THE FLOOR SURFACE ON BOTH SIDES OF THE DOOR SHALL BE AT THE SAME ELEVATION AS PER THE TEXAS FIRE PREVENTION CODE.
- VERIFY ALL EXIT DOOR LOCKING HARDWARE COMPLIES WITH THE TEXAS FIRE PREVENTION CODE.
- ALL NEW CONCRETE FLOOR SLAB AREAS SHALL HAVE TERMITE TREATMENT.
- ALL STRUCTURES SHALL HAVE ADDRESS NUMBERS PLACED ON THE BUILDING IN ACCORDANCE WITH FORT WORTH MUNICIPAL CODE.
- ALL SIGNAGE, PERMANENT, PORTABLE, BANNERS, ETC. WILL CONFIRM TO ARTICLE 4, SIGNS.
- HOURS OF OPERATION:
7 DAYS A WEEK, 5:00 AM TO 5:00 PM.
- BUILDING NOT TO EXCEED 19'-0" IN HEIGHT.
- EXTERIOR MATERIALS FOR BUILDING WILL BE STONE VENEER, METAL SIDING PANELS, ALUM/GLASS STOREFRONT AND METAL AWNINGS. ROOF WILL BE METAL PANELS.
- ALL DOMESTIC WATER SERVICE AND METER SHALL BE 1-1/2".
- BUILDING IS A ONE STORY BUILDING WITH MECHANICAL MEZZANINES ABOVE BUILDINGS.
- PROJECT WILL COMPLY WITH SECTION 6.301 LANDSCAPING.
- PROJECT WILL COMPLY WITH SECTION 6.302 URBAN FORESTRY.
- ALL PROVIDED LIGHTING WILL CONFIRM TO THE LIGHTING CODE.

LEGAL DESCRIPTION

LOTS 19 THRU 26, BLOCK 2, WESTLAND ADDITION, AN ADDITION TO THE CITY OF FORT WORTH, TARRANT COUNTY, TEXAS, ACCORDING TO THE PLAT RECORDED IN VOLUME 6806, PAGE 528, PLAT RECORDS, TARRANT COUNTY, TEXAS

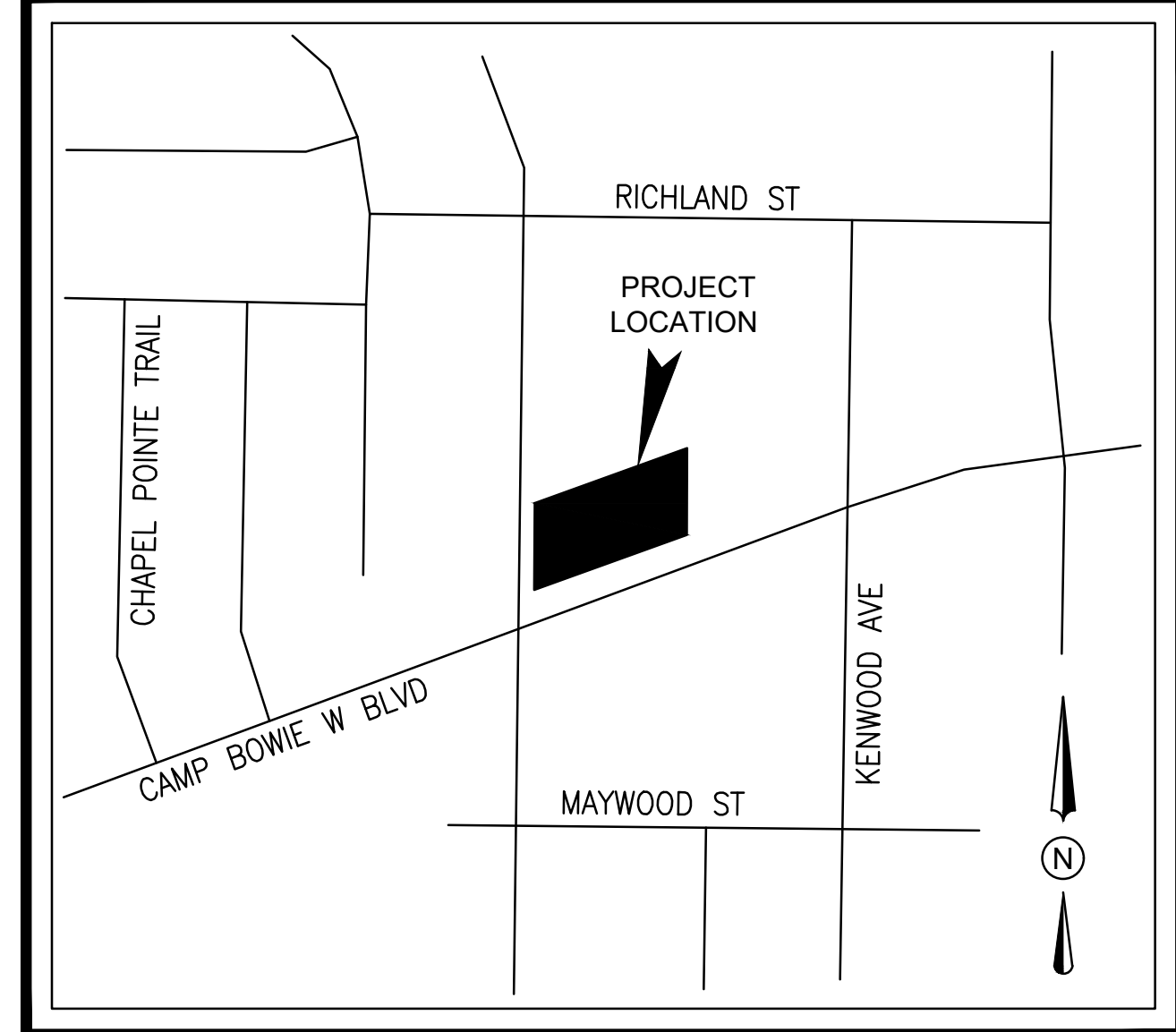
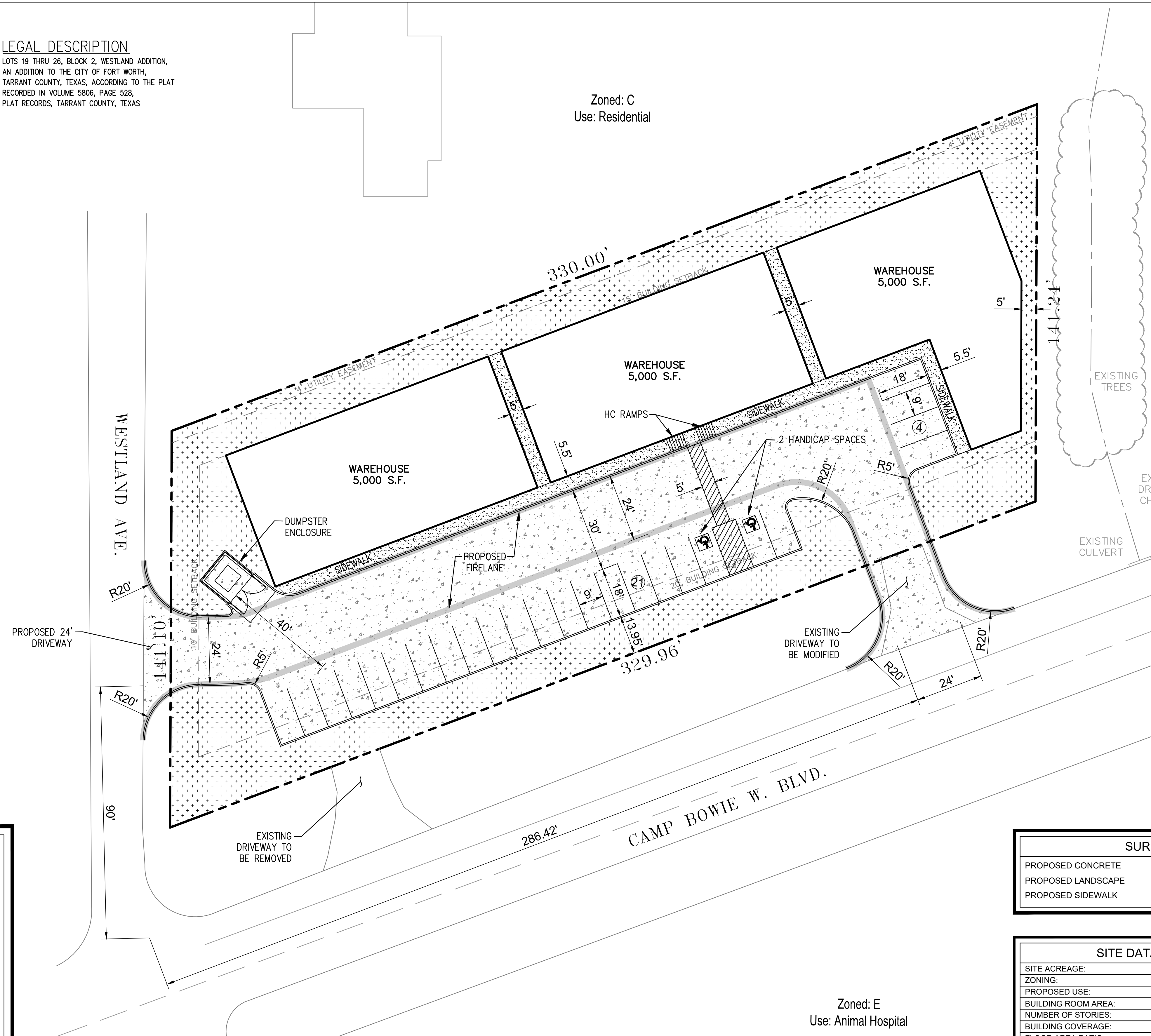
Zoned: E
Use: Vacant

Zoned: C
Use: Residential

Zoned: PD
Use: Vacant

Zoned: I
Use: Restaurant

Zoned: E
Use: Animal Hospital



SURFACE LEGEND

PROPOSED CONCRETE	
PROPOSED LANDSCAPE	
PROPOSED SIDEWALK	

SITE DATA SUMMARY TABLE

SITE ACREAGE:	1.002 ACRES (43,647 SQ. FT.)
ZONING:	E - NEIGHBORHOOD COMMERCIAL
PROPOSED USE:	WAREHOUSES
BUILDING ROOM AREA:	3-5,000 S.F. BUILDINGS
NUMBER OF STORIES:	1
BUILDING COVERAGE:	34%
FLOOR AREA RATIO:	0.34
IMPERVIOUS AREA:	30,636 S.F. (70.2%)
PERVIOUS/LANDSCAPE AREA:	13,011 S.F. (29.8%)
REGULAR PARKING REQUIRED: 1 SPACE PER 4 EMPLOYEES	5 SPACES
REGULAR PARKING PROVIDED:	23 SPACES
HANDICAP PARKING REQUIRED:	2 SPACES
HANDICAP PARKING PROVIDED:	2 SPACES
TOTAL PARKING PROVIDED:	25 SPACES

OWNER:
 DAKA INVESTMENTS LLC
 CONTACT: FAISAL FARAH
 2600 W. PIONEER PARKWAY
 GRAND PRAIRIE, TX 75051
 817-901-3300

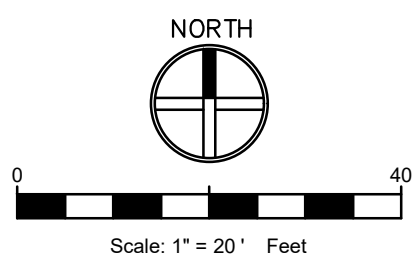
ARCHITECT:
 AG DESIGN GROUP
 CONTACT: ARMANDO GARCIA
 P.O. BOX 383023
 DUNCANVILLE, TX 75138
 214-766-5905

SURVEYOR:
 GEOMATIC SOLUTIONS, INC.
 CONTACT: SHELBY HOFFMAN
 3000 S. HULEN, STE. 124-236
 FORT WORTH, TX 76109
 817-487-8916

ENGINEER:
 THOMAS HOOVER ENGINEERING, LLC
 CONTACT: THOMAS HOOVER
 P.O. BOX 1808
 KELLER, TX 76244
 817-913-1350

02 VICINITY MAP
NOT TO SCALE

01 SITE PLAN
SCALE: 1" = 20'-0"



Developer/Owner: Daka Investments LLC
 Address: 2600 W. Pioneer Parkway
 City/State: Grand Prairie, TX 75051
 Telephone Number: 817-901-3300
 E-mail Address: farahpetroleum@gmail.com

Director of Development Services Date
CAMP BOWIE INDUSTRIAL PARK
 Zoning Case Number: ZC-24-000

SITE PLAN

SHEET NUMBER

A1.00

NOTES BY NUMBER

- 01 STANDING SEAM METAL ROOF
- 02 STONE VENEER
- 03 CAST STONE CAP
- 04 EXTERIOR METAL WALL PANELS
- 05 ALUM/GLASS STOREFRONT WINDOW/DOOR
- 06 ROLL UP OVERHEAD DOOR
- 07 METAL GUTTER AND DOWNSPOUT
- 08 WALL MOUNTED LIGHT FIXTURE.
- 09 METAL AWNING

DATE: 02.28.2024

JOB NO: 52024

DRAWN: STAFF

CHECKED: AG



214.766.5905
PO BOX 383023
DUNCANVILLE, TX 75138

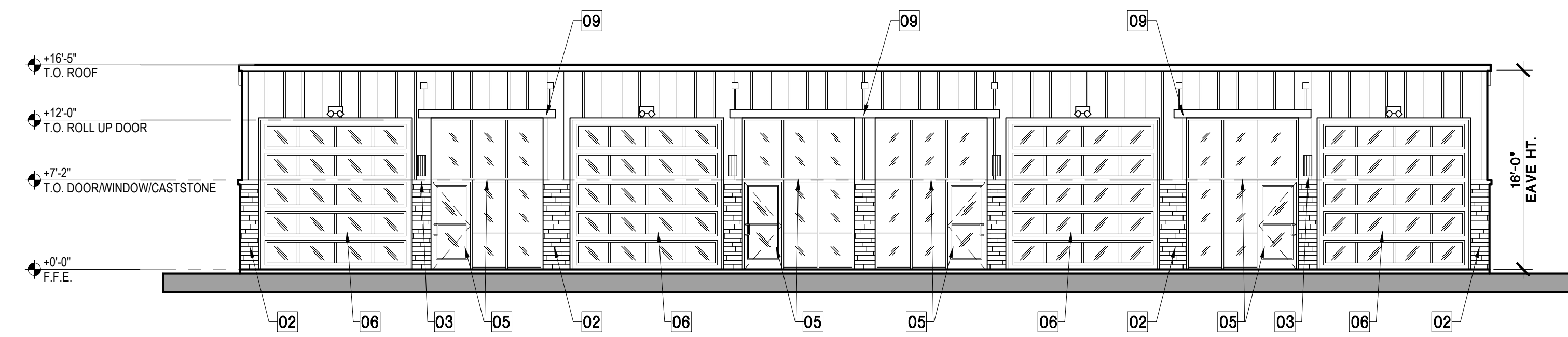
INDUSTRIAL PARK
CAMP BOWIE W BLVD
FORT WORTH, TX 76116

REVISIONS

EXTERIOR
ELEVATIONS

SHEET NUMBER

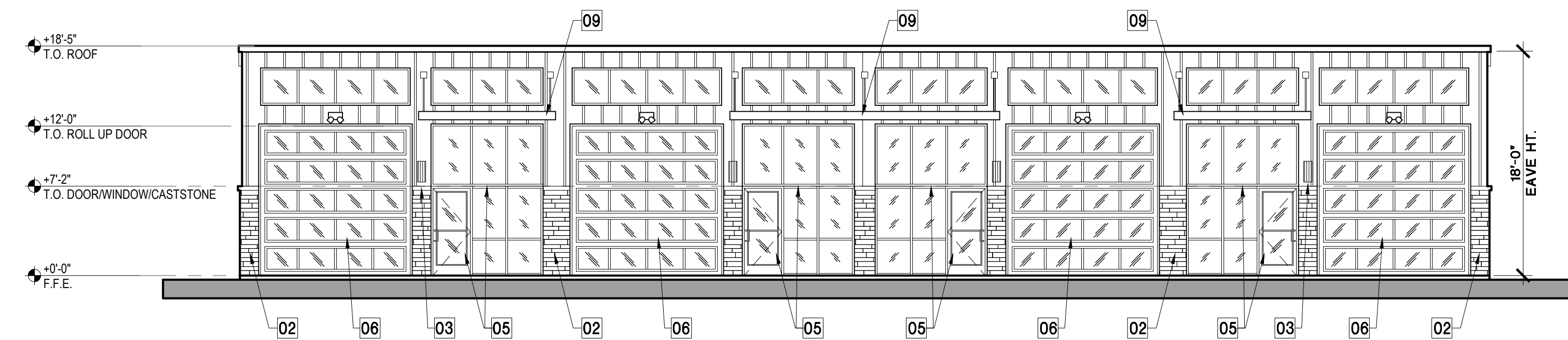
A5.01



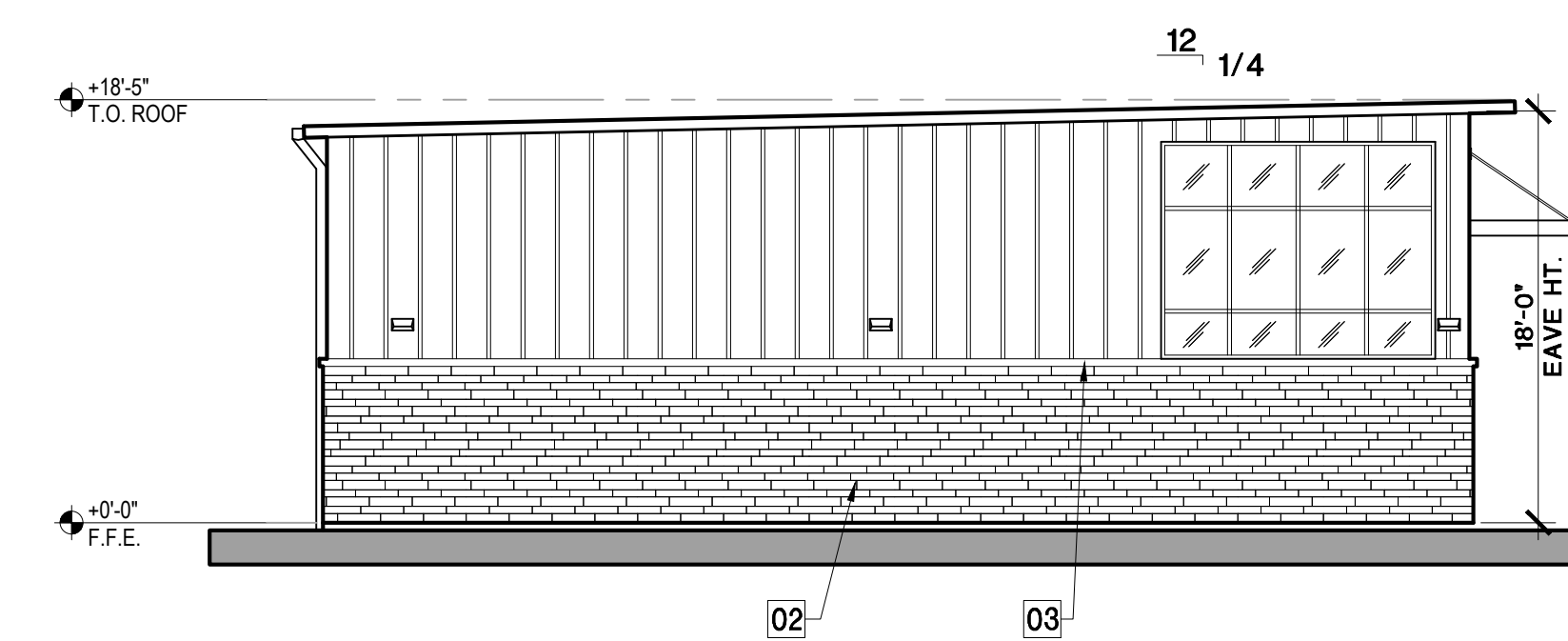
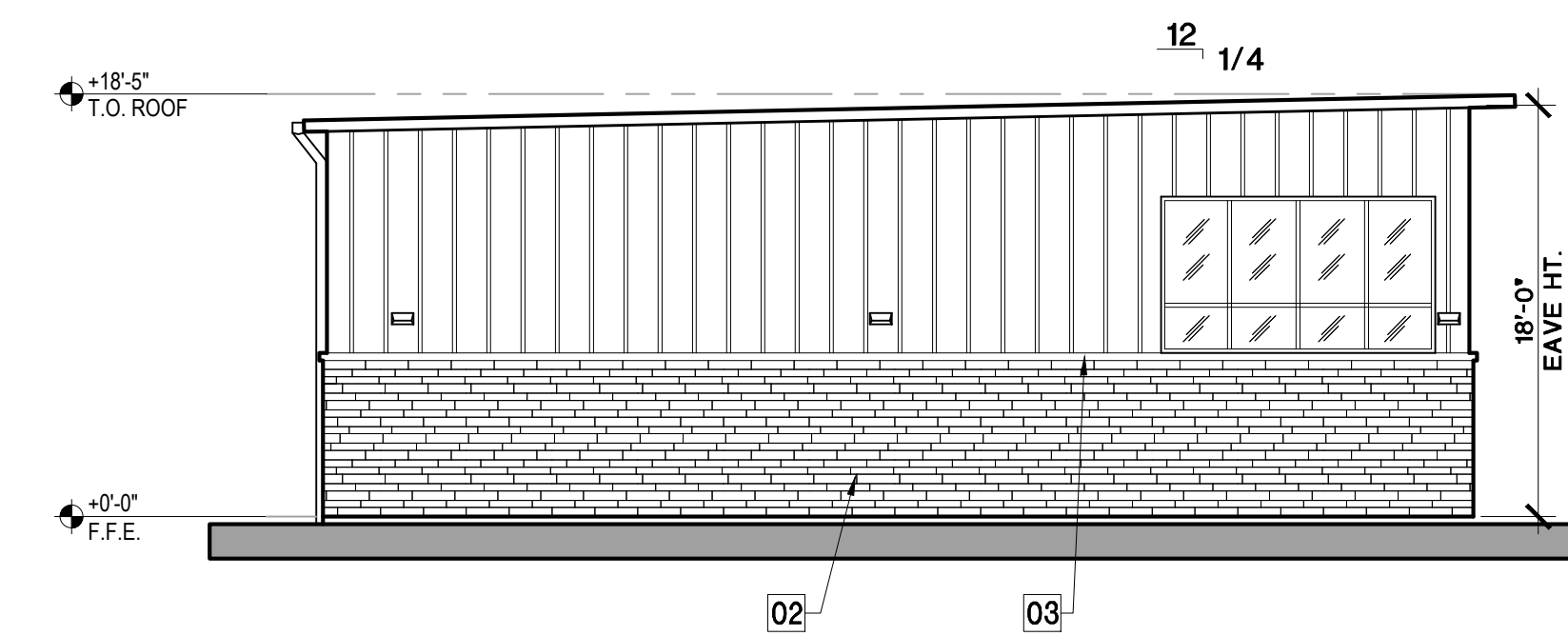
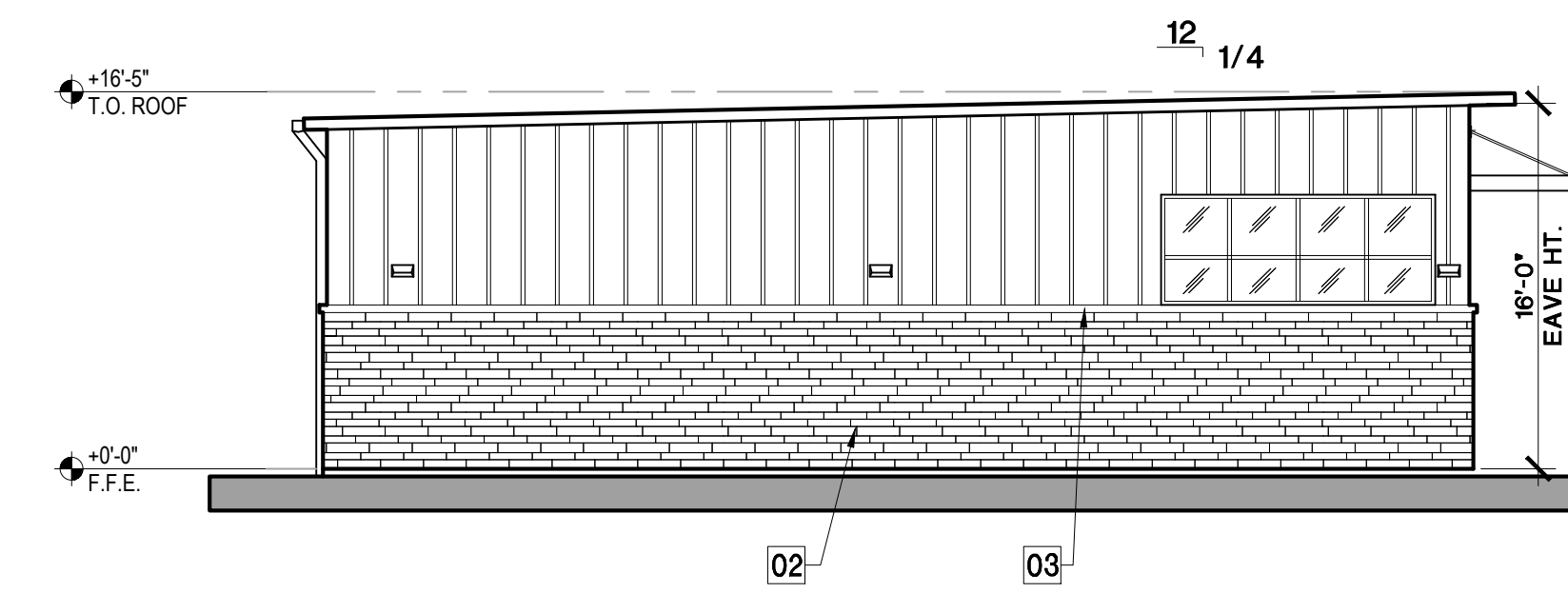
OPTION 3



OPTION 2



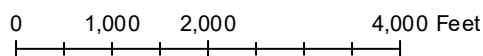
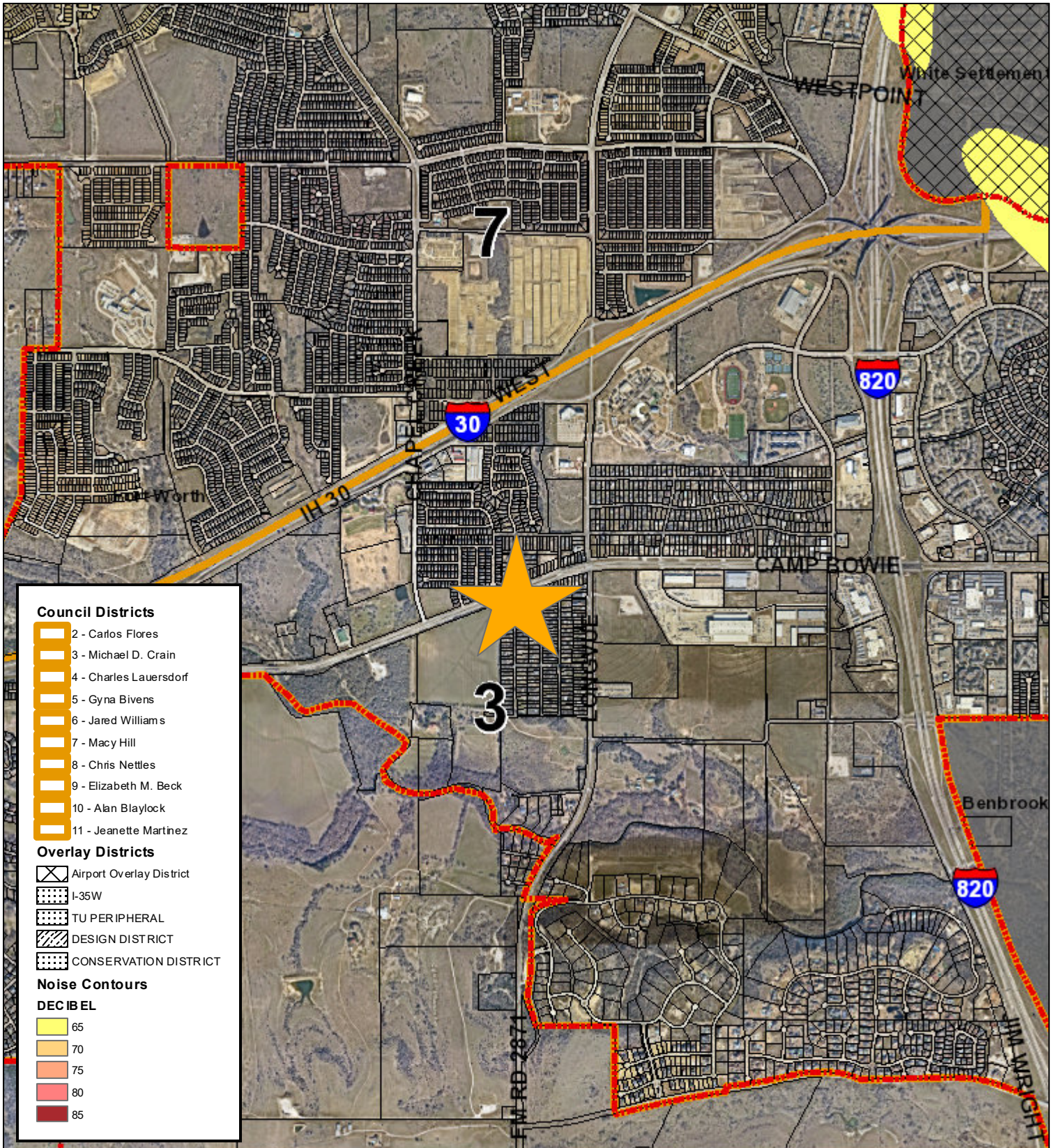
OPTION 1



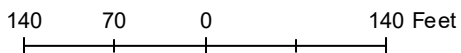
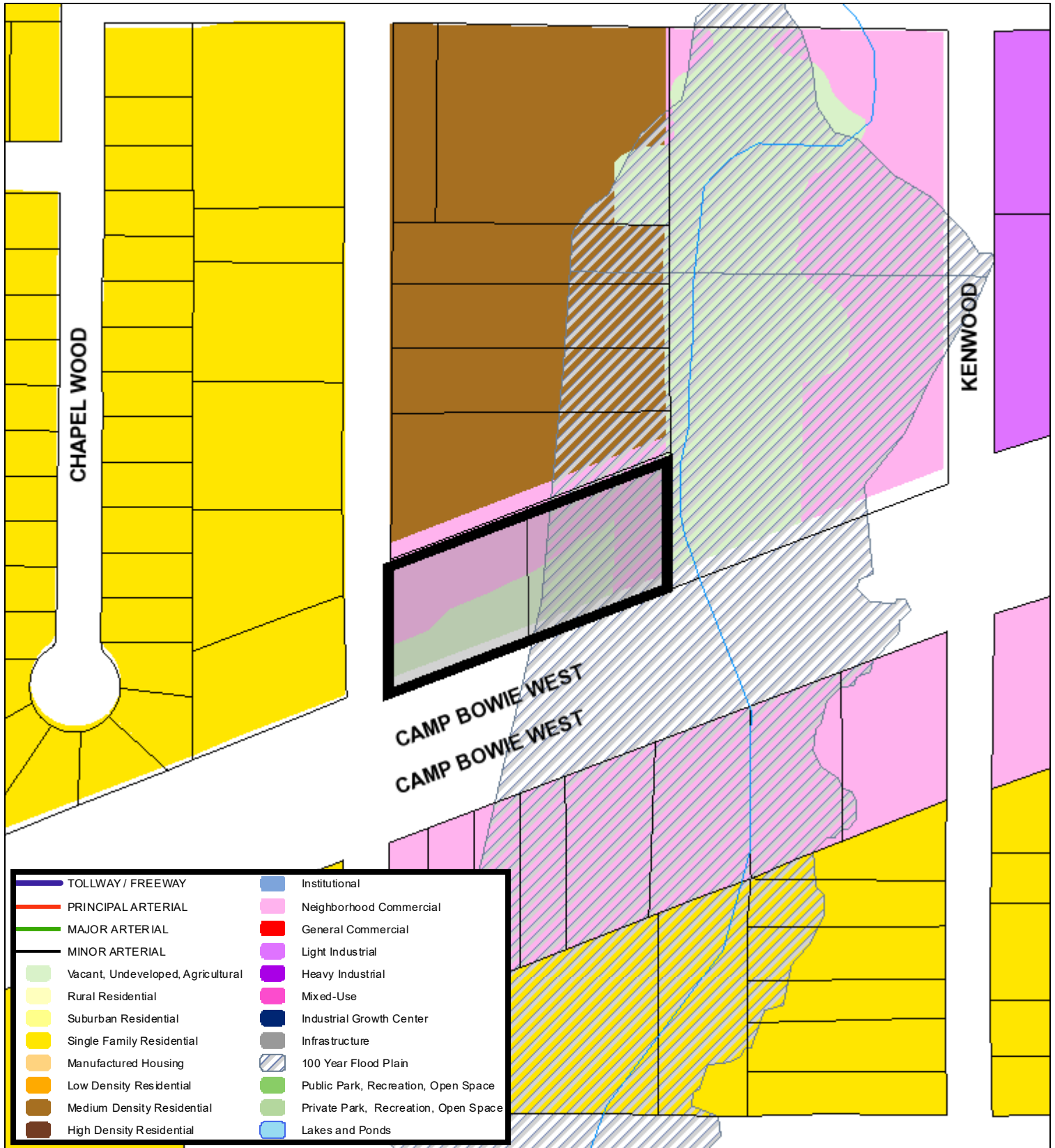
02 SIDE ELEVATION 1
SCALE: 1/8" = 1'-0"

01 FRONT ELEVATION
SCALE: 1/8" = 1'-0"

Area Map



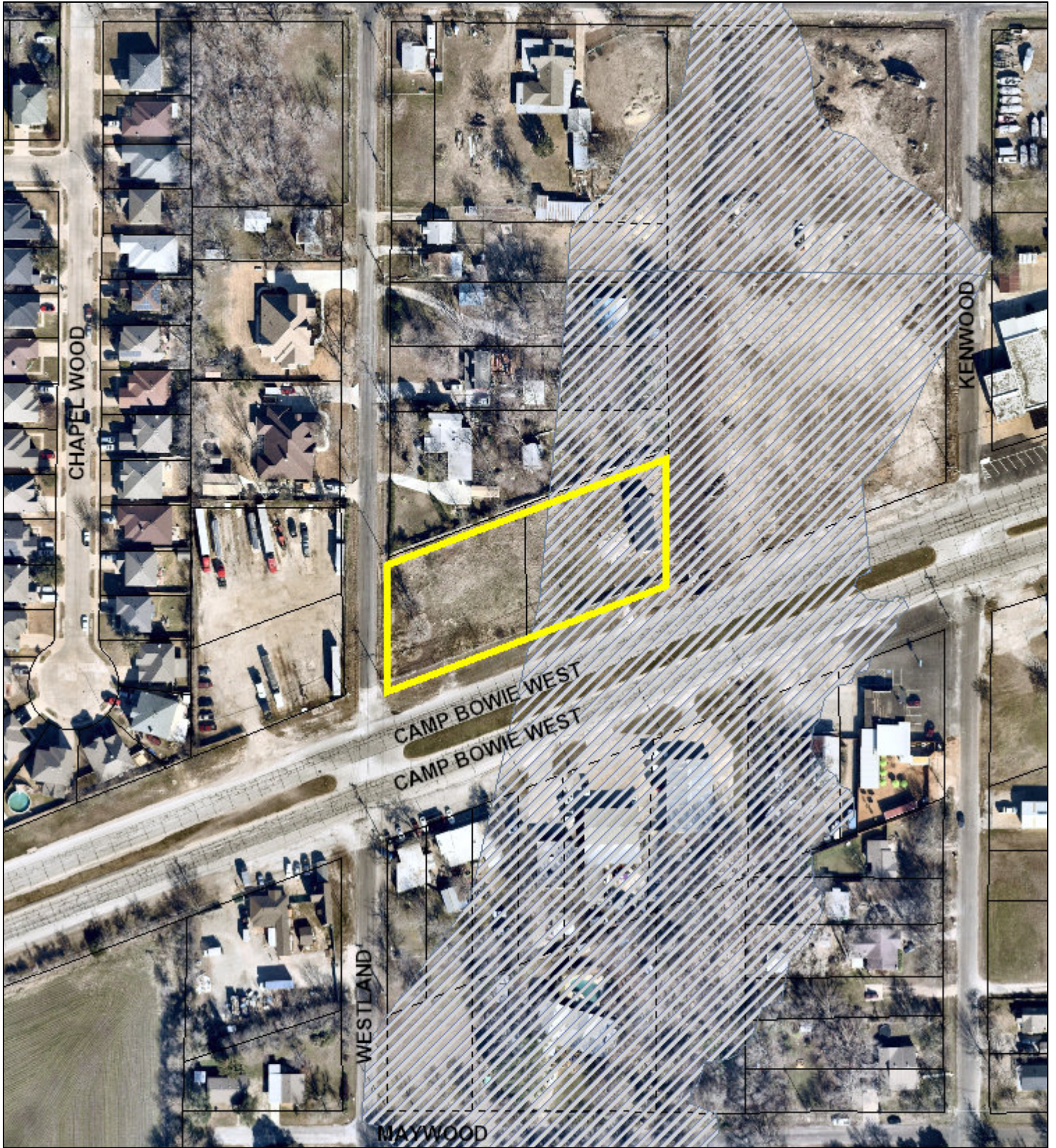
Future Land Use



A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



Aerial Photo Map



0 90 180 360 Feet





Zoning Staff Report

Date: June 12, 2024

Case Number: ZC-24-052

Council District: 8

Conditional Use Permit

Case Manager: [Stephen Murray](#)

Owner / Applicant: Renaissance Square, LLC/Andrew Yeoh

Site Location: 3220-3236 (evens) Lois Street; 3230-3250 (evens) Martin Luther King Freeway, 3203 & 3301 Emerson Street & 3417 Vaughn Boulevard **Acreage:** 1.78 acres

Request

Proposed Use: Automated car wash

Request: To: Add Conditional Use Permit (CUP) to allow a carwash facility in “E” Neighborhood Commercial; site plan included

Recommendation

Land Use Compatibility: Requested change **is not compatible**

Comprehensive Plan Map Consistency: Requested change **is not consistent**

Comprehensive Plan Consistency: Requested change **is not consistent**

Staff Recommendation: **Denial**

Table of Contents

1. [Project Description and Background](#)
2. [Surrounding Zoning and Land Uses](#)
3. [Recent Zoning History](#)
4. [Public Notification](#)
5. [Development Impact Analysis](#)
 - a. [Land Use Compatibility](#)
 - b. [Comprehensive Plan Consistency](#)
 - c. [Site Plan Comments](#)
6. Zoning Map with 300 ft. Notification Area
7. Site Plan
8. Area Map
9. Future Land Use Map
10. Aerial Photograph

Project Description and Background

The proposed is located along Vaughn Blvd near the corner of Berry Street and US Hwy 287. The applicant is requesting a Conditional Use Permit to construct an automated carwash facility. Automated carwashes are allowed in industrial and commercial districts "G" when the distance from a residential district or use exceeds 200 feet but require CUP approval in all other commercial zones.

The property is currently zoned "E" Neighborhood Commercial. The proposed car wash, features 14 vacuum service bays and 5 employee parking spaces. Dryer noise is directed towards Berry Street away from existing residential.

Conditional uses, such as the proposed carwash facility, are generally compatible with the permitted land uses in a given zoning district. However, they undergo a rigorous individual review process examining their proposed location, design, and configuration. This process ensures that the use is appropriate for a particular location and considers the community's concerns.

While a carwash is not permitted in the "E" zoning district, the CUP with a site plan often mitigate neighborhood concerns. However, in this situation, the proposed car wash is located near several existing single-family occupied homes. Despite being located adjacent the freeway, near a regional commercial center, and near major arterials; the proximity and potential impact to residential outweigh these facts.

Surrounding Zoning and Land Uses

North "E" Neighborhood Commercial / billboard, cell tower

East "E" Neighborhood Commercial/ single-family

South "E" Neighborhood Commercial / vacant

West "PD 720" "PD-SU-DD" for all uses in "E"; see case file for excluded uses and requirements Renaissance Square / Commercial

Recent Zoning History

- None

Public Notification

300-foot Legal Notifications were mailed on May 31, 2024.

The following organizations were notified: May 31, 2024(email)

Organizations Notified	
United Communities Association of South Fort Worth	Polytechnic Heights South NA
Eastland NA	The New Mitchell Boulevard NA
East Fort Worth, Inc.	Streams and Valleys Inc
Trinity Habitat for Humanity	Southeast Fort Worth Inc
FWISD	

Development Impact Analysis

Land Use Compatibility

The applicant is requesting to add a Conditional Use Permit (CUP) to allow a carwash facility in “E” Neighborhood Commercial; site plan included. The property is on an island of sorts adjacent US 287 along Vaughn Avenue. Surrounding land uses vary with a billboard/cell tower to the north, single-family to the east, vacant land to the south and commercial to the west.

The proposed use is more appropriate near intense commercial uses. Car washes should not be located in close proximity to single-family homes. As a result, the proposed zoning change is **not compatible** with the surrounding land uses.

Comprehensive Plan Consistency – Southeast

The Comprehensive Plan describes where general land use categories would be appropriate. However, it does not typically specify individual land uses. The CUP process allows the city to consider the appropriateness of an individual use in certain location. The adopted Comprehensive Plan currently designates the subject property as “Neighborhood Commercial” on the Future Land Use Map. The proposed zoning **is not consistent** with the land use designations for this area and with the following policies of the Comprehensive Plan:

- Promote appropriate infill development of vacant lots, old commercial centers (greyfields), and contaminated sites (brownfields) within developed areas, particularly in the central city.
- Separate incompatible land uses with buffers or transitional uses. Some land uses have attributes such as height, proportion, scale, operational characteristics, traffic generated, or appearance that may not be compatible with the attributes of other uses.

Site Plan Comments

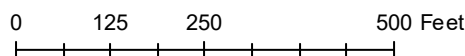
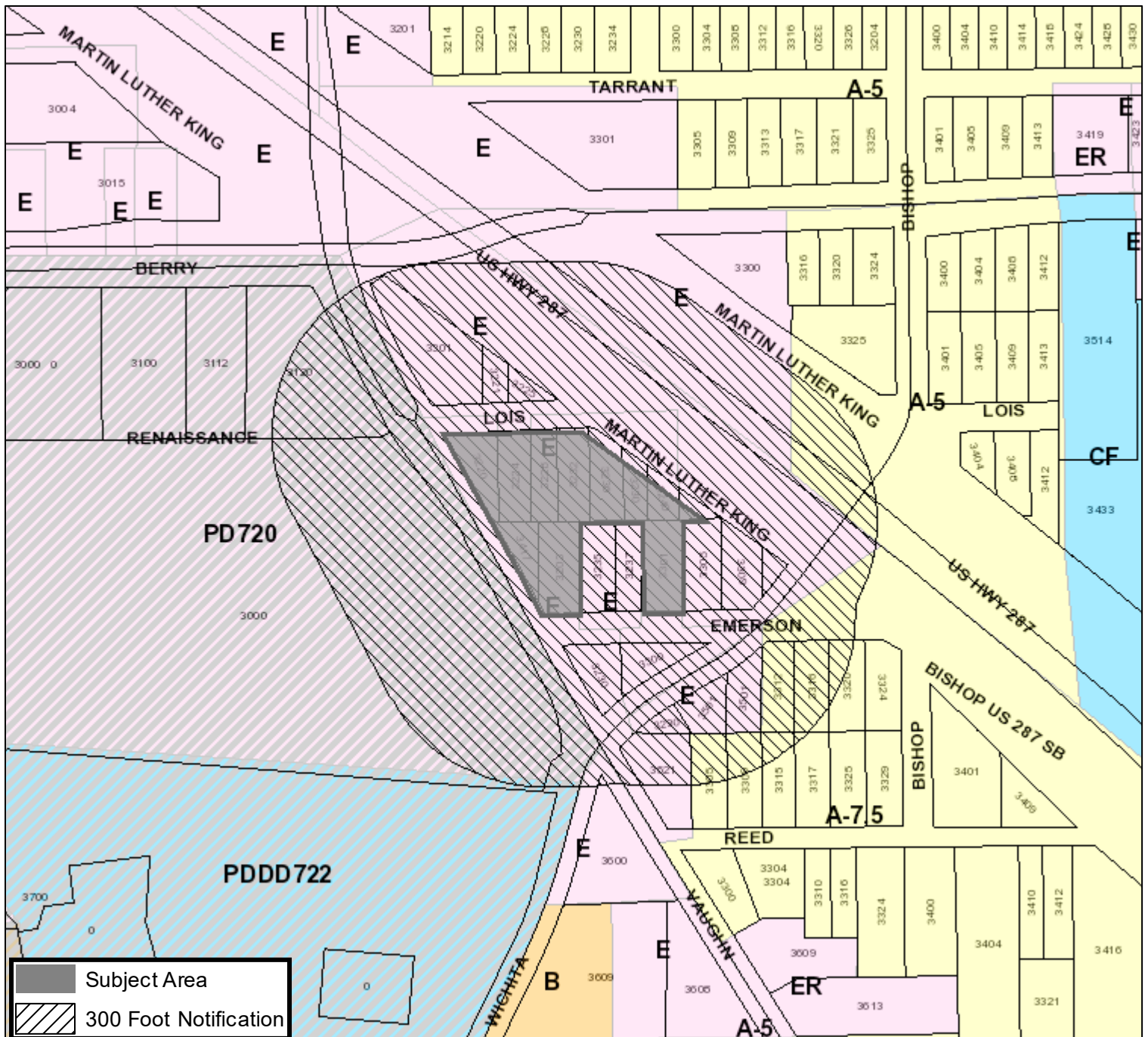
Zoning and Land Use

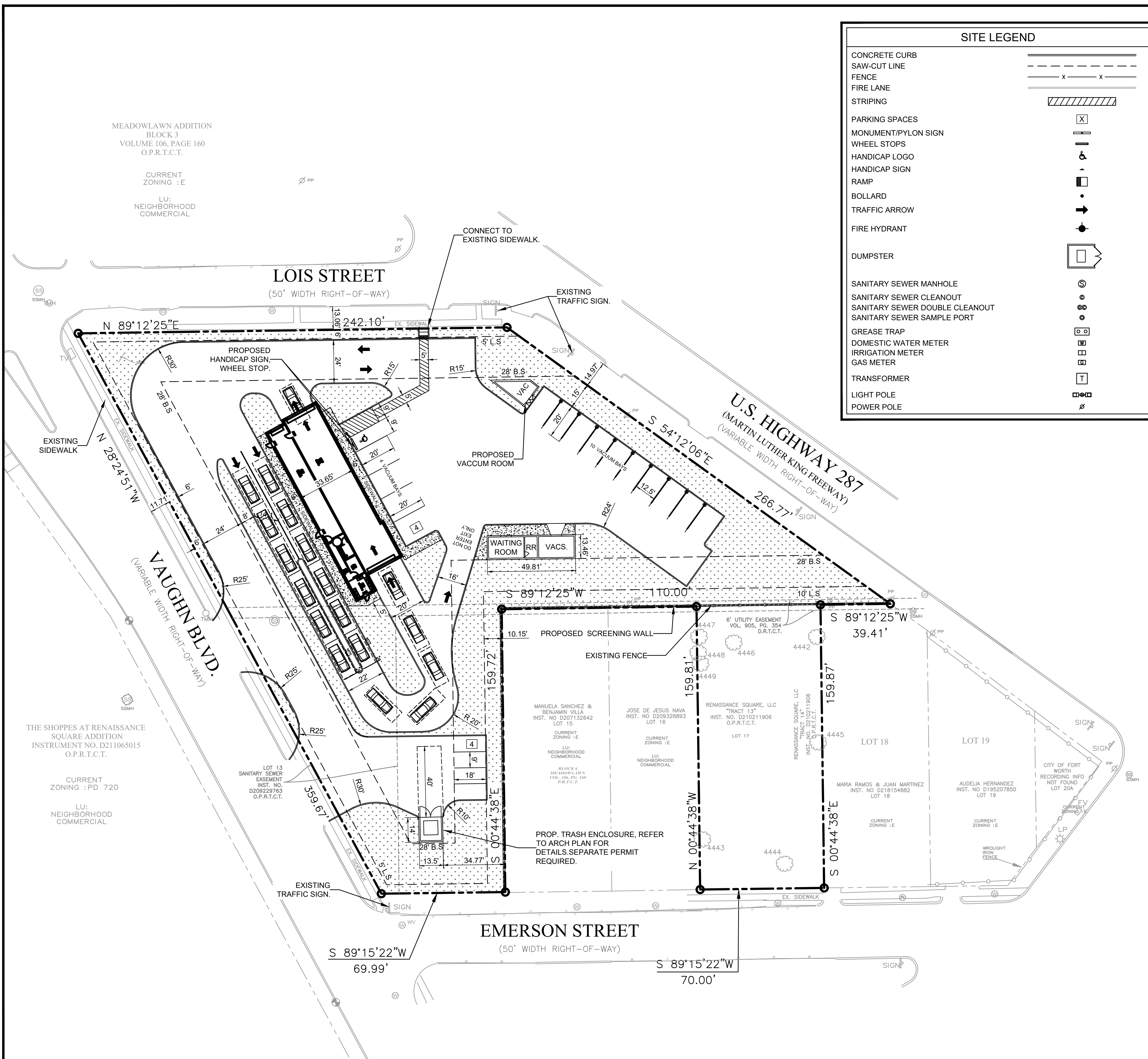
The submitted site plan is in general compliance with Zoning Ordinance regulations.

1. Provide elevations, screening and any enhanced landscaping
2. Dumpster adjacent residential uses?
3. Provide items from application checklist

Area Zoning Map

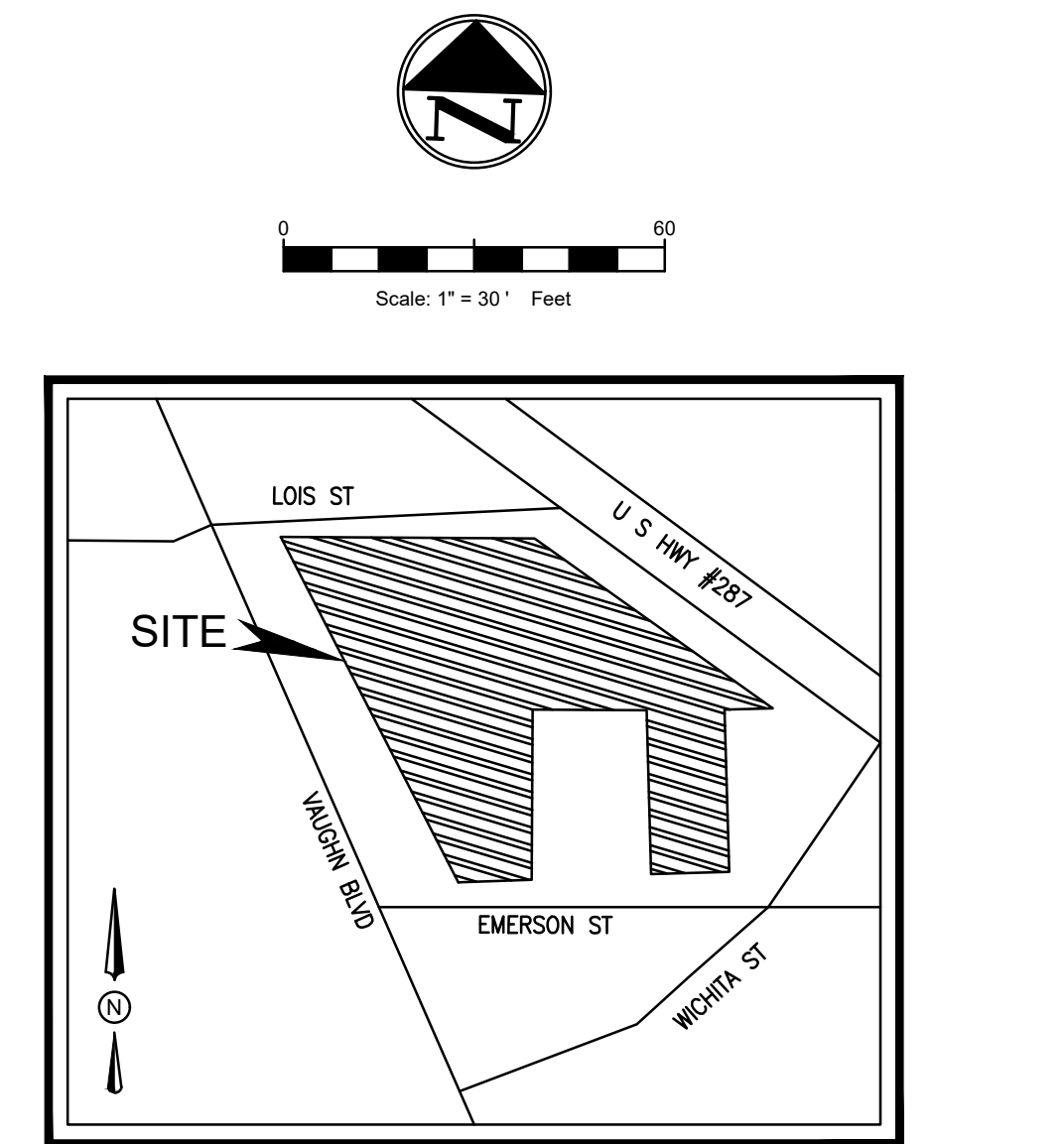
Applicant: Renaissance Square LLC/Andrew Yeoh
 Address: 3220-3236 (evens) Lois Street; 3230-3250 (evens) Martin Luther King Freeway, 3203 & 3300
 Zoning From: E
 Zoning To: Add a CUP for Car wash
 Acres: 1.78971349
 Mapsco: Text
 Sector/District: Southeast
 Commission Date: 6/12/2024
 Contact: 817-392-6226





SITE LEGEND	
CONCRETE CURB	---
SAW-CUT LINE	---
FENCE	---x---
FIRE LANE	---
STRIPING	---
PARKING SPACES	☐
MONUMENT/PYLON SIGN	☐
WHEEL STOPS	☐
HANDICAP LOGO	♿
HANDICAP SIGN	☐
RAMP	☐
BOLLARD	☐
TRAFFIC ARROW	➔
FIRE HYDRANT	☐
DUMPSTER	☐
SANITARY SEWER MANHOLE	⊙
SANITARY SEWER CLEANOUT	⊙
SANITARY SEWER DOUBLE CLEANOUT	⊙
SANITARY SEWER SAMPLE PORT	⊙
GREASE TRAP	☐
DOMESTIC WATER METER	☐
IRRIGATION METER	☐
GAS METER	☐
TRANSFORMER	☐
LIGHT POLE	☐
POWER POLE	☐

EXISTING LEGEND		
● 1/2" IR FOUND	⊙ IRRIGATION VALVE	▨ NO PARKING
○ 1/2" IR SET	⊙ WATER VALVE	▨ CONCRETE
⊙ 5/8" IR FOUND	⊙ FIRE HYDRANT	▨ GRAVEL
⊙ 3/8" IR FOUND	⊙ IR VALVE	▨ BRICK
⊙ 60.0 NAIL FOUND	⊙ UTILITY POLE	▨ STONE
⊙ PK NAIL SET	⊙ WATER METER	▨ WOOD DECK
⊙ 1/2" IP FOUND	⊙ GAS METER	▨ BUILDING WALL
⊙ X FOUND	⊙ A.C. PAD	▨ TILE
⊙ X SET	⊙ TRANS. BOX	---
⊙ 1" IR FOUND	⊙ GAS MARKER	---
⊙ 1" IP FOUND	⊙ OVERHEAD UTILITY LINE	---
⊙ POINT FOR CORNER	⊙ GUY WIRE ANCHOR	---
⊙ CON. MONUMENT	⊙ BARBED WIRE FENCE	---
⊙ 3/4" IP FOUND	⊙ IRON FENCE	---
⊙ TELE. BOX	⊙ CHAINLINK FENCE	---
⊙ CABLE BOX	⊙ PIPE RAIL FENCE	---
⊙ ELECTRIC BOX	⊙ COVERED AREA	---
⊙ BRICK COLUMN	⊙ ASPHALT	---
⊙ STORM DRAIN MH.	⊙ FIRE LANE STRIPE	---
⊙ SAN. SEW. CO.	⊙ BRICK RET. WALL	---
⊙ BOLLARD POST	⊙ STONE RET. WALL	---
⊙ LIGHT POLE	⊙ CON. RET. WALL	---
⊙ SAN. SEW. MH.		---



SITE DATA SUMMARY TABLE	
SITE ACREAGE:	1.789 ACRES (77,959 S.F.)
ZONING:	E
PROPOSED USE:	CAR WASH
BUILDING AREA:	4,998 S.F.
NUMBER OF STORIES:	1
BUILDING HEIGHT:	32'-6"
BUILDING COVERAGE:	6.41%
FLOOR AREA RATIO:	0.064
REGULAR PARKING REQUIRED:	5 SPACES
5 PARKING/VACUUM SP. FOR EA. CAR WASH	
REGULAR PARKING PROVIDED:	5 SPACES
HANDICAP PARKING REQUIRED:	1 SPACES (1 VAN ACCESSIBLE)
HANDICAP PARKING PROVIDED:	1 SPACES (1 VAN ACCESSIBLE)
TOTAL PARKING PROVIDED:	5 SPACES
NO OF VACUUM BAYS	14

PROJECT CONTACT LIST	
ENGINEER TRIANGLE ENGINEERING LLC 1782 W. McDERMOTT DR. ALLEN, TX. 75013 ANDREW YEOH 469-213-2804	SURVEYOR TRAVERSE LAND SURVEYING LLC 14200 MIDWAY ROAD, STE 130 DALLAS, TX 75244 GRAYSON CEBALLOS 469-784-9321
ARCHITECT EAST STAR DESIGN P.O. BOX 53 P.P. FORNEY, TX 75126 P.Q. GREG GUERIN P.R. 972-200-7340	

- SITE GENERAL NOTES**
- ALL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE CITY OR LOCAL JURISDICTION STANDARDS.
 - THE LOCATION OF UNDERGROUND UTILITIES INDICATED ON THE PLANS IS TAKEN FROM AS-BUILTS, UTILITY PLANS OR SURVEY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAKE ARRANGEMENTS WITH THE OWNERS OF SUCH UNDERGROUND UTILITIES PRIOR TO WORKING IN THE AREA TO CONFIRM THEIR EXACT LOCATION AND TO DETERMINE WHETHER ANY ADDITIONAL UTILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL UNDERGROUND UTILITIES. IF EXISTING UNDERGROUND UTILITIES ARE DAMAGED, THE CONTRACTOR WILL BE RESPONSIBLE FOR THE COST OF REPAIRING THE UTILITY.
 - WHERE EXISTING UTILITIES OR SERVICE LINES ARE CUT, BROKEN OR DAMAGED, THE CONTRACTOR SHALL REPLACE OR REPAIR THE UTILITIES OR SERVICE LINES WITH THE SAME TYPE OF ORIGINAL MATERIAL AND CONSTRUCTION, OR BETTER, UNLESS OTHERWISE SHOWN OR NOTED ON THE PLANS, AT HIS OWN COST AND EXPENSE. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER AT ONCE OF ANY CONFLICTS WITH UTILITIES.
 - ALL EXCAVATIONS, TRENCHING AND SHORING OPERATIONS SHALL COMPLY WITH THE REQUIREMENTS OF THE U. S. DEPARTMENT OF LABOR, OSHA, CONSTRUCTION SAFETY AND HEALTH REGULATIONS AND ANY AMENDMENTS THERETO.
 - THE CONTRACTOR SHALL RESTORE ALL AREAS DISTURBED BY CONSTRUCTION TO ORIGINAL CONDITION OR BETTER. RESTORED AREAS INCLUDE, BUT ARE NOT LIMITED TO TRENCH BACKFILL, SIDE SLOPES, FENCES, DRAINAGE DITCHES, DRIVEWAYS, PRIVATE YARDS AND ROADWAYS.
 - ANY CHANGES NEEDED AFTER CONSTRUCTION PLANS HAVE BEEN RELEASED, SHALL BE APPROVED BY THE CITY ENGINEER. THESE CHANGES MUST BE RECEIVED IN WRITING.
 - THE CONTRACTOR SHALL PROVIDE "RED LINED" MARKED PRINTS TO THE ENGINEER PRIOR TO FINAL INSPECTION INDICATING ALL CONSTRUCTION WHICH DEVIATED FROM THE PLANS OR WAS CONSTRUCTED IN ADDITION TO THAT INDICATED ON THE PLANS.
 - ALL CURB RADIUS TO BE 10' OR 2' UNLESS OTHERWISE NOTED ON THE SITE PLAN.

BENCHMARKS:

THE BENCHMARKS AND ELEVATIONS SHOWN ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM 1988 (NAVD88) BY USING GPS OBSERVATIONS IN CONJUNCTION WITH THE AITERRA RTK NETWORK.

- FROM THE NORTHWEST CORNER OF THE HEREIN DESCRIBED TRACT, CROSSING OVER, ACROSS AND UPON VAUGHN BOULEVARD. THENCE SOUTH 162.20' THENCE 28.66' EAST ELEVATION: 652.20'
- FROM THE SOUTHWEST CORNER OF THE HEREIN DESCRIBED TRACT, CROSSING OVER ACROSS AND OPON EMERSON STREET AND VAUGHN BOULEVARD. THENCE SOUTH 61.34' THENCE 25.73' WEST. ELEVATION: 657.64'

GENERAL NOTES:

- ALL SIGNS SHALL CONFORM TO THE CITY OF FORT WORTH ARTICLE 4, SIGNS.
- PROJECT WILL COMPLY CITY OF FORT WORTH LIGHTING ORDINANCE. ZERO FOOT CANDLE AT PROPERTY LINE.
- PROJECT WILL COMPLY WITH SECTION 6.301 & 6.302 CITY OF FORT WORTH LANDSCAPING & URBAN FORESTRY ORDINANCE.
- THE PROPOSED BUILDING WILL COMPLY "PD" ARCHITECTURAL STANDARDS.
- THE PROPOSED BUILDING SHALL BE DESIGNED IN COMPLIANCE WITH SOUND ATTENUATION.
- ANY BUILDING AND PARKING LOT LIGHTING SHALL BE DIRECTED AWAY AND DOWNWARD OF ANY RESIDENTIAL DISTRICT.

LAND DESCRIPTION

BEING A 1.789 ACRE TRACT OF LAND SITUATED IN THE R. RAMEY SURVEY, ABSTRACT NO. 1342, CITY OF FORT WORTH, TARRANT COUNTY, TEXAS, BEING ALL OF LOTS 6-14, LOT 17, AND BEING PART OF LOT 16, BLOCK 6, MEADOWLAWN ADDITION, AN ADDITION TO THE CITY OF FORT WORTH ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 106, PAGE 160, OFFICIAL PUBLIC RECORDS, TARRANT COUNTY, TEXAS AND BEING ALL OF THAT CERTAIN TRACT OF LAND CONVEYED TO RENAISSANCE SQUARE, LLC AS RECORDED IN INSTRUMENT NUMBERS D211281848, D210211906, D213027028, D212312476, OFFICIAL PUBLIC RECORDS, TARRANT COUNTY, TEXAS.



NO.	DATE	DESCRIPTION	BY
1	04-29-24	1st CITY SUBMITTAL	AY
2	06-05-24	REVISED PER CITY COMMENTS	AY
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DIRECTOR OF DEVELOPMENT SERVICES DATE

SITE PLAN

1.789 AC. LOT 6-14, PART OF LOT 16, LOT 17
BLOCK 6
MEADOWLAWN ADDITION
CITY OF FORT WORTH,
TARRANT COUNTY, TEXAS 76119

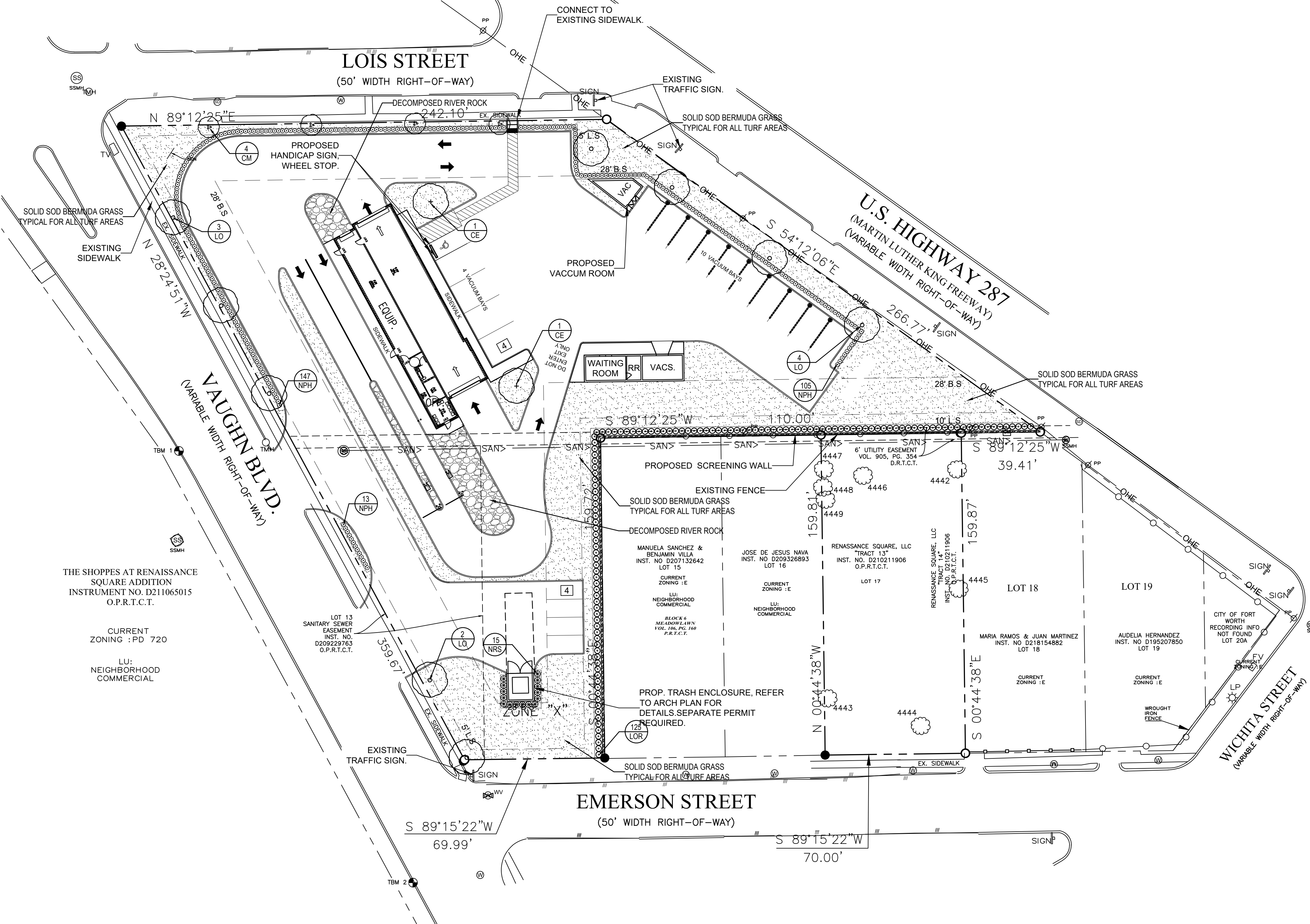
ZONING CASE No # ZC-24-052

SITE PLAN	
CARWASH	
LOIS STREET & VAUGHN BLVD	
CITY OF FORT WORTH TARRANT COUNTY, TEXAS	
LOT 6-14, PART OF LOT 16 AND 17,	
BLOCK 6, MEADOWLAWN ADDITION	
T: 469.331.8566 F: 469.213.7145 E: info@triangle-engr.com W: triangle-engr.com O: 1784 McDermott Drive, Suite 110, Allen, TX 75013	
Planning Civil Engineering Construction Management	
P.E.	DES.
AY	AY
DATE	SCALE
05.06.24	SCALE BAR
PROJECT NO.	SHEET NO.
57-24	C-3.0
TX. P.E. FIRM #11525	

MEADOWLAWN ADDITION
BLOCK 3
VOLUME 106, PAGE 160
O.P.R.T.C.T.

CURRENT ZONING : E

LU: NEIGHBORHOOD COMMERCIAL



THE SHOPPES AT RENAISSANCE SQUARE ADDITION
INSTRUMENT NO. D211065015
O.P.R.T.C.T.

CURRENT ZONING : PD 720

LU: NEIGHBORHOOD COMMERCIAL

LANDSCAPE ARCHITECT
1782 W McDERMOTT DR.
ALLEN, TEXAS 75013
(469) 369-4448
CHRIS@STUDIOGREENSPOT.COM



06.07.2024

GENERAL LAWN NOTES

1. FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS INDICATED ON CIVIL PLANS.
2. ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
3. ALL LAWN AREAS TO RECEIVE SOLID SOD SHALL BE LEFT IN A MAXIMUM OF 1" BELOW FINAL FINISH GRADE. CONTRACTOR TO COORDINATE OPERATIONS WITH ON-SITE CONSTRUCTION MANAGER.
4. IMPORTED TOPSOIL SHALL BE NATURAL, FRIABLE SOIL, FROM THE REGION, KNOWN AS BOTTOM AND SOIL, FREE FROM LUMPS, CLAY, TOXIC SUBSTANCES, ROOTS, DEBRIS, VEGETATION, STONES, CONTAINING NO SALT AND BLACK TO BROWN IN COLOR.
5. ALL LAWN AREAS TO BE FINE GRADED, IRRIGATION TRENCHES COMPLETELY SETTLED, AND FINISH GRADE APPROVED BY THE OWNER'S CONSTRUCTION MANAGER OR ARCHITECT PRIOR TO INSTALLATION.
6. ALL ROCKS 3/4" DIAMETER AND LARGER, DIRT CLOUDS, STICKS, CONCRETE SPOILS, ETC. SHALL BE REMOVED PRIOR TO PLACING TOPSOIL AND ANY LAWN INSTALLATION.
7. CONTRACTOR SHALL PROVIDE (1) ONE INCH OF IMPORTED TOPSOIL ON ALL AREAS TO RECEIVE LAWN.

LANDSCAPE NOTES

1. CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED SITE ELEMENTS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
2. CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES AND NOTIFY ARCHITECT OF ANY CONFLICTS. CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND UTILITIES.
3. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED LANDSCAPE AND IRRIGATION PERMITS.
4. CONTRACTOR TO PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL STRUCTURES.
5. ALL PLANTING BEDS AND LAWN AREAS TO BE SEPARATED BY STEEL EDGING. NO STEEL TO BE INSTALLED ADJACENT TO SIDEWALKS OR CURBS.
6. ALL LANDSCAPE AREAS TO BE 100% IRRIGATED WITH AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM AND SHALL INCLUDE RAIN AND FREEZE SENSORS.
7. ALL LAWN AREAS TO BE HYDRO-MULCH BERMUDAGRASS, UNLESS OTHERWISE NOTED ON THE DRAWINGS.

HYDROMULCH NOTES

1. ALL LAWN AREAS TO BE HYDROMULCH BERMUDAGRASS, UNLESS NOTED OTHERWISE ON DRAWINGS.
2. CONTRACTOR SHALL SCARIFY, RIP, LOOSEN ALL AREAS TO BE HYDROMULCHED TO A MINIMUM DEPTH OF 4" PRIOR TO TOPSOIL AND HYDROMULCH INSTALLATION.
3. BERMUDAGRASS SEED SHALL BE EXTRA HULLED AND TREATED LAWN TYPE AND SHALL BE DELIVERED TO THE SITE IN ITS ORIGINAL UNOPENED CONTAINER, AND SHALL MEET TEXAS STATE LAW REQUIREMENTS.
4. FIBER: SHALL BE ONE HUNDRED (100%) PERCENT WOOD CELLULOSE FIBER, DELIVERED TO THE SITE IN ITS ORIGINAL UNOPENED CONTAINER. "CONWEB" OR EQUAL.
5. FIBER TACK: SHALL BE DELIVERED TO THE SITE IN ITS ORIGINAL UNOPENED CONTAINER, AND SHALL BE "TERRO-TACK ONE", AS MANUFACTURED BY GROWERS, INC., OR EQUAL.
6. HYDROMULCH WITH BERMUDAGRASS SEED AT A RATE OF TWO (2) POUNDS PER ONE THOUSAND (1000) SQUARE FOOT.
7. USE A 4'X8' BATTER BOARD AGAINST ALL BEDS AREAS.
8. IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1 AND APRIL 1, ALL HYDROMULCH AREAS TO BE WINTER RYEGRASS, AT A RATE OF FOUR (4) POUNDS PER ONE THOUSAND (1000) SQUARE FEET. CONTRACTOR SHALL BE REQUIRED TO RE-HYDROMULCH WITH BERMUDAGRASS THE FOLLOWING GROWING SEASON.
9. IN THE EVENT RYE GRASS IS NECESSARY DUE TO TIME OF YEAR INSTALLATION, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO SCALP EXISTING GRASS, BAG CLIPPINGS, AND SCARIFY SOIL TO A DEPTH OF 1" PRIOR TO PERMANENT LAWN GRASS INSTALLATION.
10. ALL LAWN AREAS TO BE HYDROMULCHED, SHALL HAVE ONE HUNDRED (100%) PERCENT COVERAGE PRIOR TO FINAL ACCEPTANCE.
11. CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE. THIS SHALL INCLUDE BUT NOT BE LIMITED TO: MOWING, WATERING, WEEDING, CULTIVATING, CLEANING, AND REPLACING DEAD OR BARE AREAS TO KEEP PLANTS IN A VIGOROUS, HEALTHY CONDITION.
12. CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF AN ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT FROM LOCAL SUPPLY AS NECESSARY.

PLANT MATERIAL SCHEDULE -

TREES					
TYPE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
LO	9	Live Oak	<i>Lagerstroemia indica</i>	3" cal.	container, 12" ht., 5' spread 5' clear trunk
CE	2	Cedar Elm	<i>Ulmus crassifolia</i>	3" cal.	container, 12" ht., 5' spread 5' clear trunk
CM	4	Crepe Myrtle	<i>Lagerstroemia indica</i>	2" cal.	container, 8" ht., tree form
SHRUBS					
TYPE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
NPH	160	Needlepoint Holly	<i>Ilex x cornuta 'Needlepoint'</i>	5 gal.	container, 24" ht., 20" spread
NRS	15	Nellie R. Stevens	<i>Ilex x 'Nellie R. Stevens'</i>	5 gal.	container, 24" ht., 24" spread
LOR	125	Loropetalum	<i>Loropetalum chinensis</i>	5 gal.	container full, 24" spread
GROUNDCOVERS					
TYPE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
		'419' Bermudagrass	<i>Cynodon dactylon '419'</i>		Hydro-mulch refer to notes

NOTE: Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. All plant material shall meet or exceed remarks as indicated. All trees to have straight trunks and be matching within varieties.

LANDSCAPE TABULATIONS -

	REQUIRED	PROVIDED
GROSS SITE AREA (S.F.)	66,772.65 S.F.	
LESS BUILDING AREA (S.F.)	3,086 S.F.	
NET SITE AREA (S.F.)	63,686.65 S.F.	
REQUIRED LANDSCAPE (X 10%)	6,368.67 S.F.	19,299.47 S.F.
REQUIRED SHRUBS	128	300
5 GALLON MIN. (DIVIDED BY 50)		
LANDSCAPE AREA IN FRONT YARD (75%)	4,776.51 S.F.	8,371.51 S.F.
SHRUBS IN FRONT YARD (75%)	96	160

FT. WORTH LANDSCAPE TABULATIONS -

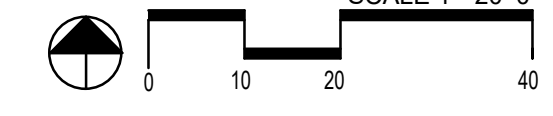
REQUIREMENT: 25 BUFFER POINTS PER EACH REQUIRED BUFFER

SOUTH LANDSCAPE BUFFER- 380.3 L.F.

6' HT., MASONRY WALL ALONG THE PERIMETER OF BUFFER = 15 POINTS

(5) ORNAMENTAL SHRUBS PER 25 L.F. = 15 POINTS
SHRUBS REQUIRED= 76
SHRUBS PROVIDED= 125

01 LANDSCAPE PLAN
SCALE 1"=20'-0"



CAR WASH

US HWY 287 / LOIS ST.
FORT WORTH, TEXAS

ISSUE:
FOR APPROVAL 06.07.2024

DATE:
06.07.2024

SHEET NAME:
LANDSCAPE PLAN

SHEET NUMBER:

L.1

SECTION 02800 - LANDSCAPE

PART 1 - GENERAL

1.1 REFERENCED DOCUMENTS

Refer to bidding requirements, special provisions, and schedules for additional requirements.

1.2 DESCRIPTION OF WORK

Work included: Furnish all supervision, labor, materials, services, equipment and appliances required to complete the work covered in conjunction with the landscaping covered in these specifications and landscaping plans, including:

- Planting (trees, shrubs, and grass)
- Bed preparation and fertilization
- Notification of sources
- Water and Maintenance until final acceptance
- Guarantee

1.3 REFERENCE STANDARDS

- American Standard for Nursery Stock published by American Association of Nurserymen; 27 October 1960, Edition; by American National Standards Institute, Inc. (Z60.1) – plant material.
- American Joint Committee on Horticultural Nomenclature: 1942 Edition of Standardized Plant Names.
- Texas Association of Nurserymen, Grades and Standards.
- Hortis Third, 1976 - Cornell University

1.4 NOTIFICATION OF SOURCES AND SUBMITTALS

- The Contractor shall, within ten (10) days following acceptance of bid, notify the Architect/Owner of the sources of plant materials and bed preparation required for the project.
- Samples: Provide representative quantities of sandy loam soil, mulch, bed mix material, gravel, and crushed stone. Samples shall be approved by Architect before use on project.
- Product Data: Submit complete product data and specifications on all other specified materials.
- Submit three representative samples of each variety of ornamental trees, shrubs, and groundcover plants for Architect's approval. When approved, tag, install, and maintain as representative samples for final installed plant materials.
- File Certificates of inspection of plant material by state, county, and federal authorities with Architect, if required.
- Soil Analysis: Provide sandy loam soil analysis if requested by the Architect.

JOB CONDITIONS

- General Contractor to complete the following punch list: Prior to Landscape Contractor initiating any portion of landscape installation, General Contractor shall leave planting bed areas three (3") inches below finish grade of sidewalks, drives and curbs as shown on the drawings. All lawn areas to receive solid sod shall be left one (1") inch below the finish grade of sidewalks, drives, and curbs. All construction debris shall be removed prior to Landscape Contractor beginning any work.
- General Contractor shall provide topsoil as described in Section 02200 - Earthwork.
- Storage of materials and equipment at the job site will be at the risk of the Landscape Contractor. The Owner cannot be held responsible for theft or damage.

1.6 MAINTENANCE AND GUARANTEE

- Maintenance:
 - The Landscape Contractor will be held responsible for the maintenance of all work from the time of planting until final acceptance by the Owner. No trees, shrubs, groundcover or grass will be accepted unless they show a healthy growth and satisfactory foliage conditions.
 - Maintenance shall include watering of trees and plants, cultivation, weeding, spraying, edging, pruning of trees, mowing of grass, cleaning up and all other work necessary of maintenance.
 - A written notice requesting final inspection and acceptance shall be submitted to the Owner at least seven (7) days prior to completion. An on-site inspection by Owner and Landscape Contractor will be completed prior to written acceptance.
 - After final acceptance of installation, the Landscape Contractor will not be required to do any of the above listed work.
- Guarantee:
 - Trees shall be guaranteed for a twelve (12) month period after acceptance. Shrubs and groundcover shall be guaranteed for twelve (12) months. The Contractor shall replace all dead materials as soon as weather permits and upon notification of the Owner. Plants, including trees, which have partially died so that shape, size, or symmetry has been damaged, shall be considered subject to replacement. In such cases, the opinion of the Owner shall be final.
 - Plants used for replacement shall be of the same size and kind as those originally planted and shall be planted as originally specified. All work, including materials, labor and equipment used in replacements, shall carry a twelve (12) month guarantee. Any damage, including ruts in lawn or bed areas, incurred as a result of making replacements shall be immediately repaired.
 - At the direction of the Owner, plants may be replaced at the start of the next year's planting season. In such cases, dead plants shall be removed from the premises immediately.
 - When plant replacements are made, plants, soil mix, fertilizer and mulch are to be utilized as originally specified and reinspected for full compliance with Contract requirements. All replacements are to be included under "Work" of this section.

1.7 QUALITY ASSURANCE

- General: Comply with applicable Federal, State, County and Local regulations governing landscape materials and work.
- Personnel: Employ only experienced personnel who are familiar with the required work. Provide full time supervision by a qualified foreman acceptable to Landscape Architect.
- Selection of Plant Material:
 - Make contact with suppliers immediately upon obtaining notice of contract acceptance to select and book materials. Develop a program of maintenance (pruning and fertilization) which will insure the purchased materials will meet and/or exceed project specifications.
 - Landscape Architect will provide a key identifying each tree location on site. Written verification will be required to document material selection, source and delivery schedules to site.
 - Owner and/or Architect shall inspect all plant materials when reasonable at place of growth for compliance with requirements for genus, species, cultivar/variety, size and quality.
 - Owner and/or Architect retains the right to further inspect all plant material upon arrival at the site and during installation for size and condition of root balls, limbs, branching habit, insects, injuries, and latent defects.
 - Owner and/or Architect may reject unsatisfactory or defective material at any time during the process of work. Remove rejected materials from the site immediately. Plants damaged in transit or at job site shall be rejected.

- Product Delivery, Storage and Handling:
 - Balled and Burlapped (B&B) Plants: Dig and prepare shipment in a manner that will not damage roots, branches, shape, and future development.
 - Container Grown Plants: Deliver plants in rigid container to hold ball shape and protect root mass.

A. Delivery:

- Deliver packaged materials in sealed containers showing weight, analysis and name of manufacturer. Protect materials from deterioration during delivery and while stored at site.
- Deliver only plant materials that can be planted in one day unless adequate storage and watering facilities are available on job site.
- Protect root balls by heeling in with sand/soil or other approved moisture retaining material if not planted within 24 hours of delivery.
- Protect plants during delivery to prevent damage to root balls or desiccation of leaves. Keep plants moist at all times. Cover all materials during transport.
- Notify Architect of delivery schedule 72 hours in advance so plant material may be observed upon arrival at job site.
- Remove rejected plant material immediately from site.
- To avoid damage or stress, do not lift, move, adjust to plumb, or otherwise manipulate plants by trunk or stems.

PART 2 - PRODUCTS

2.1 PLANTS

- General: Well-formed No. 1 grade or better nursery grown stock. Listed plant heights are from tops of root balls to nominal tops of plants. Plant spread refers to nominal outer width of the plant, not to the outer leaf tips. Plants will be individually approved by the Architect and his decision as to their acceptability shall be final.
- Quantities: The drawings and specifications are complimentary. Anything called for on one and not the other is as binding as if shown and called for on both. The plant schedule is an aid to bidders only. Confirm all quantities on plan.
- Quality and size: Plant materials shall conform to the size given on the plan, and shall be healthy, symmetrical, well-shaped, full branched, and well rooted. The plants shall be free from injurious insects, diseases, injuries to the bark or roots, broken branches, objectionable disfigurements, insect eggs and larvae and are to be of specimen quality.
- Approval: All plant materials shall be subject to the approval of the Owner. All plants which are found unsuitable in growth, or in any unhealthy, badly shaped, or undersized condition, will be rejected by the Landscape Architect, either before or after planting, and shall be removed at the expense of the Landscape Contractor and replaced with acceptable plants as specified.
- Trees shall be healthy, full-branched, well-shaped and shall meet the trunk diameter and height requirements of the plant schedule. Balls shall be firm, neat, slightly tapered, and well wrapped in burlap. Any tree loose in the ball or with broken ball at time of planting will be rejected. Balls shall be ten (10") inches in diameter for each one (1") inch of trunk diameter. Measured six (6") inches above ball.
 - Nomenclature conforms to the customary nursery usage; for clarification, the term "multi-trunk" defines a plant having three (3) or more trunks of nearly equal diameter.
- Pruning: All pruning of trees and shrubs, as directed by the Landscape Architect, shall be executed by the Landscape Contractor at no additional cost to the Owner.

PART 3 - EXECUTION

3.1 BED PREPARATION & FERTILIZATION

- Landscape Contractor to inspect all existing conditions and report any deficiencies to the Owner.
- All planting areas shall be conditioned as follows:
 - Prepare new planting beds by scraping away existing grass and weeds as necessary. Till existing soil to a depth of six (6") inches prior to placing compost and fertilizer. Apply fertilizer as per manufacturers recommendations. Add six (6") inches of compost and till into a depth of six (6") inches of the topsoil. Apply organic fertilizer such as Sustane or Green Sense at the rate of twenty (20) pounds per one thousand (1,000) square feet.
 - All planting areas shall receive a two (2") inch layer of specified mulch.
 - Backfill for tree pits shall be as follows: Use existing top soil on site (use imported topsoil as needed) free from large clumps, rocks, debris, caliche, subsoils, etc., placed in nine (9") inch layers and watered in thoroughly.
- Grass Areas:
 - Areas to be Solid Sod Bermudagrass: Blocks of sod should be laid joint to joint, (staggered joints) after fertilizing the ground first. Roll grass areas to achieve a smooth, even surface. The joints between the blocks of sod should be filled with topsoil where they are evidently gapped open, then watered thoroughly.
 - Areas to be Hydromulch Common Bermudagrass: Hydromulch with bermudagrass seed at a rate of two (2) pounds per one thousand (1,000) square feet. Use a 4' x 8' batter board against the bed areas.

- Shrub and tree pits shall be no less than two (2) feet, twenty-four (24") inches, wider than the lateral dimension of earth ball and six (6") inches deeper than it's vertical dimension. Remove and haul from site all rocks and stones over one (1") inch in diameter. Plants should be thoroughly moist before removing containers.
- Dig a wide, rough sided hole exactly the same depth as the height of the ball, especially at the surface of the ground. The sides of the hole should be rough and jagged, never slick or glazed.
- Percolation Test: Fill the hole with water. If the water level does not percolate within 24 hours, the tree needs to move to another location or have drainage added. Install a PVC stand pipe per tree planting detail as approved by the Landscape Architect.
- Backfill only with 5 parts existing soil or sandy loam and 1 part bed preparation. When the hole is dug in solid rock, topsoil from the same area should not be used. Carefully settle by watering to prevent air pockets. Remove the burlap from the top 1/3 of the ball, as well as all nylon, plastic string and wire mesh. Container trees will usually be pot bound, if so follow standard nursery practice of "root scoring".
- Do not wrap trees.
- Do not over prune.
- Mulch the top of the ball. Do not plant grass all the way to the trunk of the tree. Leave the area above the top of the ball and mulch with at least two (2") inches of specified mulch.
- All plant beds and trees to be mulched with a minimum settled thickness of two (2") inches over the entire bed or pit.
- Obstruction below ground: In the event that rock, or underground construction work or obstructions are encountered in any plant pit excavation work to be done under this section, alternate locations may be selected by the Owner. Where locations cannot be changed, the obstructions shall be removed to a depth of not less than three (3") feet below grade and no less than six (6") inches below the bottom of ball when plant is properly set at the required grade. The work of this section shall include the removal from the site of such rock or underground obstructions encountered at the cost of the Landscape Contractor.
- Trees and large shrubs shall be staked as site conditions require. Position stakes to secure tree against seasonal prevailing winds.
- Pruning and Mulching: Pruning shall be directed by the Architect and shall be pruned in accordance with standard horticultural practice following Fine Pruning, Class I pruning standards provided by National Arborist Association.
 - Dead wood or suckers and broken badly bruised branches shall be removed. General tipping of the branched is not permitted. Do not cut terminal branches.
 - Pruning shall be done with clean, sharp tools.
 - Immediately after planting operations are completed, all tree pits shall be covered with a layer of organic material two (2") inches in depth. This limit of the organic material for trees shall be the diameter of the plant pit.
- Steel Curbing Installation:
 - Curbing shall be aligned as indicated on plans. Stake out limits of steel curbing and obtain Owners approval prior to installation.
 - All steel curbing shall be free of kinks and abrupt bends.
 - Top of curbing shall be 3/4" maximum height above grade.
 - Stakes are to be installed on the planting bed side of the curbing, as opposed to the grass side.
 - Do not install steel edging along sidewalks.
 - Cut steel edging at 45 degree angle where edging meets sidewalk.

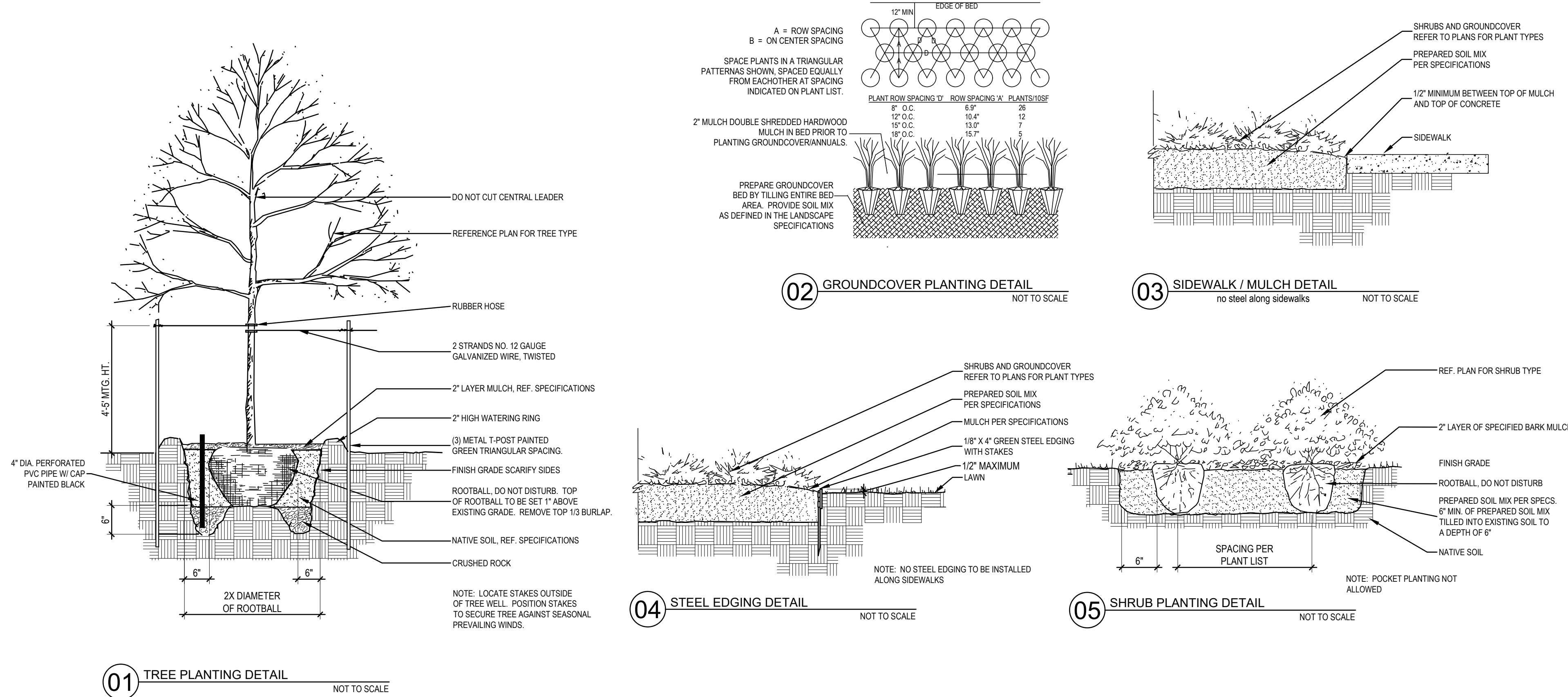
3.2 INSTALLATION

- Maintenance of plant materials shall begin immediately after each plant is delivered to the site and shall continue until all construction has been satisfactorily accomplished.
- Plant materials shall be delivered to the site only after the beds are prepared and area ready for planting. All shipments of nursery materials shall be thoroughly protected from the drying winds during transit. All plants which cannot be planted at once, after delivery to the site, shall be well protected against the possibility of drying by wind and sun. Balls of earth of B & B plants shall be kept covered with soil or other acceptable material. All plants remain the property of the Contractor until final acceptance.
- Position the trees and shrubs in their intended location as per plan.
- Notify the Landscape Architect for inspection and approval of all positioning of plant materials.
- Excavate pits with vertical sides and horizontal bottom. Tree pits shall be large enough to permit handling and planting without injury to balls of earth or roots and shall be of such depth that, when planted and settled, the crown of the plant shall bear the same relationship to the finish grade as it did to soil surface in original place of growth.

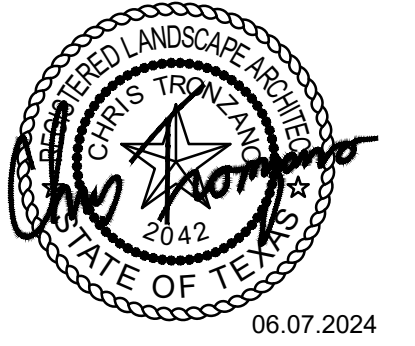
3.3 CLEANUP AND ACCEPTANCE

- Cleanup: During the work, the premises shall be kept neat and orderly at all times. Storage areas for all materials shall be so organized that they, too, are neat and orderly. All trash and debris shall be removed from the site as work progresses. Keep paved areas clean by sweeping or hosing at end of each days work.

END OF SECTION



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CHRIS@STUDIOGREENSPOT.COM



06.07.2024

2.2 SOIL PREPARATION MATERIALS

- Sandy Loam:
 - Friable, fertile, dark, loamy soil, free of clay lumps, subsoil, stones and other extraneous material and reasonably free of weeds and foreign grasses. Loam containing Dallasgrass or Nutgrass shall be rejected.
 - Physical properties as follows:
 - Clay - between 7-27 percent
 - Silt - between 15-25 percent
 - Sand - less than 52 percent
 - Organic matter shall be 3%-10% of total dry weight.
 - If requested, provide a certified soil analysis conducted by an approved soil testing laboratory verifying that sandy loam meets the above requirements.
- Organic Material: Compost with a mixture of 80% vegetative matter and 20% animal waste. Ingredients should be a mix of course and fine textured material.
- Premixed Bedding Soil as supplied by Vital Earth Resources, Gladewater, Texas; Professional Bedding Soil as supplied by Living Earth Technology, Dallas, Texas or Acid Gro Municipal Mix as supplied by Soil Building Systems, Dallas, Texas or approved equal.
- Sharp Sand: Sharp sand must be free of seeds, soil particles and weeds.
- Mulch: Double Shredded Hardwood Mulch, partially decomposed, dark brown. Living Earth Technologies or approved equal.
- Organic Fertilizer: Fertilid, Sustane, or Green Sense or equal as recommended for required applications. Fertilizer shall be delivered to the site in original unopened containers, each bearing the manufacturer's guaranteed statement of analysis.
- Commercial Fertilizer: 10-20-10 or similar analysis. Nitrogen source to be a minimum 50% slow release organic Nitrogen (SCU or UF) with a minimum 8% sulphur and 4% iron, plus micronutrients.
- Peat: Commercial sphagnum peat moss or partially decomposed shredded pine bark or other approved organic material.

2.3 MISCELLANEOUS MATERIALS

- Steel Edging: Shall be Ryerson "Estate Curbing", 1/8" x 4" with stakes 4" on center.
- Staking Material for Shade Trees:
 - Post: Studed T-Post, #1 Armo with anchor plate; 6'-0" length; paint green.
 - Wire: 12 gauge, single strand, galvanized wire.
 - Rubber hose: 2 ply, fiber reinforced hose, minimum 1/2 inch inside diameter. Color: Black.
- Gravel: Washed native pea gravel, graded 1 in. to 1-1/2 in.
- Filter Fabric: Mirafi 140N by Celanese Fibers Marketing Company, available at Loftland Co., (214) 631-5250 or approved equal.

CAR WASH

US HWY 287 / LOIS ST.
FORT WORTH, TEXAS

ISSUE:
FOR APPROVAL 06.07.2024

DATE:
06.07.2024

SHEET NAME:
LANDSCAPE SPECIFICATIONS

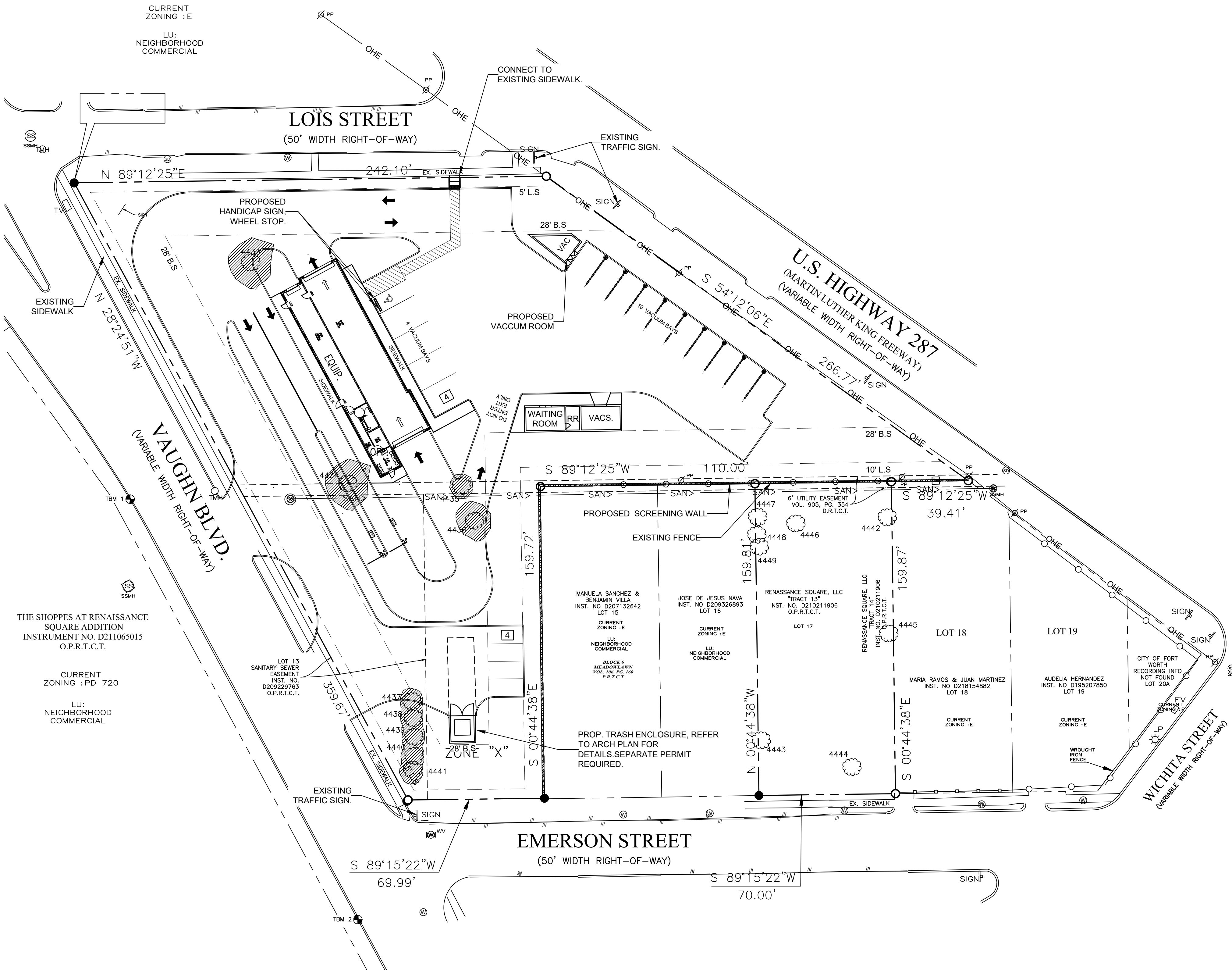
SHEET NUMBER:

L.2

VOLUME 106, PAGE 160
O.P.R.T.C.T.

CURRENT ZONING : E

LU: NEIGHBORHOOD COMMERCIAL



THE SHOPPES AT RENAISSANCE SQUARE ADDITION
INSTRUMENT NO. D211065015
O.P.R.T.C.T.

CURRENT ZONING : PD 720

LU: NEIGHBORHOOD COMMERCIAL

LOT 13
SANITARY SEWER EASEMENT
INST. NO. D209229763
O.P.R.T.C.T.

MANUELA SANCHEZ & BENJAMIN VILLA
INST. NO. D207132642
LOT 15

JOSE DE JESUS NAVA
INST. NO. D209326893
LOT 16

RENAISSANCE SQUARE, LLC
"TRACT 13"
INST. NO. D210211906
O.P.R.T.C.T.

RENAISSANCE SQUARE, LLC
"TRACT 14"
INST. NO. D210211906
O.P.R.T.C.T.

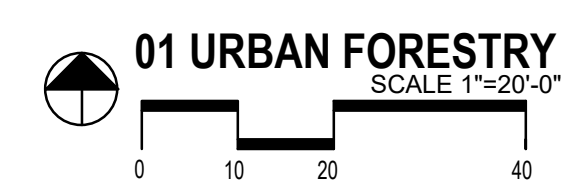
MARIA RAMOS & JUAN MARTINEZ
INST. NO. D218154882
LOT 18

AUDEJA HERNANDEZ
INST. NO. D2195207850
LOT 19

CITY OF FORT WORTH
RECORDING INFO NOT FOUND
LOT 20A

PROP. TRASH ENCLOSURE, REFER TO ARCH PLAN FOR DETAILS SEPARATE PERMIT REQUIRED.

EMERSON STREET
(50' WIDTH RIGHT-OF-WAY)



EXISTING TREE LEGEND

- EXISTING TREE TO REMAIN
- EXISTING TREE TO BE REMOVED

EXISTING TREE NOTES

1. Existing trees to remain shall be protected during construction from tree structure damage and compaction of soil under and around dripline (canopy) of tree.
2. If any root structure is damaged during excavation/construction, notify the Architect immediately. It is recommended that a licensed Arborist be secured for the treatment of any possible tree wounds.
3. No disturbance of the soil greater than 4" shall be located closer to the tree trunk than 1/2 the distance of the drip line to the tree trunk. A minimum of 75% of the drip line and root zone shall be preserved at natural grade.
4. Any fine grading done within the critical root zones of the protected trees must be done with light machinery such as a bobcat or light tractor. No earth moving equipment with tracks is allowed within the critical root zone of the trees.
5. Material Storage: No materials intended for use in construction or waste materials accumulated due to excavation or demolition shall be placed within the limits of the dripline of any tree.
6. Equipment Cleaning/Liquid Disposal: No equipment may be cleaned, toxic solutions, or other liquid chemicals shall be deposited within the limits of the dripline of a tree. This would include but not be limited to paint, oil, solvents, asphalt, concrete, mortar, primers, etc.
7. Tree Attachments: No signs, wires or other attachments, other than those of a protective nature shall be attached to any tree.
8. Vehicular Traffic: No vehicular and construction equipment traffic or parking is allowed within the limits of the dripline of trees.
9. Boring of Utilities: May be permitted under protected trees in certain circumstances. The minimum length of the bore shall be the width of the tree's canopy and shall be a minimum depth of forty-eight (48) inches.
10. Trenching: Any irrigation trenching which must be done within the critical root zone of a tree shall be dug by hand and enter the area in a radial manner.
11. Tree Flagging: All trees to be removed from the site shall be flagged by the Contractor with bright red vinyl tape (3" width) wrapped around the main trunk at a height of four (4) feet above grade. Flagging shall be approved by Landscape Architect prior to any tree removal. Contractor shall contact Landscape Architect with 72 hour notice to schedule on-site meeting.
12. Protective Fencing: All trees to remain, as noted on drawings, shall have protective fencing located at the tree's dripline. The protective fencing may be comprised of snow fencing, orange vinyl construction fencing, chain link fence or other similar fencing with a four (4) foot approximate height. The protective fencing will be located as indicated on the Tree Protection Detail(s).
13. Bark Protection: In situations where a tree remains in the immediate area of intended construction, the tree shall be protected by enclosing the entire circumference of the tree's trunk with lumber encircled with wire or other means that does not damage the tree. Refer to Tree Protection Detail(s).
14. Construction Pruning: In a case where a low hanging limb is broken during the course of construction, the Contractor shall notify the Landscape Architect immediately. In no instance shall the Contractor prune any portion of the damaged tree without the prior approval by the Landscape Architect.

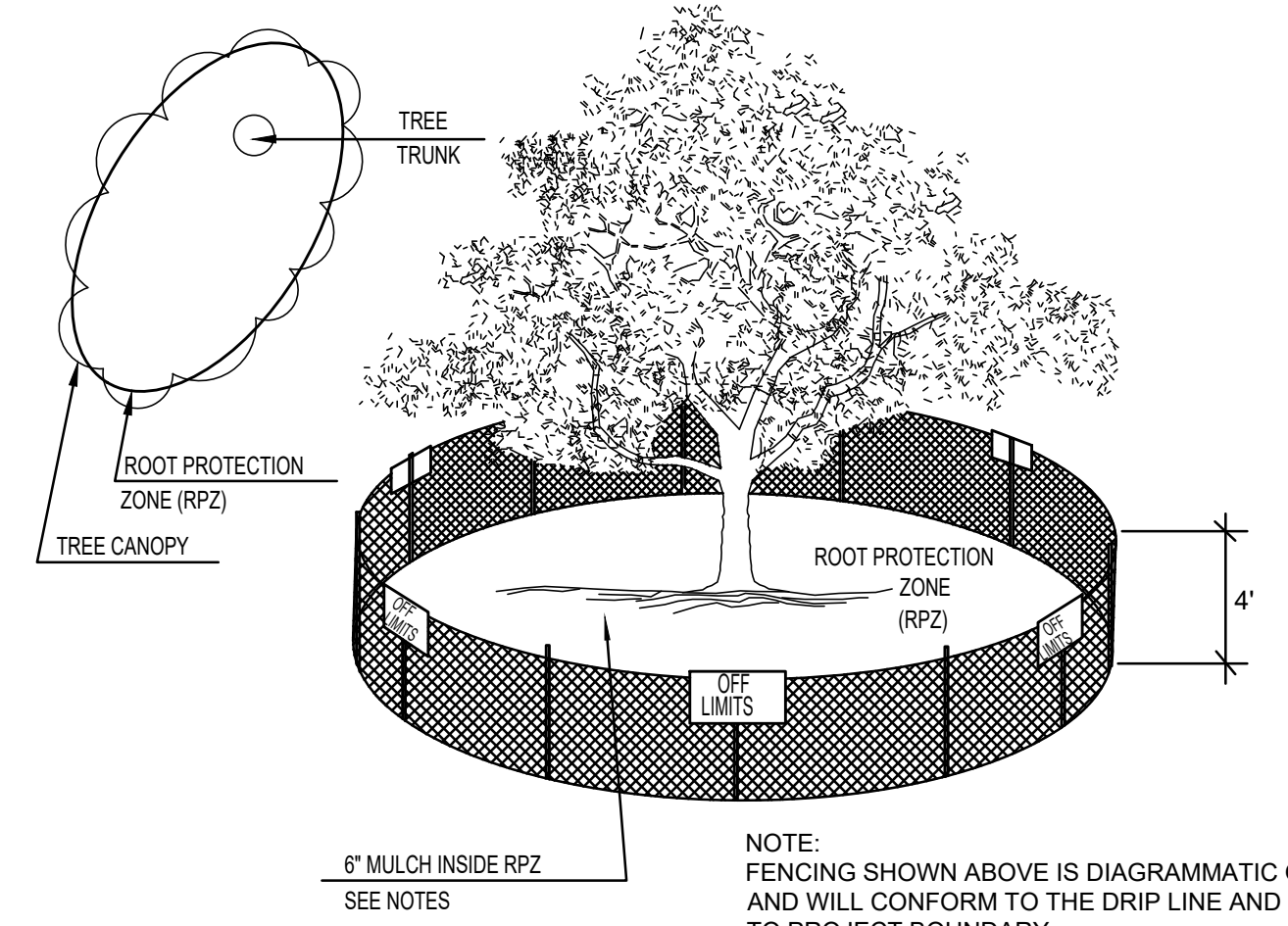
TREE SURVEY FIELD DATA

NO.	DIA INCHES	SPECIES (COMMON NAME)	REMARKS
4433	10	ELM	TO BE REMOVED
4434	22	ELM	TO BE REMOVED
4435	9	HACKBERRY	TO BE REMOVED
4436	37	PECAN	TO BE REMOVED
4437	12	MULBERRY	TO BE REMOVED
4438	10	BRADFORD PEAR	TO BE REMOVED
4439	10	MULBERRY	TO BE REMOVED
4440	7	BRADFORD PEAR	TO BE REMOVED
4441	18	MULBERRY	TO BE REMOVED
4442	12	HACKBERRY	TO BE REMOVED
4443	24	ELM	TO BE REMOVED
4444	12	BRADFORD PEAR	TO BE REMOVED
4445	16	HACKBERRY	TO BE REMOVED
4446	16	PECAN	TO BE REMOVED
4447	10	HACKBERRY	TO BE REMOVED
4448	18	HACKBERRY	TO BE REMOVED
4449	7	HACKBERRY	TO BE REMOVED

URBAN FORESTRY CALCULATIONS

Use the following tables: ***** If Significant Trees on site, complete chart on page 3 first.

	Calculation	Square Feet	Acres
Net Urban Forestry Area (phase 1 and 2)			
A Gross area of property (or artificial lot)	→	66,773 S.F.	1.54
B Regulated utility easements and other deductible areas	→	0 S.F.	
C Net Urban Forestry Area	(A-B)	66,773 S.F.	1.54
Preservation/Retention of Existing Canopy (phase 1 and 2)			
G Existing tree canopy area	→	1,145 S.F.	0.03
H If seeking approval for phase 1 only, then preserve a minimum of 50% canopy and stop after completing line M.	(G x .5)	0 S.F.	
I Preservation requirement (25%)	(G x .25)	287 S.F.	0.006
J Additional 5% if using preservation method B ("protected trees")	(G x .05)	0 S.F.	
K Additional preservation option for mitigation of significant tree removal (only if removing significant trees - see pg 3)	(H)	0 S.F.	
L Total preservation requirement	((H or I)+J+K)	287 S.F.	0.006
M Area of existing canopy preserved	→	0 S.F.	
N Total preservation credit toward planting	(M+L)	0 S.F.	



01 TREE PROTECTION FENCE A
NOT TO SCALE

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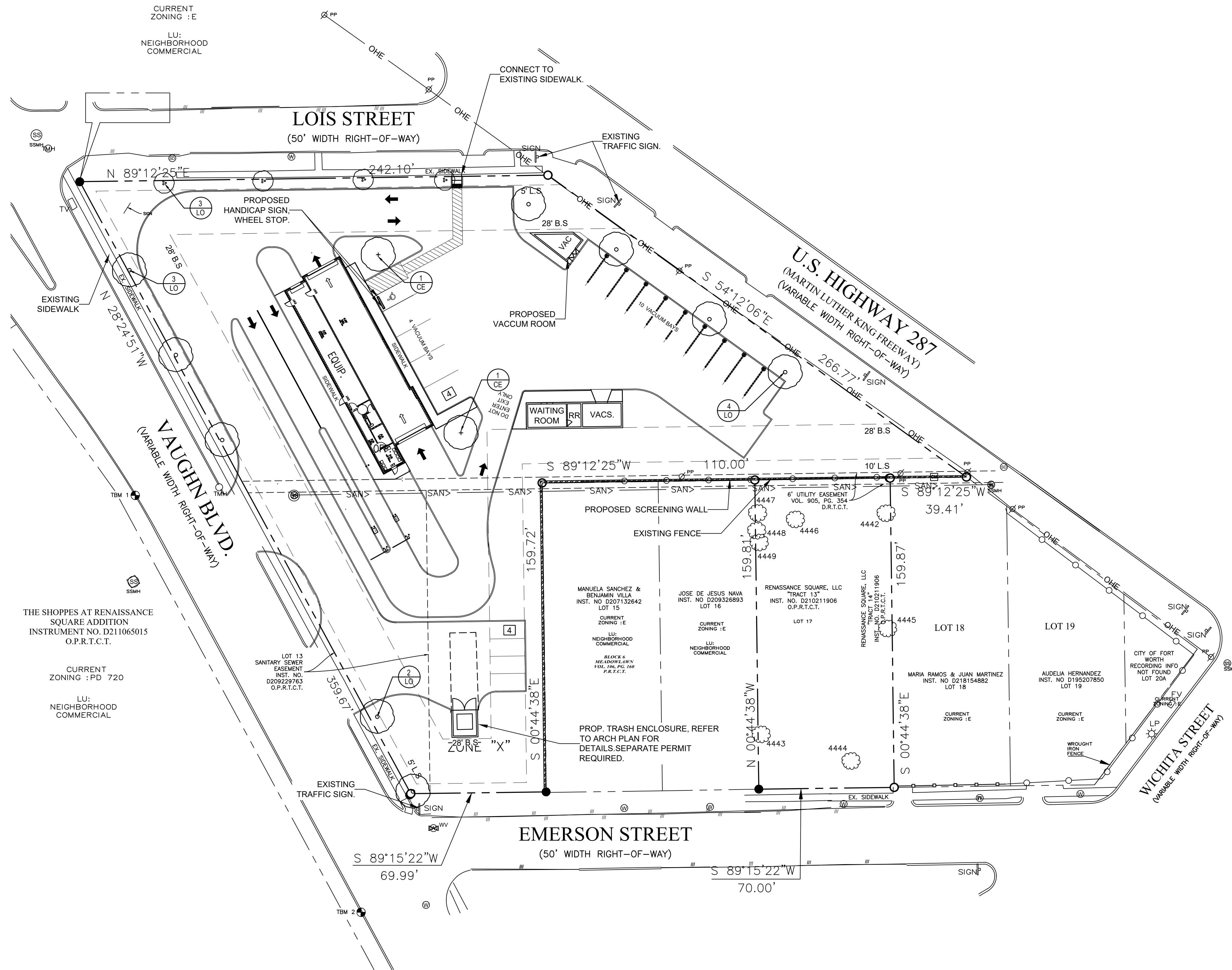
ISSUE:
FOR APPROVAL 06.07.2024

DATE:
06.07.2024

SHEET NAME:
URBAN FORESTRY PHASE 1

SHEET NUMBER:

UF-1



EXISTING TREE NOTES

- Existing trees to remain shall be protected during construction from tree structure damage and compaction of soil under and around dripline (canopy) of tree.
- If any root structure is damaged during excavation/construction, notify the Architect immediately. It is recommended that a licensed Arborist be secured for the treatment of any possible tree wounds.
- No disturbance of the soil greater than 4" shall be located closer to the tree trunk than 1/2 the distance of the drip line to the tree trunk. A minimum of 75% of the drip line and root zone shall be preserved at natural grade.
- Any fine grading done within the critical root zones of the protected trees must be done with light machinery such as a bobcat or light tractor. No earth moving equipment with tracks is allowed within the critical root zone of the trees.
- Material Storage: No materials intended for use in construction or waste materials accumulated due to excavation or demolition shall be placed within the limits of the dripline of any tree.
- Equipment Cleaning/Liquid Disposal: No equipment may be cleaned, toxic solutions, or other liquid chemicals shall be deposited within the limits of the dripline of a tree. This would include but not be limited to paint, oil, solvents, asphalt, concrete, mortar, primers, etc.
- Tree Attachments: No signs, wires or other attachments, other than those of a protective nature shall be attached to any tree.
- Vehicular Traffic: No vehicular and construction equipment traffic or parking is allowed within the limits of the dripline of trees.
- Boring of Utilities: May be permitted under protected trees in certain circumstances. The minimum length of the bore shall be the width of the tree's canopy and shall be a minimum depth of forty-eight (48) inches.
- Trenching: Any irrigation trenching which must be done within the critical root zone of a tree shall be dug by hand and enter the area in a radial manner.
- Tree Flagging: All trees to be removed from the site shall be flagged by the Contractor with bright red vinyl tape (3" width) wrapped around the main trunk at a height of four (4) feet above grade. Flagging shall be approved by Landscape Architect prior to any tree removal. Contractor shall contact Landscape Architect with 72 hour notice to schedule on-site meeting.
- Protective Fencing: All trees to remain, as noted on drawings, shall have protective fencing located at the tree's dripline. The protective fencing may be comprised of snow fencing, orange vinyl construction fencing, chain link fence or other similar fencing with a four (4) foot approximate height. The protective fencing will be located as indicated on the Tree Protection Detail(s).
- Bark Protection: In situations where a tree remains in the immediate area of intended construction, the tree shall be protected by enclosing the entire circumference of the tree's trunk with lumber encircled with wire or other means that does not damage the tree. Refer to Tree Protection Detail(s).
- Construction Pruning: In a case where a low hanging limb is broken during the course of construction, the Contractor shall notify the Landscape Architect immediately. In no instance shall the Contractor prune any portion of the damaged tree without the prior approval by the Landscape Architect.

URBAN FORESTRY CALCULATIONS

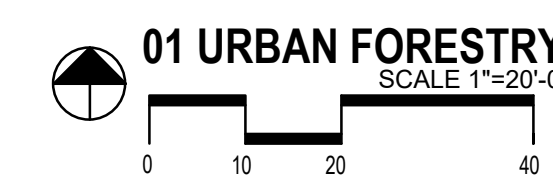
Use the following tables: **** If Significant Trees on site, complete chart on page 3 first.

Calculation	Square Feet	Acres
Net Urban Forestry Area (phase 1 and 2)		
A Gross area of property (or artificial lot)	66,773 S.F.	1.54
B Regulated utility easements and other deductible areas	0 S.F.	
C Net Urban Forestry Area	66,773 S.F.	1.54
Required Tree Canopy Area (phase 2)		
Minimum Canopy Coverage Requirement:		
Commercial/Institutional/Public Project (30%)	C x %	20,032 S.F. 0.46
Industrial (20%) Agricultural (0%) Urban Ag (30%)		
Residential (40%) New Subdivision Option (25%) Multifamily (50% of open space requirement)		
Mixed Use/Urban Residential Zoned site (5%)		
E Additional 5% if using preservation method B ("protected trees")	(C x .05)	0 S.F.
F Total required canopy coverage for site (including mitigation)	(D+E+ff+gg)	20,032 S.F. 0.46
New Tree Planting (phase 2)		
O Required new planting coverage	(F - M - dd)	20,032 S.F. 0.46
P 11 large canopy trees @ 2000 sq ft per tree (Qty x 2000)		22,000 S.F. 0.51
Q 0 medium canopy trees @ 700 sq ft per tree (Qty x 700)		0 S.F.
R 4 small canopy trees @ 100 sq ft per tree (Qty x 100)		400 S.F. 0.01
S Total Planting	(P+Q+R)	22,400 S.F. 0.52
Parking Areas: 1 or 2 family residential are exempt (phase 2)		
T Area of parking	→	7,026 S.F. 0.46
U Required canopy coverage of parking areas (40%)	(T x .40)	2,811 S.F. 0.18
V Area of canopy coverage being provided for parking	→	4,000 S.F. 0.23
W Excess/deficient parking canopy	(V-U)	1,189 S.F. 0.03
Fulfillment of Requirements (phase 2)		
X Total required canopy coverage for site	(F)	20,032 S.F. 0.46
Y Provided canopy coverage	(M+S+dd)	22,400 S.F. 0.52
Z Excess/deficient overall canopy	(Y-X)	2,368 S.F. 0.06

PLANT MATERIAL SCHEDULE

TREES	TYPE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
	LO	9	Live Oak	<i>Lagerstroemia indica</i>	3" cal.	container, 12' ht., 5' spread 5' clear trunk
	CE	2	Cedar Elm	<i>Ulmus crassifolia</i>	3" cal.	container, 12' ht., 5' spread 5' clear trunk
	CM	4	Crape Myrtle	<i>Lagerstroemia indica</i>	2" cal.	container, 8' ht., tree form

NOTE: Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. All plant material shall meet or exceed remarks as indicated. All trees to have straight trunks and be matching within varieties.



LANDSCAPE ARCHITECT
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06.07.2024

CAR WASH

US HWY 287 / LOIS ST.
FORT WORTH, TEXAS

ISSUE:
FOR APPROVAL 06.07.2024

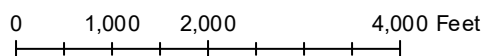
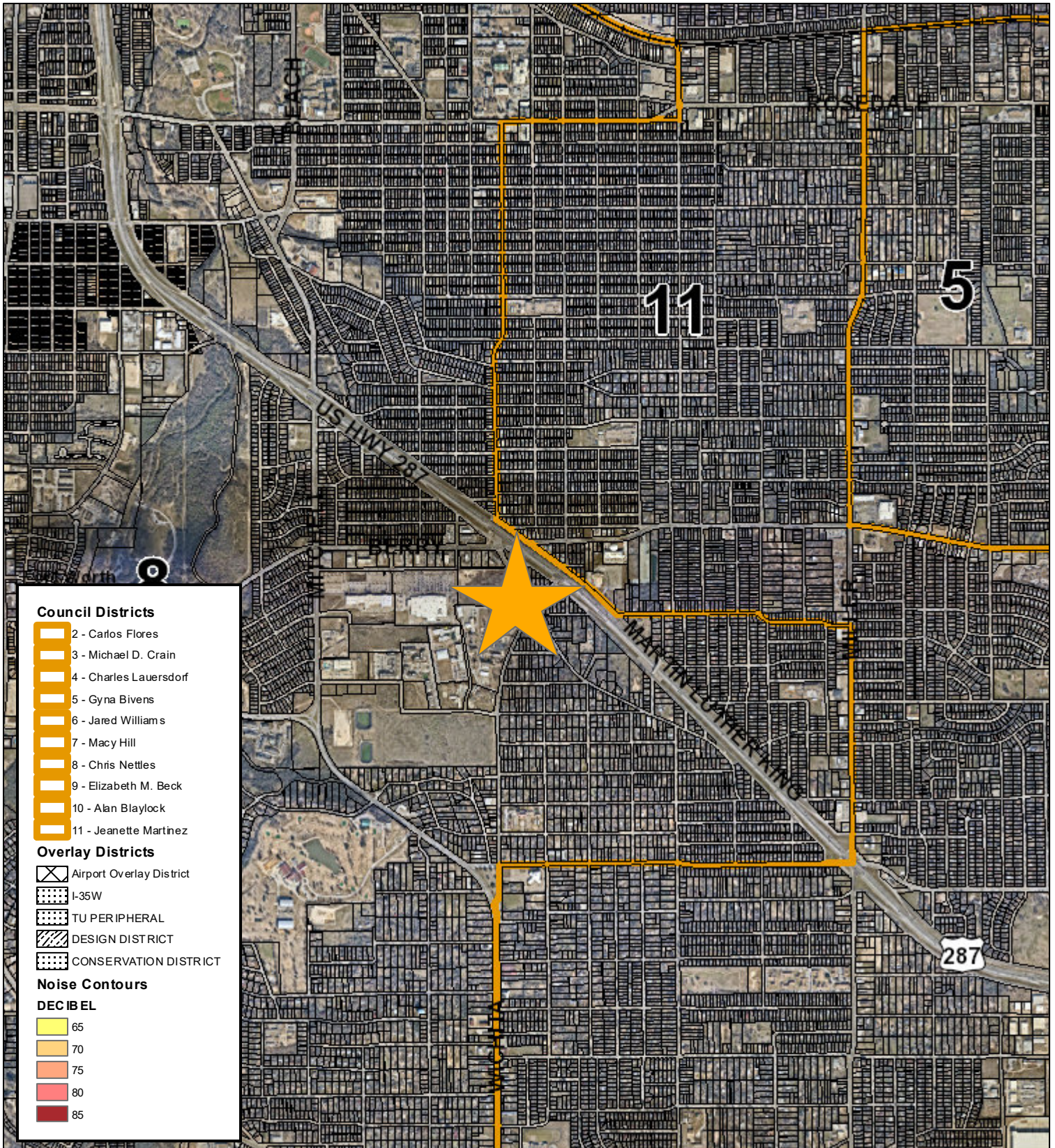
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06.07.2024

SHEET NAME:
URBAN FORESTRY PHASE 2

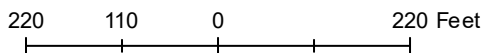
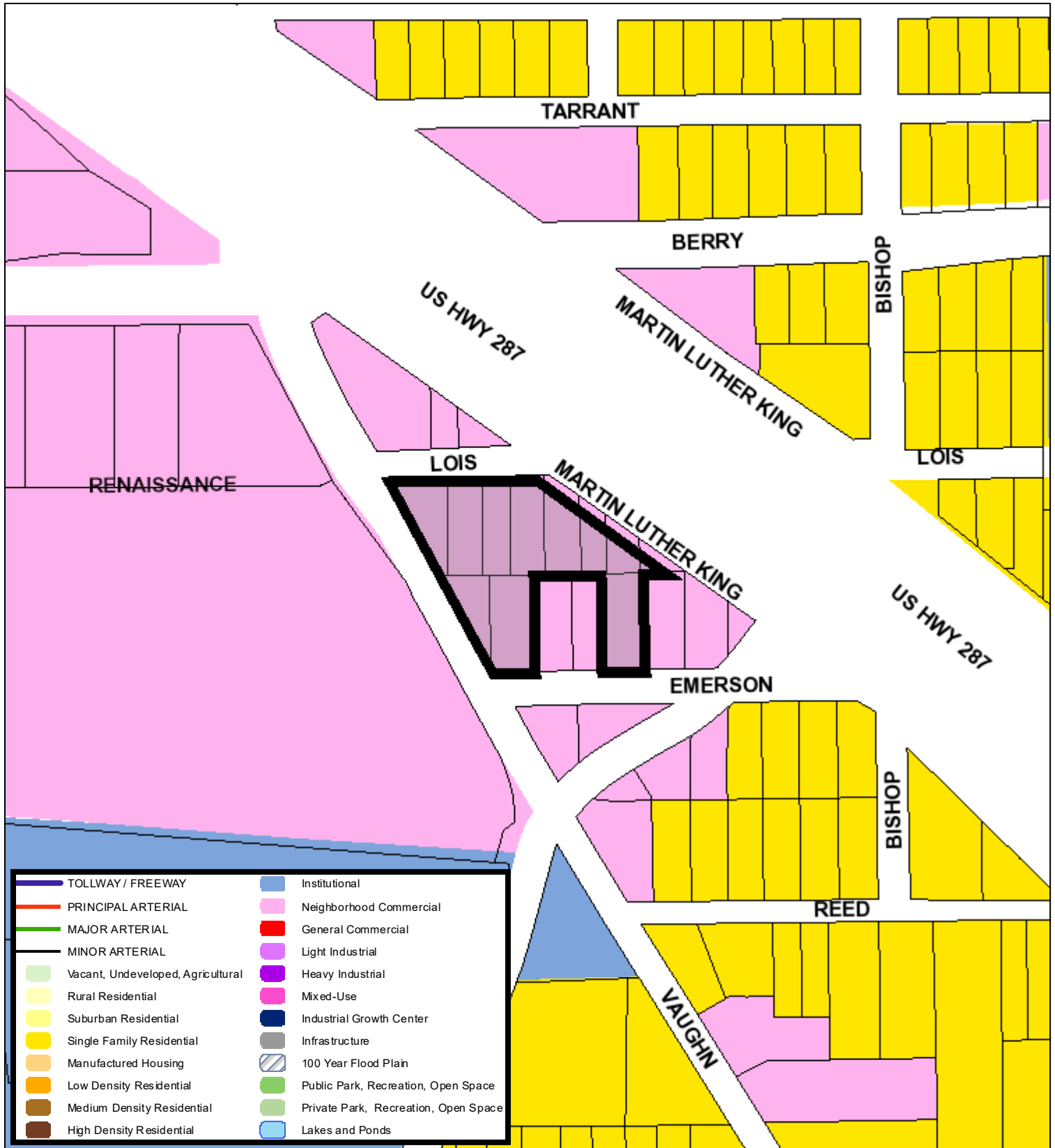
SHEET NUMBER:

UF-2

Area Map



Future Land Use



A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



Aerial Photo Map



0 140 280 560 Feet



**STAFF REPORT
ZONING COMMISSION
CITY OF FORT WORTH, TEXAS**

DATES: June 13, 2024

COUNCIL DISTRICT: 2

GENERAL INFORMATION

REQUEST	Recommendation to Amend the Stockyards Form-Based Code & Design Guidelines
APPLICANT/AGENT	City of Fort Worth (City Council Resolution #5799-09-2023)
LOCATION	Stockyards Historic and Form-Based Code District
ZONING/ USE (S)	SY-ENX-40; SY-TNX-55; SY-TSA-130
NEIGHBORHOOD ASSOCIATION	Stockyards

REQUEST

The City of Fort Worth Development Services Department requests a recommendation to the City Council on proposed amendments to the Stockyards Historic and Form-Based Code & Design Guidelines and a map amendment to the Zoning Ordinance in connection with the proposed expansion of the Stockyards Historic District to include additional properties and increase the maximum allowable building height in certain subdistricts.

BACKGROUND AND TIMELINE

- On **April 5, 2016**, City Council adopted an ordinance establishing the Stockyards Historic District.
- On **May 2, 2017**, City Council adopted an ordinance establishing the Stockyards Form-Based Code District, which included a sub-district designating the Historic and Cultural Landmarks District.
- On **September 12, 2023**, City Council adopted a Resolution to nominate the properties listed above for designation and inclusion in the Stockyards Historic and Cultural Landmarks District and directed the Historic Preservation Officer (HPO) to submit a nomination to the Historic and Cultural Landmarks Commission (HCLC).
- On **September 29, 2023**, Historic Preservation staff mailed notice of designation letters and petitions to the affected property owners which initiated interim controls.
- On **December 22, 2023**, Historic Preservation staff mailed notice of designation letters, petitions and notice of the January 8th HCLC meeting to the affected property owners.
- On **January 8, 2024**, the HCLC voted to approve the selected properties and map of the proposed Stockyards Historic District Expansion.
- On **January 26, 2024**, Historic Preservation staff mailed notice of designation letters,

petitions and notice of the February 12th HCLC meeting to the affected property owners.

- On **February 12, 2024**, the HCLC voted to continue the case.
- On **March 22, 2024**, Historic Preservation staff mailed notice of designation letters, petitions and notice of the April 8th HCLC meeting to the affected property owners.
- On **April 8, 2024** the HCLC voted to recommend approval to City Council to include the proposed properties in the Stockyards Historic and Cultural District.
- On **May 13, 2024**, the HCLC voted to recommend approval to the City Council of the proposed amendments to the Stockyards Historic and Form-Based Code & Design Guidelines and the map amendment to the Zoning Ordinance in connection with the proposed expansion of the Stockyards Historic District to include additional properties.

APPLICABLE CITY OF FORT WORTH ZONING ORDINANCE PROVISIONS

4.401 Historic Preservation Overlay Districts

(c) Identification and Designation of Cultural Resources

3. Eligibility for Designation

2. *District.*

i. An area, which includes two or more properties that possesses a significant concentration, linkage, or continuity of buildings, **sites**, structures, or objects united historically or aesthetically by plan or physical development, may be designated as a HC District if it meets the following qualifications:

- A. Three or more of the criteria for significance; and
- B. The necessary criteria for assessing integrity; and
- C. Where a proposed HC District is composed of a single geographic area of contiguous properties, then at least 51% or more of the historic properties in the district must be contributing; or
- D. Where a proposed HC District is composed of two or more definable significant areas separated by nonsignificant areas, then the historic properties must be spatially discrete.

ii. An existing HC District may be amended or otherwise altered to include additional properties or settings provided that such properties and settings (1) meet the criteria for HC District designation and (2) have a similar historic context and character that reasonably relates to the existing HC District, either by architectural, historical, or cultural motif.

(5) Procedures for designation and designation removal.

a. Step 1: nomination for designation and designation removal.

1. *City council.*

I. The city council may nominate an individual property or HC District for historic designation or designation removal by adopting a resolution to nominate such and directing the HPO to submit the same to the HCLC for consideration. Nominations by the city council will not require the submission of an application for designation; however, the HCLC may not consider a nomination until such time as the HPO acquires the information necessary to report on the eligibility and criteria applicable to the nomination.

II. The nomination of an individual property or HC District for historic designation or designation removal by the city council will be deemed to have been nominated on the effective date of the adopted resolution.

Original Criteria for Historic Significance (2017)

The original Stockyards Historic and Form-Based Code District was designated prior to the update of the Preservation Ordinance in 2018. At the time, the district met 8 out of 10 criteria. Staff have reevaluated the district in relation to the new criteria for significance and found that it meets 7 out of 8 criteria:

- Criterion 1: Distinctive in character, interest or value; strongly exemplifies the cultural, economic, social, ethnic or historical heritage of the City of Fort Worth, State of Texas or the United States
- Criterion 2: Is (or includes) an important example(s) of a particular architectural type or specimen in the City of Fort Worth
- Criterion 3: Has been identified as the work(s) of an important architect(s) or master builder(s) whose individual work has contributed to the development of the City of Fort Worth
- Criterion 4: Embodies elements of architectural design, detail, materials, or craftsmanship, which represent a significant architectural innovation
- Criterion 5: Bears an important and significant relationship to other distinctive structures, sites, or areas, either as an important collection of properties or architectural style or craftsmanship with few intrusions, or by contributing to the overall character of the area according to the plan based on architectural, historic or cultural motif
- Criterion 8: Is identified with a person or persons who significantly contributed to the culture and development of the City of Fort Worth, State of Texas or the United States
- Criterion 9: Represents a resource, whether natural or man-made, which greatly contributes to the character or image of a defined neighborhood or community area
- Criterion 10: Is designated as a Recorded Texas Landmark or State Archeological Landmark, or is included on the National Register of Historic Places

EVALUATION OF SIGNIFICANCE

History of the Stockyards Area

The origins of Fort Worth's Stockyards dates back to 1887, when the plans for the Stockyards were first created. Operations began in 1889. In 1901, the City of Fort Worth offered \$100,000 bonus to any meat packing businesses that would set up their operations in the area, as a way to encourage

growth and business. Two firms answered the call, Swift & Co. and Armour and Co., of Chicago. Thousands of jobs were created in the Stockyards as a result. The Stockyards area continued to develop in the following years and greatly contributed to the growth and development of the Near North Side commercial and residential areas. The area began to experience decline in 1962 when the Armour & Co. plant closed.

Significance of the Stockyards Area

The Stockyards provided the major impetus for the growth and early development of Fort Worth. It is one of the most significant sites in Texas, representing the importance of the cattle and livestock industry to the state. In addition, the creation of Fort Worth's Stockyards coincides with the beginnings of the cattle and livestock industries in the southwestern United States, making it a unique and important national destination. On June 29, 1976, the Stockyards was listed on the National Register of Historic Places.

The majority of structures, circulation patterns, landscape and site features, cultural resources, and the setting of the historic context within the Stockyards area were defined and constructed in the early 1900s to 1920s. There are also several examples of architecture and other cultural resources constructed in the 1930s, and a few from the 1940s through early 1960s.

The Period of Significance for the Stockyards Historic District is 1890 to 1962. However, the oldest remaining structures appear to be from 1902.

EVALUATION OF INTEGRITY

Integrity is the ability of a property to convey its significance. The designation of a property must not only be shown to have significance under Zoning Ordinance, but it also must have integrity. Within the concept of integrity for example, the National Park Service criteria recognizes seven aspects that define integrity.

Seven Aspects of Integrity

- 1. Location.**
- 2. Design.**
- 3. Setting.**
- 4. Materials.**
- 5. Workmanship**
- 6. Feeling.**
- 7. Association.**

For a district to retain integrity as a whole, the majority of the components that make up the district's historic character must possess integrity even if they are individually undistinguished. When evaluating the impact of intrusions upon the district's integrity, take into consideration the relative number, size, scale, design, and location of the components that do not contribute to the significance (National Register Bulletin, 1995).

The proposed properties for inclusion are composed of 1950s structures as well as vacant lots and brick streets. The Stockyards contains several non-built character-defining features that include circulation patterns for pedestrians, automobiles and livestock as well as view corridors. A critical aspect of the Stockyards was the need for orderly circulation throughout the district for pedestrians, animals and vehicles (including truck and train traffic). This consisted of a network of streets, sidewalks, walkways and ramps as well as rail lines.

Streets in the commercial areas to the west of the Stockyards, were laid out in an orderly grid pattern that accommodated vehicular movement. Exchange Avenue and Packers Street

are historic alignments that survive and reflect this circulation system. On West Exchange, the properties lined by sidewalks continue the historic auto and pedestrian circulation and view to the historic core. The circa 1945 gas station that has been converted to a tattoo parlor is a remnant of the truck and auto circulation patterns. While the built structures proposed for inclusion on W Exchange retain little physical integrity, their shape, location and form contribute to the context and cultural significance of the historic Stockyards by reinforcing important components of the district's setting such as view corridors and circulation patterns.

On E Exchange, the proposed properties for inclusion are some of the most street-adjacent portions of the Swift/Armour sites. The easternmost portion of E Exchange is an important part of the historic view corridor down Exchange Avenue from the rail lines which were directly accessed by the Swift and Armour Companies for the meatpacking industry. The inclusion of these properties also provides an opportunity to recognize the historic open space between the administration buildings. Brick paving features extant in this area are indicative of paving patterns in the Stockyards which were laid to provide better traction for the livestock.

Overall the inclusion of the properties add to the integrity of the district by providing additional context and resources. The inclusion of these properties will further effectuate the protections necessary for the long-term preservation of the Stockyards.

Stockyards Form-Based Code and Design Guidelines

Sec . 2.4.4. STANDARDS AND GUIDELINES FOR NON-CONTRIBUTING BUILDINGS AND NEW CONSTRUCTION

It is important that any new construction or the alteration of non-contributing properties contribute to a consistent sense of character and respect the historic context, while also conveying the evolution of the historic district. It is not the intent that new buildings imitate older styles, but that they draw upon basic elements seen historically while doing so in ways that express their own time.

Compatibility with the historic context is a key principle for the design of new construction or to the alterations of non-contributing properties. This typically focuses on buildings on the same block, on both sides of the street, and also across an alley. In some cases, a structure that is not historic may also be found in the immediate vicinity, but this does not influence considerations of compatibility.

B. Building Form

Historically most buildings in the Historic District had simple rectangular forms, which typically expressed the width of the underlying lots. Larger buildings were composed of a set of these simple forms (such as the White Elephant Saloon). This tradition should be continued.

D. Building Massing

While building forms were simple, some variation in massing existed, usually by a change in parapet height, and expression of vertical elements and other articulation methods. This variation in massing helped to establish a sense of a lower scale in this area and should be continued.

Generally, in HCO-55, a central mass may have been framed by subordinate building "modules." This variation in massing is still apparent on the Armour Laboratory building. **This helped to establish a sense of a lower scale in this area.** This tradition should be continued.

FINDINGS / RECOMMENDATIONS

Eligibility for Designation (Current Criteria for Designation)

The proposed district meets the following City of Fort Worth criteria for historic designation:

Criterion 1: Is distinctive in character, interest or value, and exemplifies the cultural, economic, social, ethnic or historical heritage of the City of Fort Worth, State of Texas or the United States.

Criterion 2: Is an important example of a particular architectural type or specimen or embodies elements of architectural design, detail, material, or craftsmanship that represent a significant architectural innovation in Fort Worth.

Criterion 3: Has been identified as the work of an important architect or master builder whose individual work has contributed to the development of Fort Worth.

Criterion 4: Has been identified with a person or persons who significantly contributed to the culture and development of the City of Fort Worth, State of Texas, or the United States.

Criterion 5: Bears a significant relationship to other distinctive buildings, structures, sites, objects, or areas, either as an important collection of properties of architectural style or craftsmanship with few intrusions, or by contributing to the overall character of the area according to a plan based on architectural, historic, or cultural motif.

Criterion 7: Is the site of a significant historic event.

Criterion 8: Is designated as a Recorded Texas Historic Landmark, State Archeological Landmark, or an American Civil Engineering Landmark or is listed on the National Register of Historic Places.

The historical context found within a district can be defined by the political, social, cultural, and economic setting for a particular development, industry, idea or event. In order to better understand the significance of a site within the history of a district, we must look at its context-- those things which surround it in time and place and which give it its meaning.

More specifically for the purposes of this request, the National Register of Historic Places defines a historic context as:

“An organizing structure for interpreting history that groups information about historic properties which share a common theme, common geographical location, and common time period. The development of historic contexts is a foundation for decisions about planning, identification, evaluation, registration, and treatment of historic properties, based on comparative significance.”

A historic context tells the stories that explain the how, when, and why of how the built environment developed or looks the way it does. There are many elements within a historic context that contribute to the sense of place, including but not limited to structures, sites, landscapes, views, circulation patterns, smells, sounds, and more.

The Stockyards district today still retains many of its character-defining features, such as the

circulation patterns used to move livestock to the packing plants and a vibrant collection of early 20th-century commercial buildings that were erected to support the meatpacking plants. The high degree of integrity within the local Historic District is significant because it represents a remnant of an extinct industrial American form.

A review of historical data and photographs informs one's understanding of the way in which the district retains its early character and also the degree to which the district exhibits change during its period of historic significance. This change demonstrates that the district was not "frozen" in time, but shows a history of gradual development, modification and restoration. This evolution is a key characteristic of the district.

Eastern Expansion

The eastern expansion of E Exchange Ave contains some of the most street-facing sections of the historic Armour and Swift Co sites. The inclusion of these sections is key to maintaining the historic context of the Stockyards in regards to the brick pavement, historic view corridor, the connection from the railways through the Swift/Armour sites to the greater Stockyards, and the historic open plaza space that was between the Armour and Swift administration buildings. Pedestrian access, the view from E Exchange down the Swift and Armour steps and respective sites, and the brick pavement that was laid for better traction of the livestock, are all important character defining features of the area. The inclusion of the properties will provide a more complete context for the extant buildings adjacent to the properties including the Swift Co administration building, and the only extant Armour Co building, as well as site features such as the staircase that leads down into the Stockyards Station.

Western Expansion

The Western expansion contains a circa 1945 gas station that has since been converted into a tattoo parlor and a church that was constructed circa 1950. Other properties include vacant lots on either side of Exchange with sidewalks that continue the historic pedestrian circulation patterns and views into the historic core, and the auto-oriented circulation patterns that were established by the commercial activity in the area. The inclusion of these properties will extend the Stockyards historic context to its natural ending point at the edge of W Exchange and Clinton, and provide additional context for the contributing structure located at the NW corner of Houston and Exchange Avenue. The features like sidewalks, and the scale and orientation to the street of the buildings adds to the historic context of the Stockyards historic district.

Given the importance and significance of the sites within the proposed district expansion, the request meets the requisite significance criterion because the request meets the criteria for HC District designation and the properties have a similar historic context and character that reasonably relates to the existing HC District, by historical and cultural motif.

Integrity

Based on the evidence still extant in the district, the existing and proposed properties within the amended boundaries sufficiently retain all aspects of integrity (location, design, setting, materials, workmanship, feeling and association).

Summary

Staff have found evidence that the district with amended boundaries meets 7 of the 8 Criteria for Designation and retain the Seven Aspects of Integrity. This is consistent with the requirements of the ordinance for Historic & Cultural Landmark properties.

Proposed Height Increase

During the May HCLC meeting, Staff received a request from property owners within the expansion boundaries on W. Exchange Avenue to increase the maximum heights for the properties currently from 40' to 55' to match the other included properties of the Western section of the proposed expansion of the historic district.

Context

The historic properties located in the Stockyards District closest to the proposed expansion area on the corner of W Exchange and Houston include 300 W Exchange Avenue, 221 W Exchange Avenue and 222 W Exchange Avenue.

300 W Exchange Avenue and 222 W Exchange Avenue are both two-story brick structures that are approximately 30' tall to the parapet. The three-story brick structure at 221 W Exchange Avenue is approximately 38' to the parapet. The historic ceiling heights are likely between 10' and 12' feet with the first floor typically being taller than the upper floors.

When one is considering an appropriate maximum height for properties, it is important to consider the historic and current contexts within the setting along the street. Although most of the sites are vacant today, traditionally the lots on W. Exchange Avenue have had buildings with larger masses but lower heights than the existing contributing structures at the intersection of W. Exchange Ave. and N. Houston Street. Currently, the vacant lots directly adjacent to the historic structures have a 55' maximum height. Given the new construction requirement of 14' ceiling heights and the Form-Based Code requirements to reflect traditional massing patterns, the maximum height increase on the edge lots would have little effect on the historic context. Retaining the existing height of 40' would essentially limit any new projects to three (3) stories. The current 40' height limit also reduces the ability to provide a true mixed-use development, which is consistent with traditional building uses on W. Exchange Avenue where the lower floors or historic buildings were used for businesses and the upper floors were often used for boarding or apartments. In this regard, the existing height limit of 40' is inconsistent with the *Secretary of the Interior's* Standard 1, which states that historic properties shall be used for their historic purpose or placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment. Increasing the maximum height to 55' ¹/₄ stories will allow these properties to be used in a manner consistent with traditional uses in the Stockyards.

It is acknowledged that without appropriate design standards, an increase in height can lead to a subsequent increase in scale and mass of structures, particularly if multiple lots are under single ownership. The Stockyards Form-Based Code & Design Guidelines have robust standards for non-contributing buildings and new construction within the historic core of the district (Section 2.4.4). In fact, the standards in Section 2.4.4 are more robust than existing design standards for the Transition and Edge district. New construction **must be compatible** with the historic context and adjacent contributing structures in terms of mass, scale, form, articulation, materials, and other design features. These design standards will ensure that the effect of the proposed increase in height to 55' will be mitigated by the requirements to adjust the mass and scale of any new buildings so that they are consistent with the mass, scale, and design traditional buildings along W. Exchange Avenue.

Lastly, although the neighboring residential properties on Clinton Avenue are not within the bounds of the Stockyards Form-Based Code district, it is important to consider the effect of the proposed height increase on those properties since they are within the historic context and setting along W. Exchange Avenue. The existing structures along Clinton are currently mostly 1-2 story buildings, with the larger buildings being close to 30' in height. These properties are currently zoned Urban Residential, "UR" which allows for up to four stories or 48' in height, which is taller than the existing 40' on the lots within the Code. Other properties that are

included in the Stockyards Historic and Form-Based Code District further south and located next to the residential neighborhood are also zoned with a 55' maximum height. Given the existing context and maximum heights in and around the lots currently zoned SY-ENX-40, the current max height of 40' is inconsistent with the surrounding context and should be reconsidered.

Therefore, staff recommends the following motion:

That the Zoning Commission recommend continuance of the proposed amendments to the Stockyards Historic and Form-Based Code & Design Guidelines and the map amendment to the Zoning Ordinance in connection with the proposed expansion of the Stockyards Historic District to include additional properties, and the proposed increase to the maximum height allowable from 40' to 55'.

SUPPLEMENTAL MATERIALS

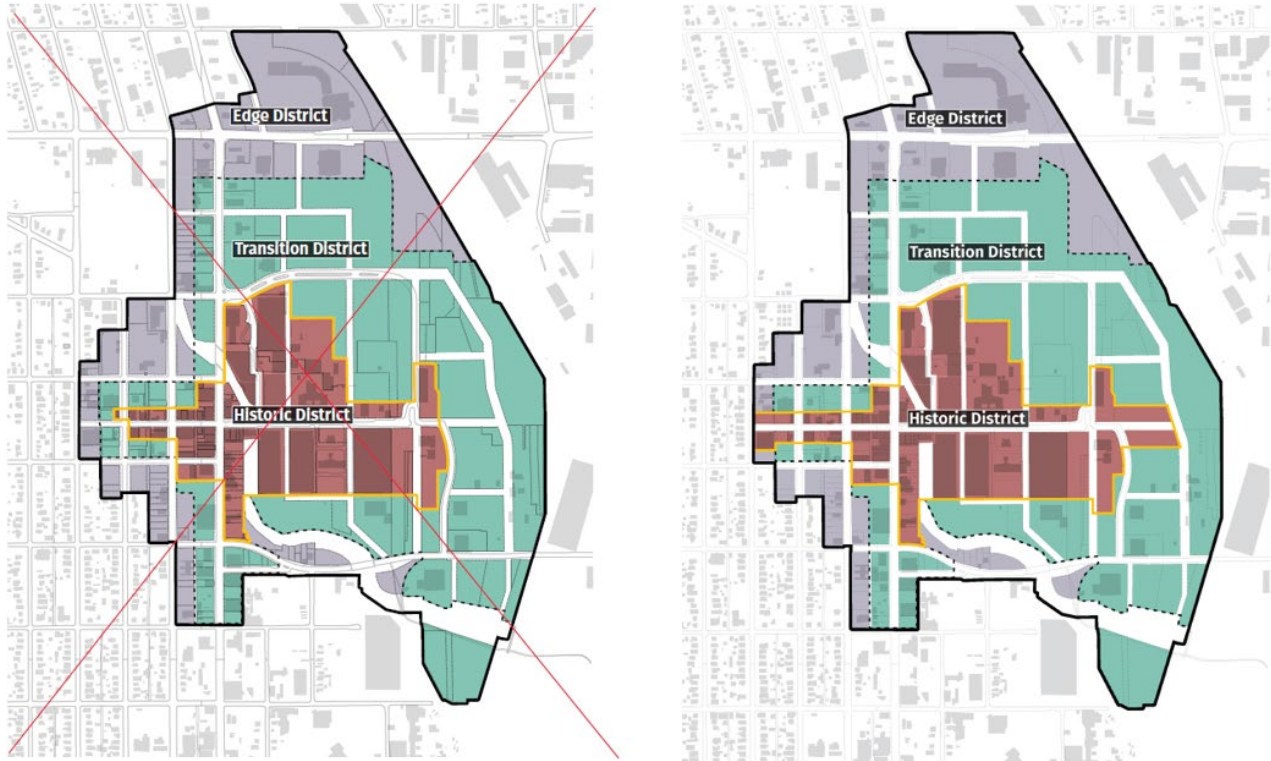
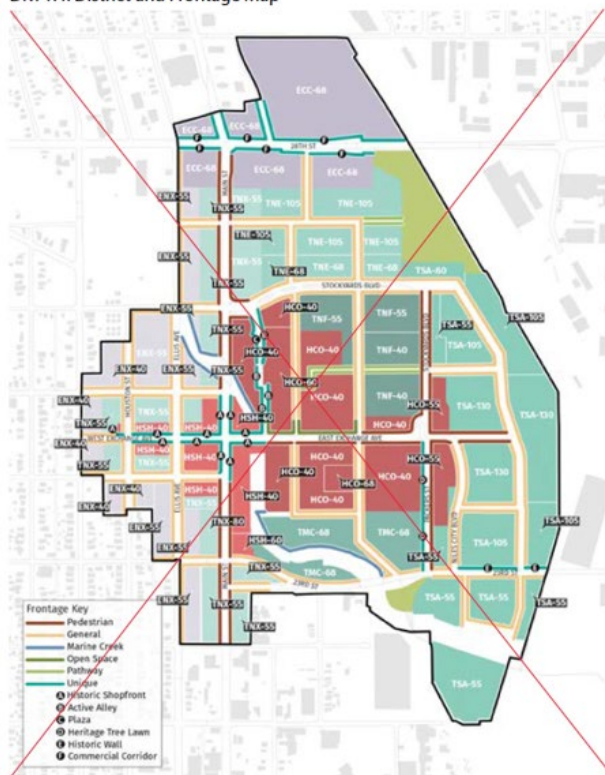


Fig. 1 – Proposed changes to Page 0-4 of the Stockyards Historic and Form-Based Code & Design Guidelines

Div. 1.4. District and Frontage Map



Div. 1.4. District and Frontage Map

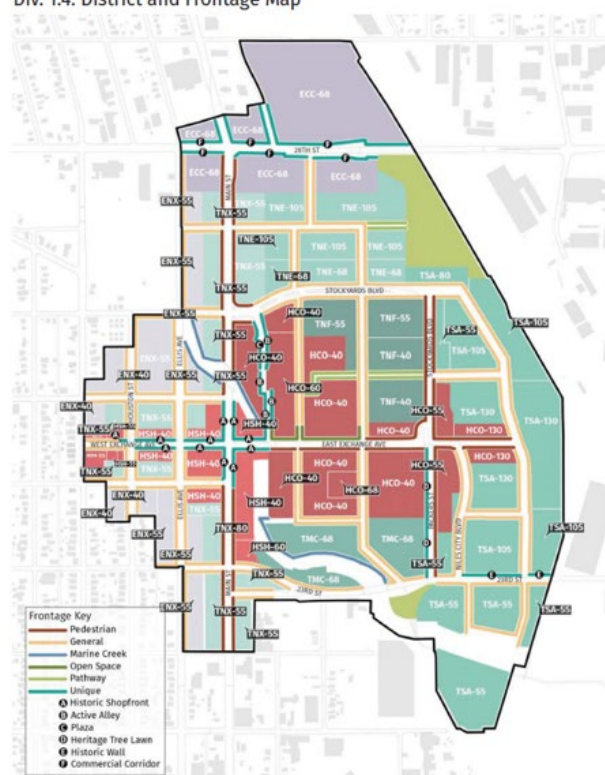


Fig. 2 – Proposed changes to Page 1-4 of the Stockyards Historic and Form-Based Code & Design Guidelines

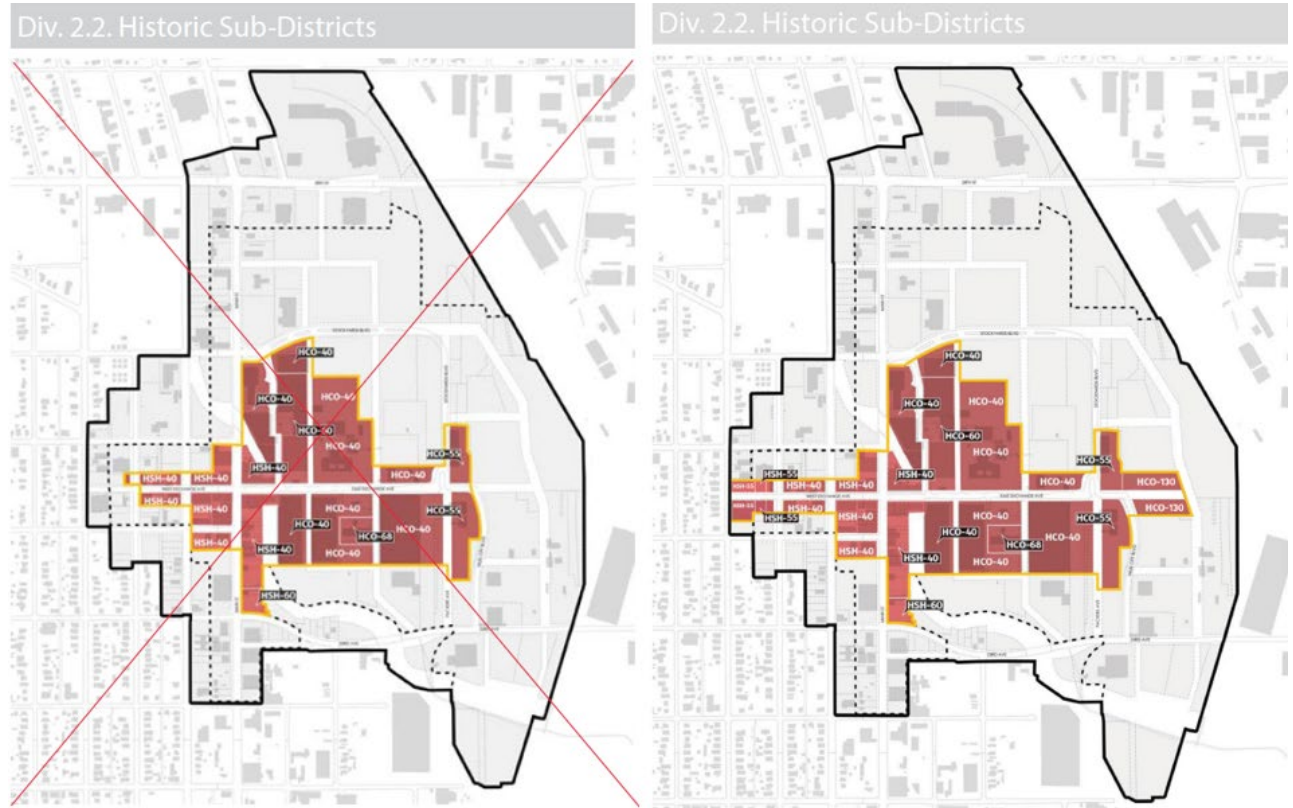


Fig. 3 – Proposed changes to Page 2-2 of the Stockyards Form-Based Code & Design Guidelines

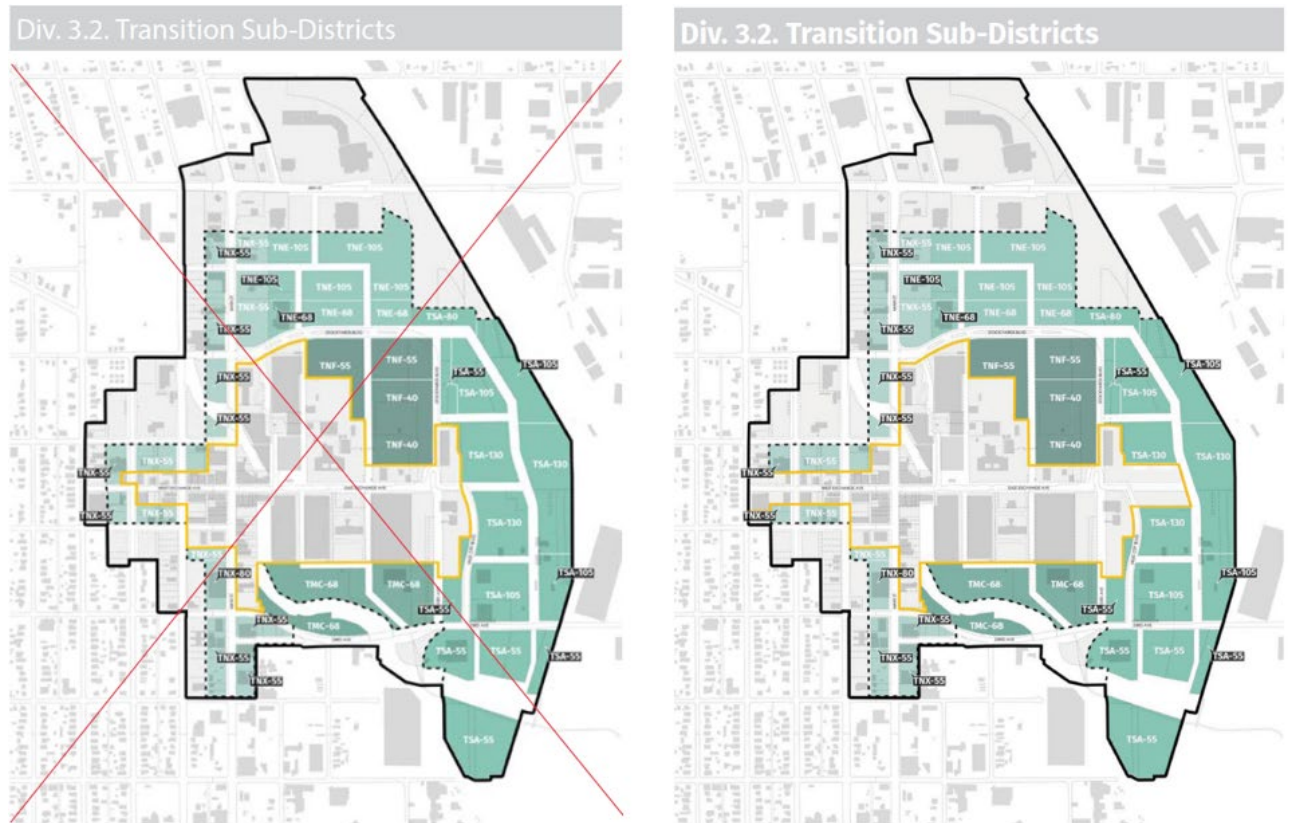


Fig. 4 - Proposed changes to Page 3-2 of the Stockyards Form-Based Code & Design Guidelines

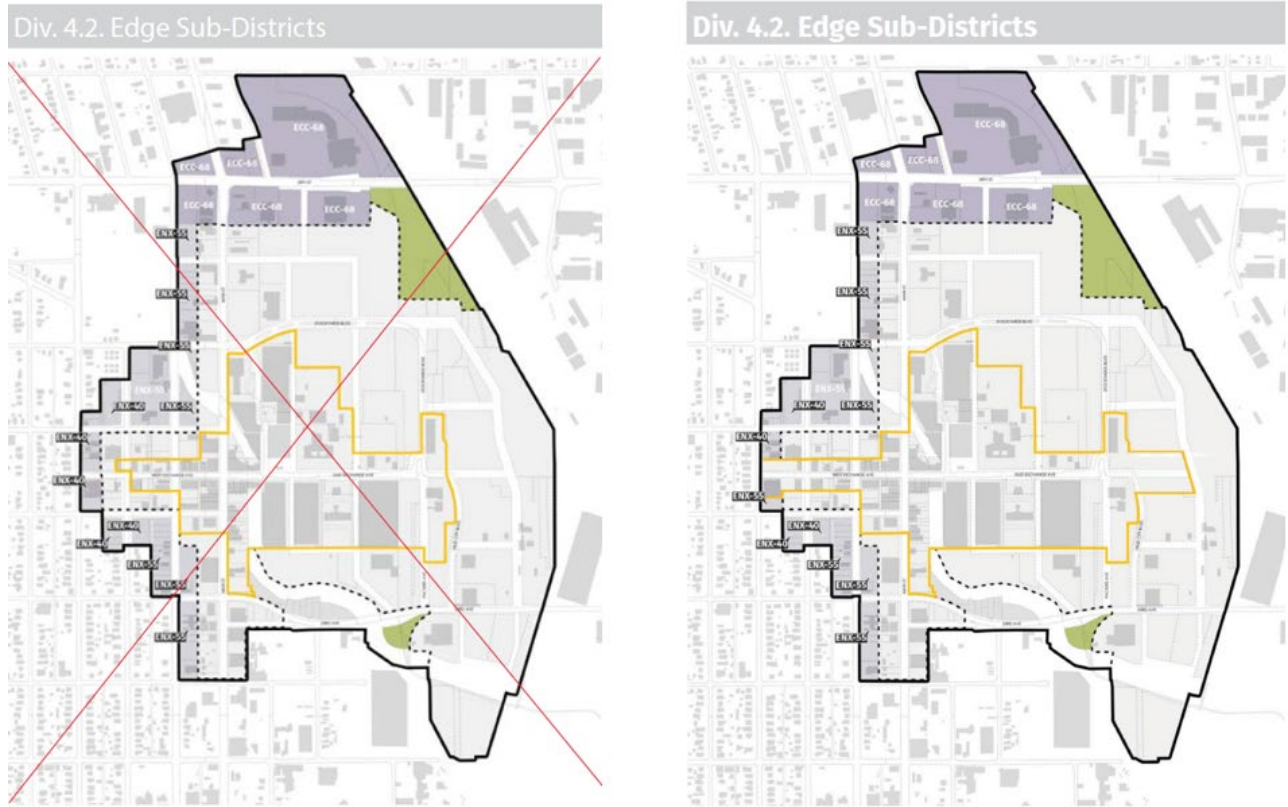


Fig. 5 - Proposed changes to Page 4-2 of the Stockyards Form-Based Code & Design Guidelines

Exhibit B.33 (See Section 4.1309) Stockyards Form-Based Code

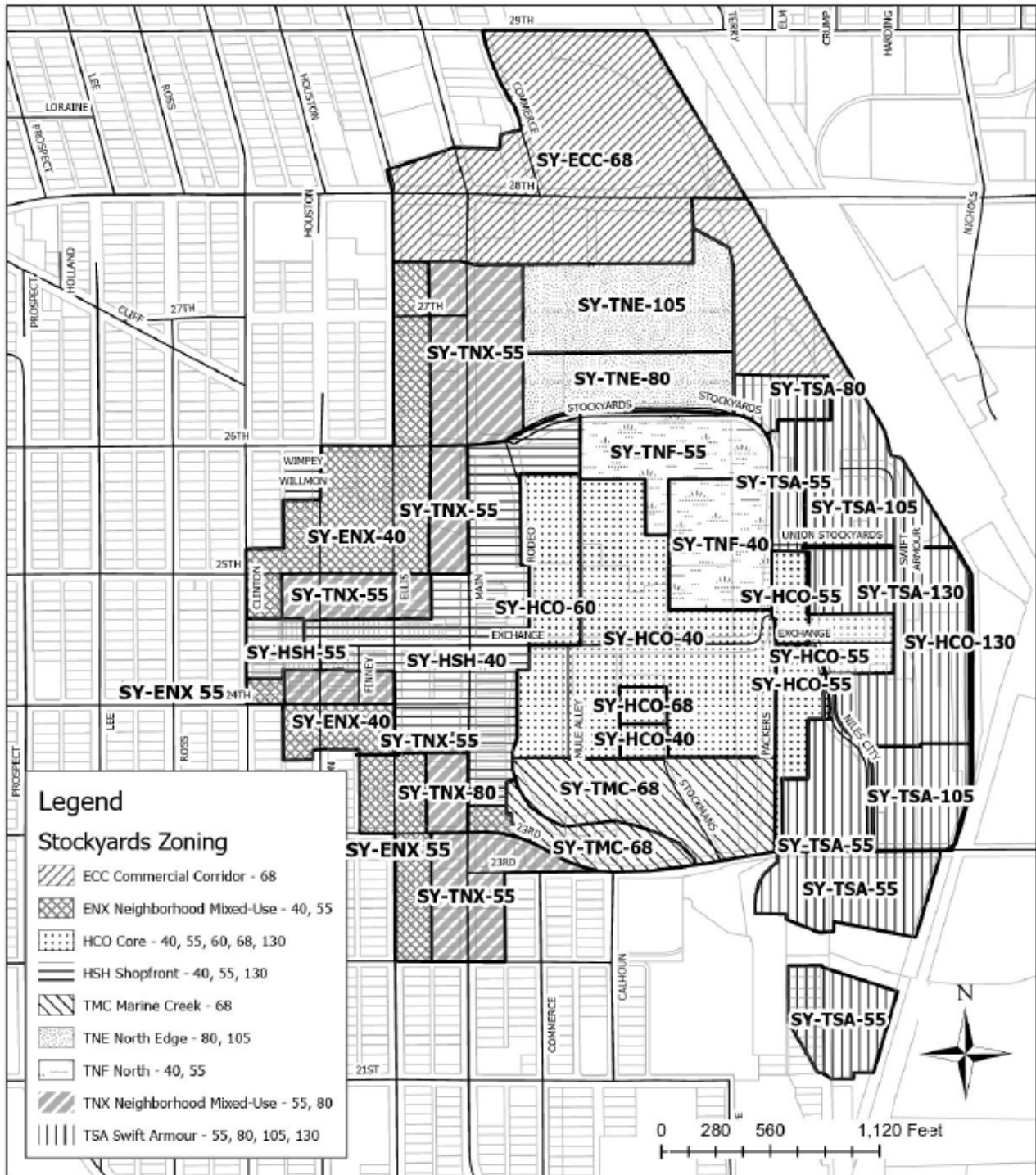
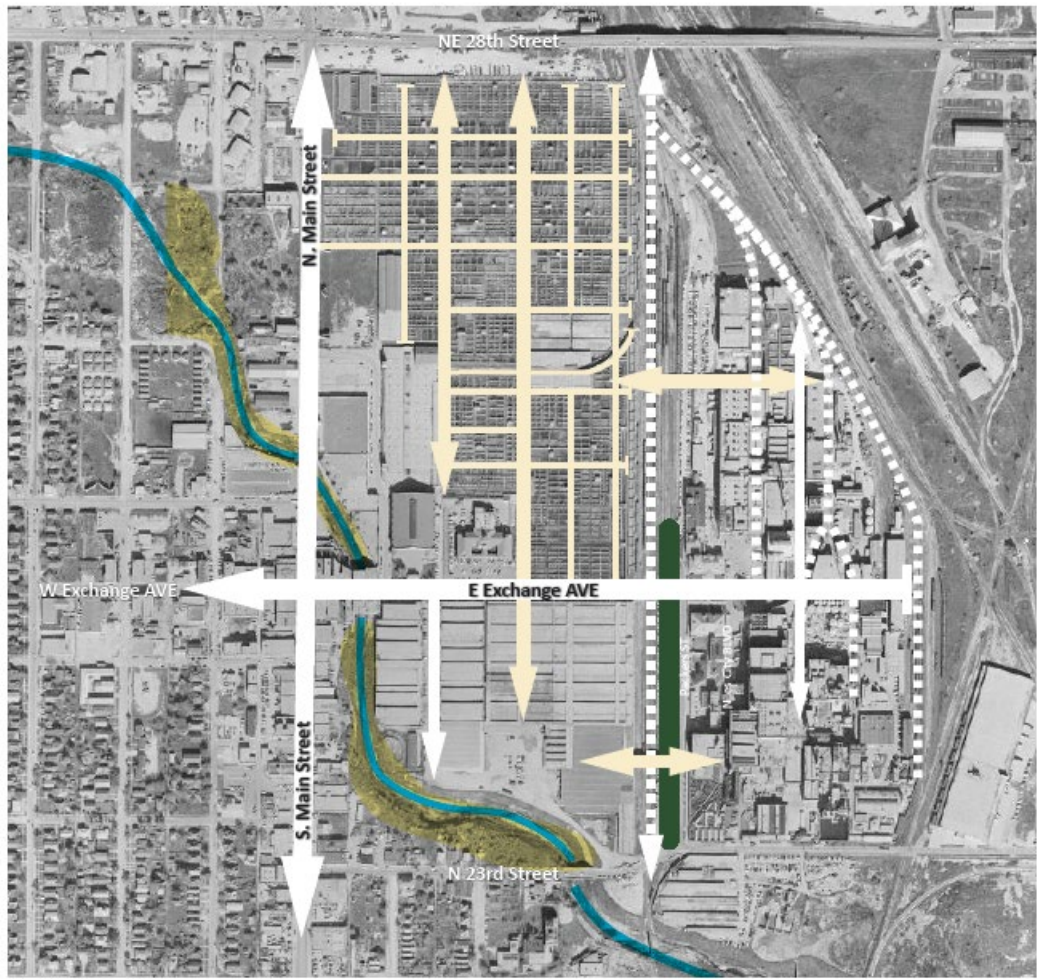


Fig. 6 - Proposed changes to map in Zoning Ordinance with proposed height increases

Circulation and Access Patterns



Aerial photo: 1957

Many key circulation routes existed historically in the Stockyards. These circulation routes should be respected by future development whenever feasible. These circulation corridors are shown in the map above.





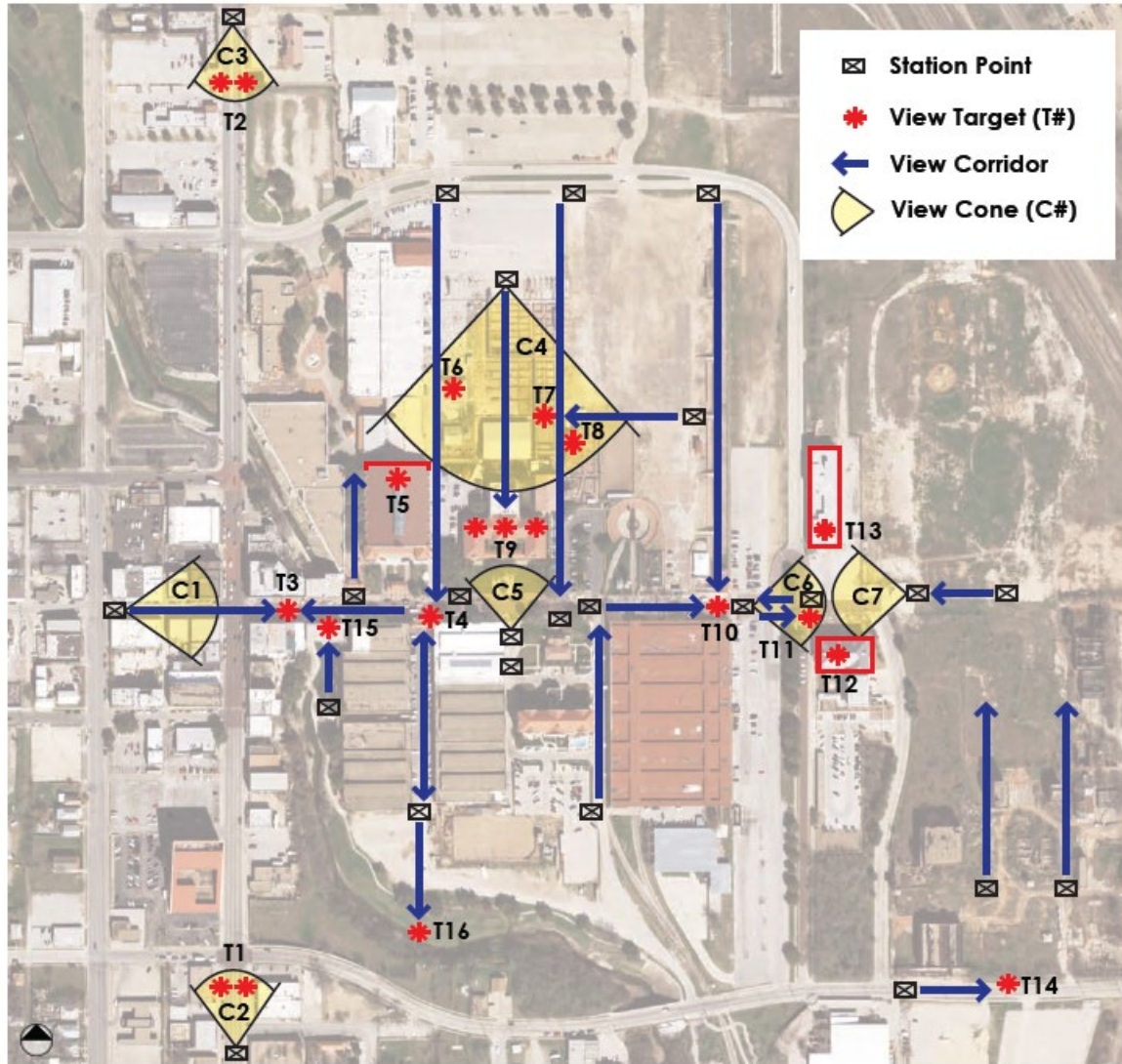
- KEY:
-  Livestock Walkways
 -  Streets
 -  Rail Lines
 -  Heritage Tree Lawn

Fig. 7 – Circulation and Access patterns



View Opportunities Map

Fig. 8 – View Opportunities Map



Fig. 9 - 300 W Exchange, contributing, approximately 30' tall.



Fig. 10 – 221 W Exchange, contributing, approximately 38' tall



Fig 11 – 222 W Exchange, contributing, approximately 30' tall.



Fig. 12 – View looking west from Finney Ave.



Fig. 13 – View looking east on W Exchange to the core.

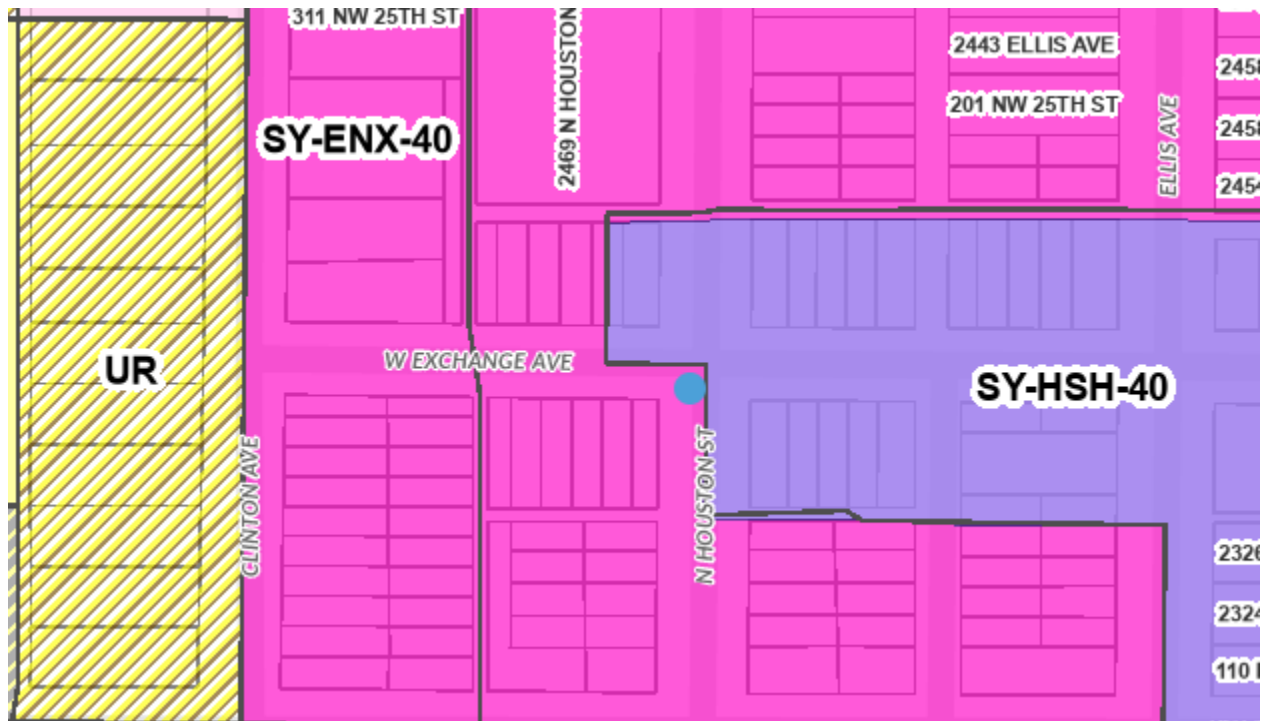
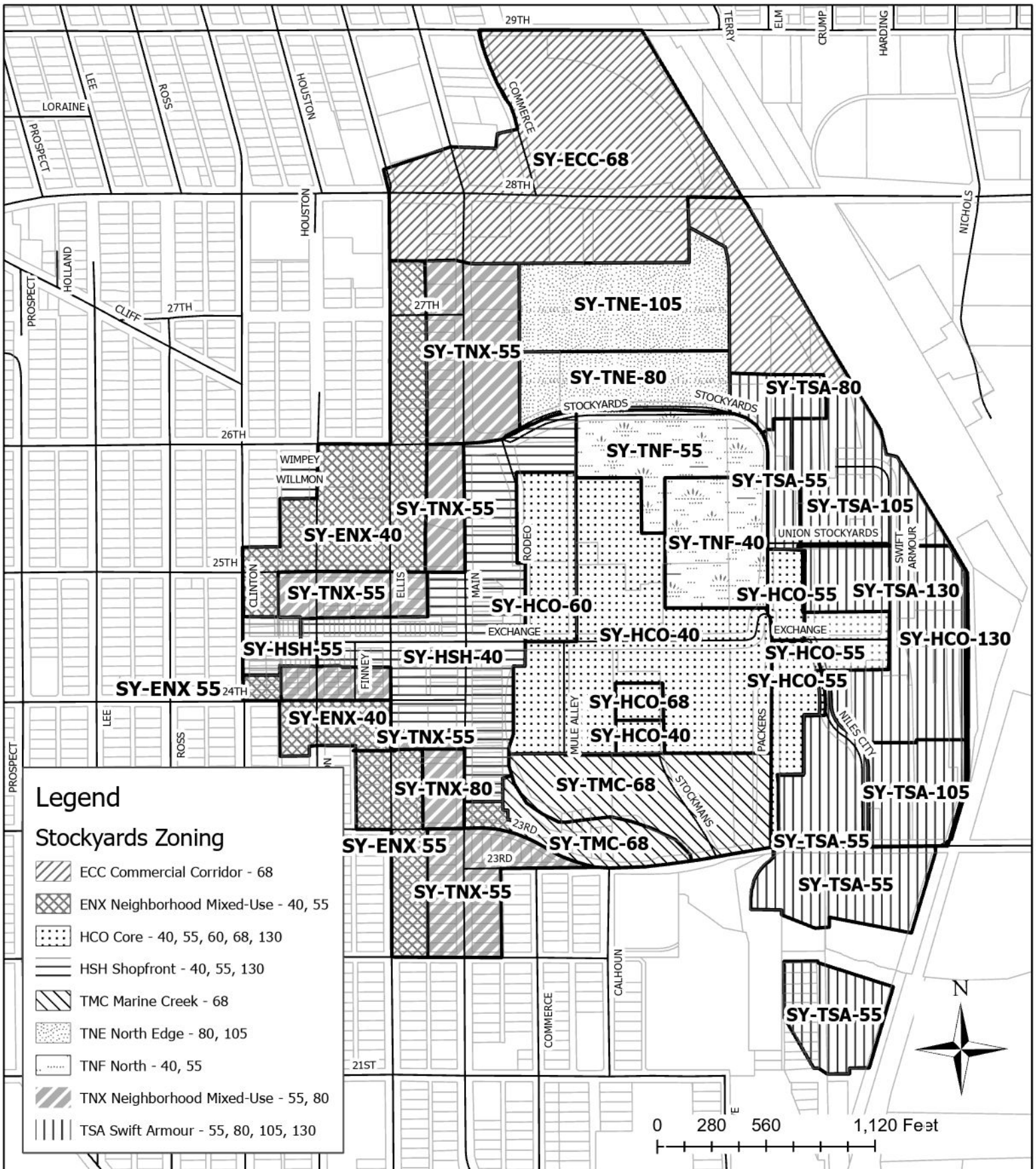


Fig. 14 – Zoning map showing properties directly across W Exchange are marked “UR”, Urban Residential. This allows up to 4 stories.

Exhibit B.33 (See Section 4.1309) Stockyards Form-Based Code



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