



ZONING COMMISSION

AGENDA

Wednesday, July 10, 2024

Work Session 12:00 PM

Public Hearing 1:00 PM

Work Session

In-Person:

City Hall Conference Room 2020
200 Texas Street
2nd Floor-City Hall
Fort Worth, Texas 76102

Public Hearing

In-Person:

City Council Chamber
200 Texas Street
2nd Floor-City Hall
Fort Worth, Texas 76102

Videoconference

<https://fortworthtexas.webex.com/fortworthtexas/j.php?MTID=m762d7cfcf9b0d16ba850e8d40854f430>

Meeting/ Access Code: 2559 767 8807

Registration Link

<https://fortworthtexas.webex.com/weblink/register/r5e16459668c1f81b000f57e391afd15a>

Teleconference

(817) 392-1111 or 1-469-210-7159

Meeting/ Access Code: 2559 767 8807

Viewing Only

Television: Charter 190; One Source 7; Verizon 5; AT&T Uverse 99
City of Fort Worth Website Homepage: [Watch Live Online](#)

For more information on attending or speaking at this meeting either through Videoconference or Teleconference, please visit the City's website:

<https://www.fortworthtexas.gov/government/boards/list-boards-commissions/virtual-meetings>

To view the docket for this meeting visit:

<https://www.fortworthtexas.gov/departments/citysecretary/events/zoning-commission-agenda-2024>

This meeting will be conducted by videoconference or telephone call in accordance with the Texas Open Meetings Act.

Members of the Zoning Commission may be participating remotely in accordance with the Texas Open Meetings Act. The location identified on this agenda is the location at which the presiding officer will be physically present and presiding over the meeting.

****Any member of the public who wishes to address Zoning Commission regarding an item on a listed agenda must sign up to speak before the scheduled meeting. To sign up, please register through WebEx in accordance with the directions on the City's website above. Please use**

the following link to register whether you plan to participate in-person or virtually.
<https://fortworthtexas.webex.com/weblink/register/r5e16459668c1f81b000f57e391afd15a>

You can also sign-up to speak prior to the Public Hearing if attending *in-person*. Staff will be available to assist with sign-up at the desk prior to entering the Council Chambers. For questions or assistance with registration, please contact Alex Johnson at Alexander.Johnson@fortworthtexas.gov or (817)392-6238.

Please note that the City of Fort Worth is using a third party vendor to assist with City meetings. If there are service interruptions, including call in number changes, we will provide alternative call in numbers on our website whenever possible.

COMMISSION MEMBERS:

Rodney Mayo, CD 1	_____	Jeremy Raines, CD 7	_____
Vacant, CD 2	_____	Tiesa Leggett, CD 8	_____
Beth Welch, CD 3	_____	Wes Hoblit, Vice Chair CD 9	_____
Matt McCoy, CD 4	_____	Jacob Wurman, CD 10	_____
Rafael McDonnell, Chair, CD 5	_____	Cathy Romero, CD 11	_____
Broderick Williams, CD 6	_____		

I. WORK SESSION/Lunch 12:00 pm City Council Conference Room 2020

- 1. Overview of Zoning Cases** Staff
- 2. Commercial Corridors Redevelopment Code- Recommended Framework** Jayashree Narayana

II. PUBLIC HEARING 1:00 PM

CASES HEARD AT THIS PUBLIC HEARING ARE TO BE HEARD AT THE CITY COUNCIL MEETING ON TUESDAY, August 13th, 2024 AT 6 P.M. UNLESS OTHERWISE STATED ON THE AGENDA.

CALL TO ORDER

- A. APPROVAL OF MEETING MINUTES of June 12, 2024** _____ **Chair**

B. CONTINUED CASES

- 1. ZC-23-165** **CD 11**

- Site Location: 4900 Carey Street
- Acreage: 4.0
- Applicant/Agent: 4900 Carey LLC / Mike Bell
- Request: To: Add Conditional Use Permit (CUP) to allow parking of semi-trucks and trailers, in "J" Medium Industrial for a maximum of 5 years with no development standard waivers, site plan included

- 2. ZC-24-008** **CD 11**

- Site Location: 5008 Collett Little Rd
- Acreage: 2.41
- Applicant/Agent: Jerimiah Nix/Jervon Harris
- Request: From: "E" Neighborhood Commercial
To: "UR" Urban Residential

This case has been withdrawn by the applicant. No Public Hearing will be held.

3. ZC-24-022

CD 4

- a. Site Location: 5350 Basswood Blvd; 7301 Park Vista Blvd.
- b. Acreage: 3.97
- c. Applicant/Agent: Keller Estates LLC/ Elizabeth Alvarez
- d. Request: From: "CF" Community Facilities
To: "E" Neighborhood Commercial

4. ZC-24-027

CD 6

- a. Site Location: 10200 Old Cleburne Crowley Road, 10500 W. Cleburne Road & 10375 Old Granbury Road
- b. Acreage: 424.31
- c. Applicant/Agent: Walton Texas LP/Westwood Professional Services
- d. Request: From: "A-5" One-Family
To: Tract 1: "PD/A-5" Planned Development for all uses in A-5 One Family Residential, with development standards for lot area, lot width, and lot coverage, Site Plan waived
Tract 2: "PD/A-5" Planned Development for all uses in A-5 One Family Residential, with development standards for lot area, lot width, and lot coverage, Site Plan waived
Tract 13: "A-10" One Family
Tract 15: "PD/A-5" Planned Development for all uses in A-5 One Family Residential, with development standards for lot area, lot width, and lot coverage, Site Plan waived

5. ZC-24-031

CD 6

- a. Site Location: 10375 Old Granbury Road; East side of Chisholm Trail Parkway, ±5,000' south of the intersection with McPherson Blvd.
- b. Acreage: 120.9
- c. Applicant/Agent: WUSF 5 Rock Creek East LP/Westwood Professional Services
- d. Request: To: Amend "PD 1091" Planned Development for all uses in "F" General Commercial plus Data Center, with development standard for height, Site Plan waived

6. ZC-24-049

CD 2

- a. Site Location: 4800 Old Decatur Road
- b. Acreage: 0.9760
- c. Applicant/Agent: Fort Worth Quarry Company/QT South
- d. Request: To: Add Conditional Use Permit "CUP" for automated car wash in "E" Neighborhood Commercial, site plan included

7. ZC-24-051

CD 3

- a. Site Location: 9944 W Camp Bowie Blvd
- b. Acreage: 1.05
- c. Applicant/Agent: Leo-17 Realty LLC/Jake Petrie
- d. Request: To: Add Conditional Use Permit "CUP" for warehouse in "E" Neighborhood Commercial, site plan included

8. ZC-24-058

CD 2

- a. Site Location: Stockyards Form-Based Code & Historic District
- b. Acreage: 5.04
- c. Applicant/Agent: City of Fort Worth

- d. Request: To: A recommendation of approval to the City Council on an Ordinance amending the Comprehensive Zoning Ordinance of the City of Fort Worth by amending Chapter 4 "District Regulations", Article 13 "Form-Based Code Districts", Section 4.1309 "Stockyards ("SY") District and Appendix B, Exhibit B.33 to expand the Stockyards Historic District to include additional properties and increase the maximum allowable building height in certain subdistricts from 40' to 55'.

C: NEW CASES

9. ZC-24-061

CD 11

- a. Site Location: 4812 Parker Henderson Rd
b. Acreage: 1.8
c. Applicant/Agent: City of Fort Worth
d. Request: From: "I" Light Industrial
To: "A-5" One-Family

10. ZC-23-195

CD 3

- a. Site Location: 7709 Camp Bowie West Boulevard & 7716 Norman Avenue
b. Acreage: 0.50
c. Applicant/Agent: CCA and CWB LLC / Joshua Galbreath
d. Request: From: "CB-IA" Camp Bowie-Industrial Arts, "I" Light Industrial & "A-5" One Family w/ NAS JRB Overlay
To: "CR" Low Density Multifamily / NASJRB Overlay

11. ZC-24-046

CD 7

- a. Site Location: 2409 Neville Street
b. Acreage: 0.15
c. Applicant/Agent: Mirly LLC/Henrietta Joy Harvison
d. Request: To: Add Conditional Use Permit "CUP" for a bar in "E" Neighborhood Commercial, site plan included

12. ZC-24-047

CD 8

- a. Site Location: 1200 McPherson Road
b. Acreage: 2.05
c. Applicant/Agent: Oncor Electric/Kyle Hall & Rob Myers, Kimley Horn
d. Request: To: Add Conditional Use Permit "CUP" for electric power substation in "E" Neighborhood Commercial, site plan included

13. ZC-24-054

CD 8

- a. Site Location: 1700 McPherson Road
b. Acreage: 12.2
c. Applicant/Agent: MEI Investments, L.P./Elizabeth Bentley, Lennar Homes of Texas
d. Request: From: "E" Neighborhood Commercial
To: "PD/C" Planned Development for all uses in "C" Medium Density Multifamily for detached multifamily with development standards for setbacks, open space, fencing, and a waiver to MFD submittal, site plan included

14. ZC-24-056

CD 11

- a. Site Location: 3445 Stuart Drive
- b. Acreage: 0.11
- c. Applicant/Agent: Mario H. Lopez /Chris Chavez
- d. Request: From "IP" Industrial Park
To: "A-5" One Family

15. ZC-24-057

CD 8

- a. Site Location: 1701, 1704, 1705, 1708 & 1712 E Broadway Avenue and 101 Exeter Street
- b. Acreage: 0.78
- c. Applicant/Agent: DI-TEC, Inc. / Daniel Hammack
- d. Request: From "J" Medium Industrial; PD 193 "PD-SU" for an indoor shooting range, site plan required
To: "A-5" One Family

16. ZC-24-059

CD 3

- a. Site Location: Northeast corner of IH 20 & FM 1187
- b. Acreage: 78.34
- c. Applicant/Agent: Walsh Ranch Development Company, LLC / Richard Shaheen
- d. Request: From "AG" Agricultural
To: "G" Intensive Commercial

17. ZC-24-060

CD 5

- a. Site Location: 3125 Vine Street
- b. Acreage: 1.05
- c. Applicant/Agent: Sears Henderson Holdings
- d. Request: From "AG" Agricultural
To: "A-5" One-Family

18. ZC-24-062

CD 7

- a. Site Location: 4937 El Campo Drive
- b. Acreage: 0.16
- c. Applicant/Agent: Charlotte A. Walker Voss/Lindsay Jones
- d. Request: To: Add Conditional Use Permit "CUP" for Auxiliary Parking, site plan included

19. ZC-24-064

CD 10

- a. Site Location: NE corner of Sendera Ranch Blvd. and Rancho Canyon Way
- b. Acreage: 20.0
- c. Applicant/Agent: Mike Clark-Winkelmann & Associates, Inc.
- d. Request: From: "A-5" One-Family; "C" Medium Density Multifamily; "E" Neighborhood Commercial
To: "F" General commercial

20. ZC-24-066

CD 2

- a. Site Location: 6231 S Ridge Road
- b. Acreage: 0.77
- c. Applicant/Agent: Gabriela Goodwin / Fidelina Ramirez

d. Request: From: "A-5" One-Family
To: "E" Neighborhood Commercial

21. ZC-24-069

CD 10

a. Site Location: 8575 Blue Mound Road
b. Acreage: 245.77
c. Applicant/Agent: City of Fort Worth, Parks & Recreation Department
d. Request: From: "AG" Agricultural; "A-5" One-Family; "CR" Low Density Residential; "E" Neighborhood Commercial
To: "CF" Community Facilities

22. SP-24-007

CD 4

a. Site Location: 8601 & 8701 North City Drive
b. Acreage: 10.1
c. Applicant/Agent: NTP35/LP / Cross Development
d. Request: To: Add Site Plan for PD 1302 Planned Development for all uses in "UR" Urban Residential with specific development standards related to setbacks, off street parking, and loading standards, enhanced landscaping, parking lot landscaping, façade variation, façade design standards, building materials, building entries, signs, screening, height, density allowed, and allowed uses as described attached in Exhibit A

D. ADJOURNMENT: _____

ASSISTANCE AT THE PUBLIC MEETINGS:

This meeting site is wheelchair accessible. Persons with disabilities who plan to attend this meeting and who may need accommodations, auxiliary aids, or services such as interpreters, readers, or large print are requested to contact the City's ADA Coordinator at (817) 392-8552 or e-mail ADA@FortWorthTexas.gov at least 48 hours prior to the meeting so that appropriate arrangements can be made. If the City does not receive notification at least 48 hours prior to the meeting, the City will make a reasonable attempt to provide the necessary accommodations.

ASISTENCIA A REUNIONES PUBLICAS:

Este sitio de reunión es accesible con silla de ruedas. Se solicita a las personas con discapacidades que planean asistir a esta reunión y que necesitan acomodaciones, ayudas auxiliares o servicios tales como intérpretes, lectores o impresiones con letra grande, que se comuniquen con el Coordinador de la Asociación Americana de Discapacitados (ADA) de la Ciudad llamando al teléfono (817) 392-8552 o por correo electrónico a ADA@FortWorthTexas.gov por lo menos 48 horas antes de la reunión, de modo que puedan hacerse los arreglos adecuados. Si la Municipalidad no recibe una notificación por lo menos 48 horas antes de la reunión, ésta hará un intento razonable para proporcionar las acomodaciones necesarias.

Executive Session.

A closed executive session may be held with respect to any posted agenda item to enable the Commission to receive advice from legal counsel, pursuant to Texas Government Code, Section 551.071.



Zoning Staff Report

Date: July 10, 2024

Case Number: ZC-23-165

Council District: 11

Zoning Map Amendment

Case Manager: [Beth Knight](#)

Owner / Applicant: 4900 Carey LLC / Mike Bell

Site Location: 4900 Carey Street

Acreage: 4.0 acres

Request

Proposed Use: Semi truck and trailer parking; existing gas wells

Request: From: “J” Medium Industrial

To: Add Conditional Use Permit (CUP) to allow parking of semi-trucks and trailers, in “J” Medium Industrial for a maximum of 5 years with no development standard waivers, site plan included

Recommendation

Land Use Compatibility: Requested change **is compatible**

Comprehensive Plan Consistency: Requested change **is consistent**

Staff Recommendation: **Approval for semi truck and trailer parking; for 5 years with no development waivers**

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 - [a. Land Use Compatibility](#)
 - [b. Comprehensive Plan Consistency](#)
 - [c. Site Plan Comments](#)
6. Zoning Map with 300 ft. Notification Area
7. Site Plan
8. Area Map
9. Future Land Use Map
10. Aerial Photograph

Project Description and Background

The subject property is located along the west side of Carey Street, on the southwest corner of its intersection with US Highway 287 (MLK Freeway). The gas well pad site with extra vacant land started being used for outdoor storage of semi trucks and trailers between 2015 and 2017, according to historical aerials. This land use begun without proper zoning approvals resulted in a Code Compliance violation that has been ongoing since August 2023. In order to remedy this situation, the applicant is requesting a Conditional Use Permit added to their “J” Medium Industrial District. Outdoor storage, such as semi-truck parking, is allowed by right in the industrial districts with a primary building and only permitted on vacant lots with a CUP approval. The site plan shows no development waivers and meets the requirements for screening fencing and landscaping along the street frontage on the 4 acre lot.

Conditional uses are those uses which are generally compatible with the permitted land uses in a given zoning district, but which require individual review of their proposed location, design and configuration, and the imposition of conditions in order to ensure the appropriateness of the use at a particular location. While semi-truck and trailer parking, as well as outdoor storage, is not permitted on a vacant lot in the “K” zoning district by right, allowing one by CUP with a site plan may help mitigate any neighborhood concerns, as well as give options for the CUP to be revoked in the event of new code violation convictions. The site is already being used for semi-truck and trailer parking with some existing landscaping, surrounded by chain link fencing. Standard industrial uses surround the site in all directions.

North of the site, US Highway 287 (MLK Freeway) is a 6-lane divided freeway with service road, which is suitable for semi-truck traffic. Carey Street is striped as a 2-lane undivided roadway, approximately 24 feet wide, but has paving approximately 50 feet wide. The roadway is not listed on the Master Thoroughfare Plan, but was previously classified as a minor arterial street.

The site plan shows 34 semi-truck and trailer parking spaces behind a 6-foot wooden fence on the eastern portion of the lot. No buildings are proposed to be constructed as part of this project. No notable tree cover or floodplains are noted on the lot. The western half of the site has a gas well pad site that is restricted from having structures or other uses built on it. The parking spaces for semi-trucks and trailers appear to be 72 feet deep, to accommodate the typical 53-foot trailer with a semi truck. Landscaping in a 30-foot wide strip is shown on the eastern street frontage and the southern property line. However, a portion of the landscaping is between the screening fence and the semi truck parking where trailers could extend past the concrete wheel stop.

Through Ordinance 23609 effective March 29, 2019, the Conditional Use Permit allows for a 5-year time period for the operation of outdoor storage. If a time limit is established for a Conditional Use Permit, the renewal of the CUP shall be considered through the public hearing process and approved by the City Council. A CUP shall expire if no permitting action is taken within six months of approval or cease of the use for six months. A CUP may be revoked through the public hearing process if necessary after convictions of one or more code violations.

Per Section 4.407 (a), the following general rules apply to all conditional uses:

- a) Conditional use permits in residential districts shall be limited to those uses designated “CUP” in the Residential District Use Table in Chapter 4, Article 6, Section 4.603.
- b) Approval of a conditional use permit shall authorize only the particular use or category of related uses for which the conditional use permit is issued.
- c) A conditional use shall not be enlarged, extended or otherwise modified unless approved by the City Council or approved administratively as applicable.
- d) The use of property for the purposes described in a conditional use permit shall not commence until a certificate of occupancy has been issued. A certificate of occupancy shall not be issued until all or

approvals which may be required by the Codes and Ordinances of the City, including, but not limited to, a Building Permit, a Certificate of Occupancy and subdivision approval have been satisfied.

Section (d) provides the following Conditional Use Permit factors in consideration of appropriateness of a request:

- a) The proposed use is consistent with the Comprehensive Plan;
- b) The proposed use is compatible with the existing and adjacent uses.
- c) The proposed use meets all supplemental use standards specifically applicable to the use as set forth in Chapter 5;
- d) The proposed use is compatible with and preserves the character and integrity of adjacent development and neighborhoods;
- e) The proposed use is not materially detrimental to the public health, safety, and welfare, or results in material damage or prejudice to other property in the vicinity.

Surrounding Zoning and Land Uses

North “PD 566” Planned Development – Specific Use for Southside Service Center / Collection site for large household waste, outdoor storage

East “I” Light Industrial with CUP 58 for outdoor storage of construction materials / Equipment rental with outdoor storage

South “J” Medium Industrial / Government office

West “I” Light Industrial / Industrial warehouse with outdoor storage

Recent Zoning History

ZC-16-152: north of site, City staff-initiated to amend PD 566 to add hazardous household waste drop-off, approved, 10/13/2016.

ZC-17-112: east of site, Council-initiated from various districts to be in conformance with the Comprehensive Plan, approved, 10/12/2017.

ZC-22-168 and ZC-22-169: southeast of site, add CUPs for outdoor storage of freeway construction materials, approved, 1/10/2023.

Public Notification

300-foot Legal Notifications were mailed on April 26, 2024.

The following organizations were notified: (emailed April 25, 2024)

Organizations Notified	
Village Creek NA*	Fort Worth ISD
Echo Heights Stop Six Environmental Coalition	Streams and Valleys Inc
East Fort Worth, Inc.	Trinity Habitat for Humanity

**Nearest registered Neighborhood Association*

Land Use Compatibility

The applicant is proposing to add a Conditional Use Permit for semi-truck and trailer parking. A site plan is included that shows no development waivers and upgrading the existing chain link fence with a solid screening fence and consistent landscaping. The Conditional Use Permit has been requested due to code violations for outdoor storage and parking without formal approvals. The requested land use for 34 semi-truck parking spots is generally the same land use intensity as the surrounding sites. The proposed zoning request **is compatible** with surrounding industrial land uses, due to the solid screening added to surround the site, as well as restoring the landscaping to a consistent depth on the eastern and southern sides.

The case was continued from the May 8, 2024 Zoning Commission meeting because the applicant failed to appear at the public hearing. However, three people from neighborhood associations in the general spoke in opposition to the case. In order to allow the applicant time to meet with these groups, the case was continued to the July 10, 2024 meeting.

Comprehensive Plan Consistency – Southeast Sector

The 2023 Comprehensive Plan currently designates the subject property as “Industrial Growth Center” on the Future Land Use Map and does not propose expanding this growth center. The requested land uses are included in the description envisioned for this category, as detailed in the excerpt from the Comprehensive Plan below.

INDUSTRIAL		
Industrial Growth Center	Industrial and commercial uses serving a large region	MU-2, All Commercial & Industrial

The proposed zoning is consistent with the following policies of the Comprehensive Plan:

- Coordinate future land uses and development types and intensity with the Complete Streets policy, Master Thoroughfare Plan, Active Transportation Plan, and Transit-Oriented Development (TOD) Plans.
- Promote appropriate infill development of vacant lots, old commercial centers (greyfields), and contaminated sites (brownfields) within developed areas, particularly in the central city.
- Locate large industrial uses along freight rail lines, highways, or airports within industrial growth centers and other appropriate locations.
- Separate incompatible land uses with buffers or transitional uses. Some land uses have attributes such as height, proportion, scale, operational characteristics, traffic generated, or appearance that may not be compatible with the attributes of other uses.

Based on conformance with the future land use map and the policies stated above, the proposed zoning **is consistent** with the Comprehensive Plan.

Zoning and Land Use

The site plan as submitted is not in general compliance with the Zoning Ordinance regulations.

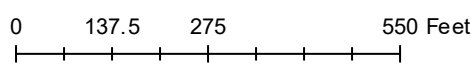
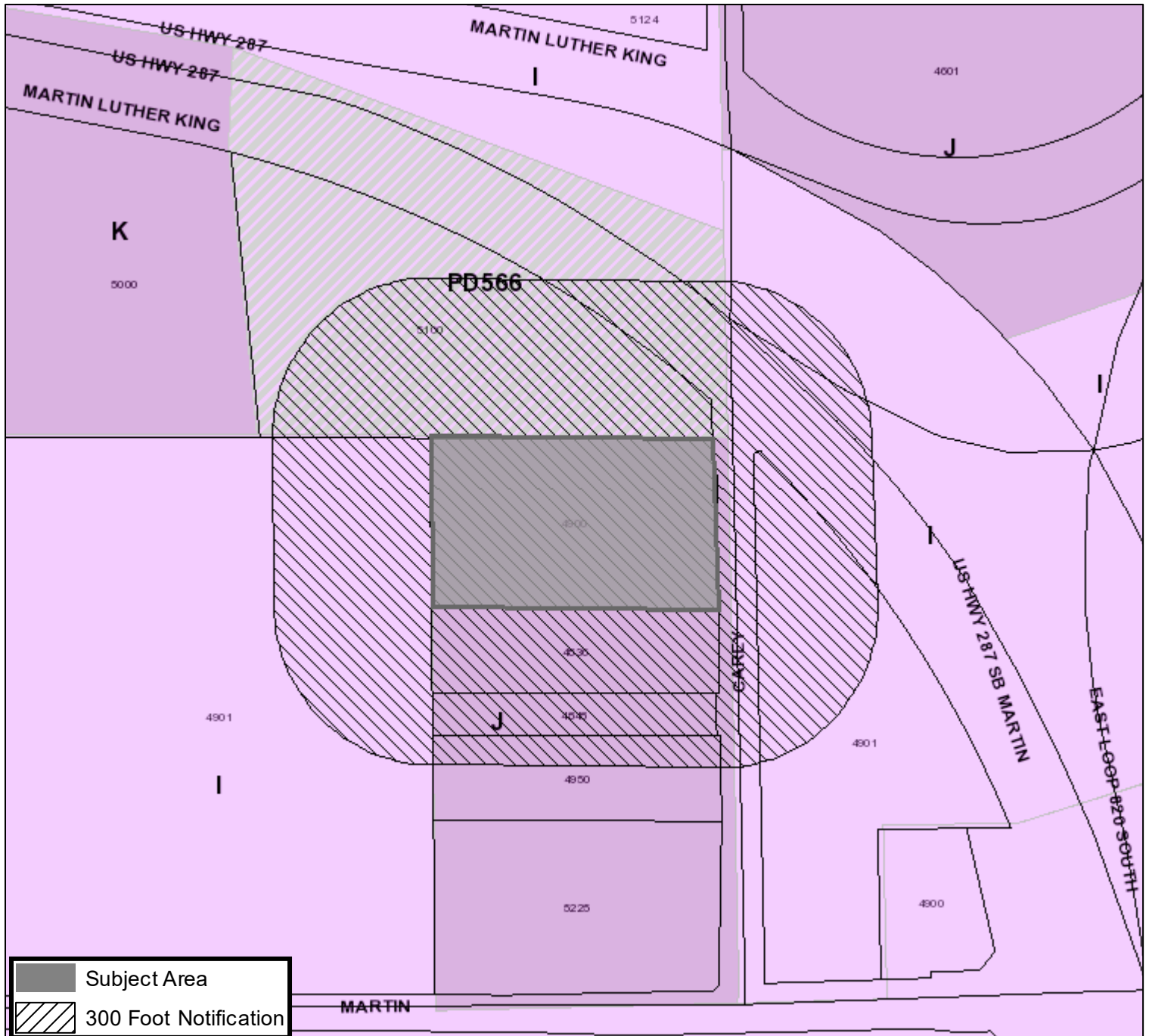
1. Amend the project's specific CUP request in the lower right corner to just Truck Parking.
2. Informational comment: The existing signage is not allowed on the fence. A monument sign more than 20-feet from a driveway is allowed by right.
3. Label the land use of the immediately adjacent properties abutting the site, instead of the legal descriptions.

(Comments made by Platting (Subdivision Ordinance), Transportation/Public Works, Fire, Park & Recreation, and Water Department staff cannot be waived through the Zoning Commission and City Council. Approval of the zoning site plan does not constitute the acceptance of conditions.)



Area Zoning Map

Applicant: 4900 Carey LLC by Mike Bell
 Address: 4900 Carey Street
 Zoning From: J
 Zoning To: Add Conditional Use Permit for semi truck and trailer parking
 Acres: 3.982042
 Mapsco: Text
 Sector/District: Southeast
 Commission Date: 7/10/2024
 Contact: 817-392-8190



SOUTHEAST SERVICE CENTER

CABINET A, SLIDE 3343

LOT 2R BLOCK 2

NORTH LOT LINE - 533.93' PD, PLANNED DEVELOPMENT

PROJECT SITE

VICINITY MAP
NTS

No.	Revision/Issue	Date
1	ISSUED FOR PERMIT	04/04/24
2	ISSUED FOR PERMIT	04/24/24
3	ISSUED FOR PERMIT	06/07/24
4	ISSUED FOR PERMIT	06/17/24

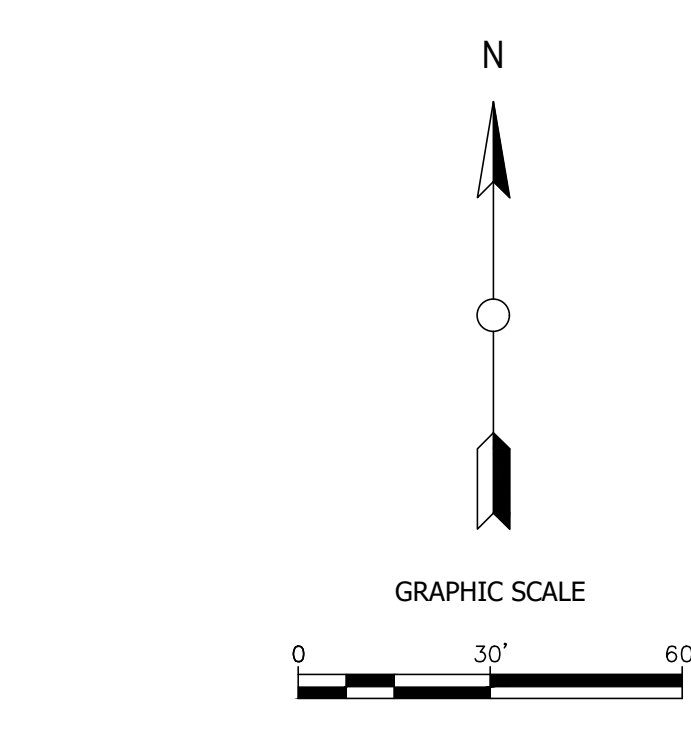
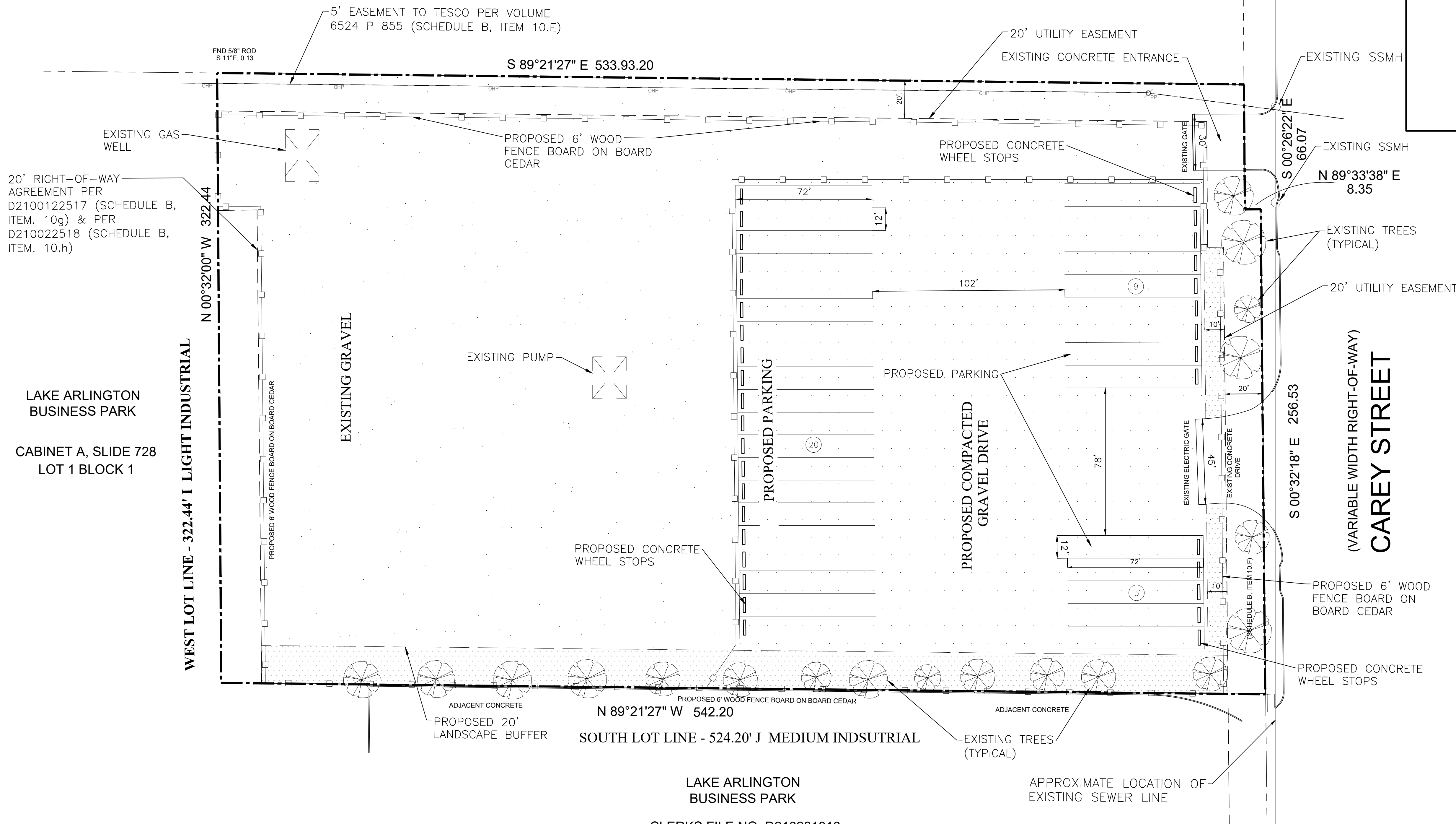
CLIENT ADDRESS
 FF REAL ESTATE
 4900 CAREY STREET
 FORT WORTH, TX 76062
 CONTACT: MICHAEL BELL
 P: 817-818-8000
 F: 817-818-8000
 FAX: MBE@FFREALESTATE.NET

FIRM NAME AND ADDRESS
D H R
ENGINEERING, INC.
 Civil Engineers
 511 E JOHN CARPENTER Fwy, SUITE 500
 IRVING, TEXAS 75062
 TEL: (972) 717-0000 FAX: (972) 717-0111
 TBPE No. : F-9184

4900 CAREY STREET
 FW CAREY ST. PARKWAY PERMIT
 CITY OF FORT WORTH, TARRANT COUNTY, TX
SITE PLAN

STATE OF TEXAS
 DAVID H. RECHT
 91962
 LICENSED PROFESSIONAL ENGINEER
 June 17, 2024
David H. Recht

CHECKED BY
 DR
 DHR JOB No.
 23405
 ISSUE DATE: 6/7/2024
 SHEET
C-1.0



LEGEND

	EXISTING GRAVEL DRIVE
	PROPERTY BOUNDARY
	PROPOSED LANDSCAPE
	PROPOSED GRAVEL DRIVE

4900 CAREY ST, FORT WORTH 76106 HYNES, JOHN
 W SURVEY ABSTRACT 767 TRACT 1B02 CITY OF
 FORT WORTH TARRANT COUNTY, TEXAS
 4.00 ACRES (174,040 S.F.)

ZONING CASE# = ZC-23-165

NO IN-OPERABLE OR UN-REGISTERED VEHICLES,
 PERSONAL RECREATIONAL VEHICLES, OR CAMPERS
 ARE ALLOWED.

4900 CAREY STREET SITE SUMMARY TABLE

GENERAL SITE DATA	
LOT AREA	174,045 S.F. (4.00 Ac.)
ZONING	CUP
USE	MEDIUM INDUSTRIAL
4% LANDSCAPE AREA	6,962 S.F.

**CUP REQUEST:
 TRUCK PARKING
 OUTDOOR STORAGE**

PROJECT: 4900 CAREY ST
 ZONING : J-MEDIUM INDUSTRIAL
 DATE OF PREPARATION: 02/02/2024
 ENGINEER: DAVID.H RECHT, P.E

OWNER INFORMATION
 4900 CAREY LLC
 C/O RON ROHDE
 619-818-8000
 4900 CAREY STREET
 FORT WORTH, TEXAS 75062

SIGNATURE - DIRECTOR OF DEVELOPMENT SERVICES _____ DATES _____

THIS PROJECT WILL COMPLY AND CONFORM TO THE FOLLOWING: SECTION 6.301 LANDSCAPING, SECTION 6.302 URBAN FORESTRY, ARTICLE 4 SIGNS AND ALL PROVIDED LIGHTING WILL CONFORM TO THE LIGHTING CODE.

LEGAL DESCRIPTION

A 3.9999 acre tract out of the J. W. HAYNES SURVEY, Abstract No. 767, Tarrant County, Texas, being a portion of that tract conveyed to Charles W. Lawhon by General Warranty Deed recorded under Clerk's File No. D216203723, Real Property Records, Tarrant County, Texas, and being more particularly described by metes and bounds as follows:

BEGINNING at the southeast corner of Lot 2R, Block 2, Southeast Service Center, an Addition to the City of Fort Worth, Tarrant County, Texas, according to the plat recorded in Cabinet A, Slide 3343, Plat Records, Tarrant County, Texas, in the west right-of-way line of Carey Street, a public street with a variable width, from which a found 5/8 inch steel rod bears South 52 degrees West, 0.12 feet;

THENCE South 00 degrees 26 minutes 22 seconds East along the east line of said Lawhon Tract and the west right-of-way line of said Carey Street, 66.07 feet to a found 5/8 inch steel rod;

THENCE North 89 degrees 33 minutes 38 seconds East along the east line of said Lawhon Tract and the west right-of-way line of said Carey Street, 8.35 feet to a found 5/8 inch steel rod;

THENCE South 00 degrees 32 minutes 18 seconds East along the east line of said Lawhon Tract and the west right-of-way line of said Carey Street, 256.53 feet to a set 1/2 inch steel rod at the northeast corner of Lot 5, Block 1, Lake Arlington Business Park, an Addition to the City of Fort Worth, Tarrant County, Texas, according to the amended plat recorded under Clerk's File No. D210281018, of said Real Property Records;

THENCE North 89 degrees 21 minutes 27 seconds West along the north line of said Lot 5, Block 1, 542.20 feet to a found 1/2 inch steel rod at the northwest corner thereof, and in the east line of Lot 1, Block 1, Lake Arlington Business Park, an Addition to the City of Fort Worth, Tarrant County, Texas, according to the plat recorded in Cabinet A, Slide 728, of said Plat Records;

THENCE North 00 degrees 32 minutes 00 seconds West along the east line of said Lot 1, Block 1, 322.44 feet to the northeast corner thereof, and in the south line of said Lot 2R, Block 2, Southeast Service Center, from which a found 5/8 inch steel rod bears South 11 degrees East, 0.13 feet;

THENCE South 89 degrees 21 minutes 27 seconds East along the south line of said Lot 2R, Block 2, 533.93 feet to the Point of Beginning, and containing 3.9999 acres (174,236 square feet) of land, more or less.

Street Address: 4900 Carey Street Fort Worth, Texas 76119

4900 CAREY ST, FORT WORTH 76106 HYNES, JOHN W SURVEY ABSTRACT 767 TRACT 1B02 CITY OF FORT WORTH TARRANT COUNTY, TEXAS
4.00 ACRES (174,040 S.F)

PROJECT: 4900 CAREY ST

ZONING : J-MEDIUM INDUSTRIAL

DATE OF PREPARATION: 02/02/2024

ENGINEER: DAVID.H RECHT, P.E

ZONING CASE# = ZC-23-165

SIGNATURE - DIRECTOR OF DEVELOPMENT SERVICES _____

DATES _____

THIS PROJECT WILL COMPLY AND CONFORM TO THE FOLLOWING: SECTION 6.301 LANDSCAPING, SECTION 6.302 URBAN FORESTRY, ARTICLE 4 SIGNS AND ALL PROVIDED LIGHTING WILL CONFORM TO THE LIGHTING CODE.

4900 CAREY STREET SITE SUMMARY TABLE	
GENERAL SITE DATA	
LOT AREA	174,045 S.F. (4.00 Ac.)
ZONING	CUP
USE	MEDIUM INDUSTRIAL

No.	Revision/Issue	Date
1	ISSUED FOR PERMIT	02/23/24

CLIENT ADDRESS
FF REAL ESTATE
4900 CAREY STREET
FORT WORTH, TX 76162
CONTACT: MICHAEL BELL
PH: 817.818.8000
FAX: MMBE@FFREALESTATE.NET

D H R
ENGINEERING, INC.

Civil Engineers
511 E JOHN CARPENTER FRY, SUITE 500
IRVING, TEXAS 75062
TEL: (972) 717-0000 FAX: (972) 717-0111
TBPE No. : F-9184

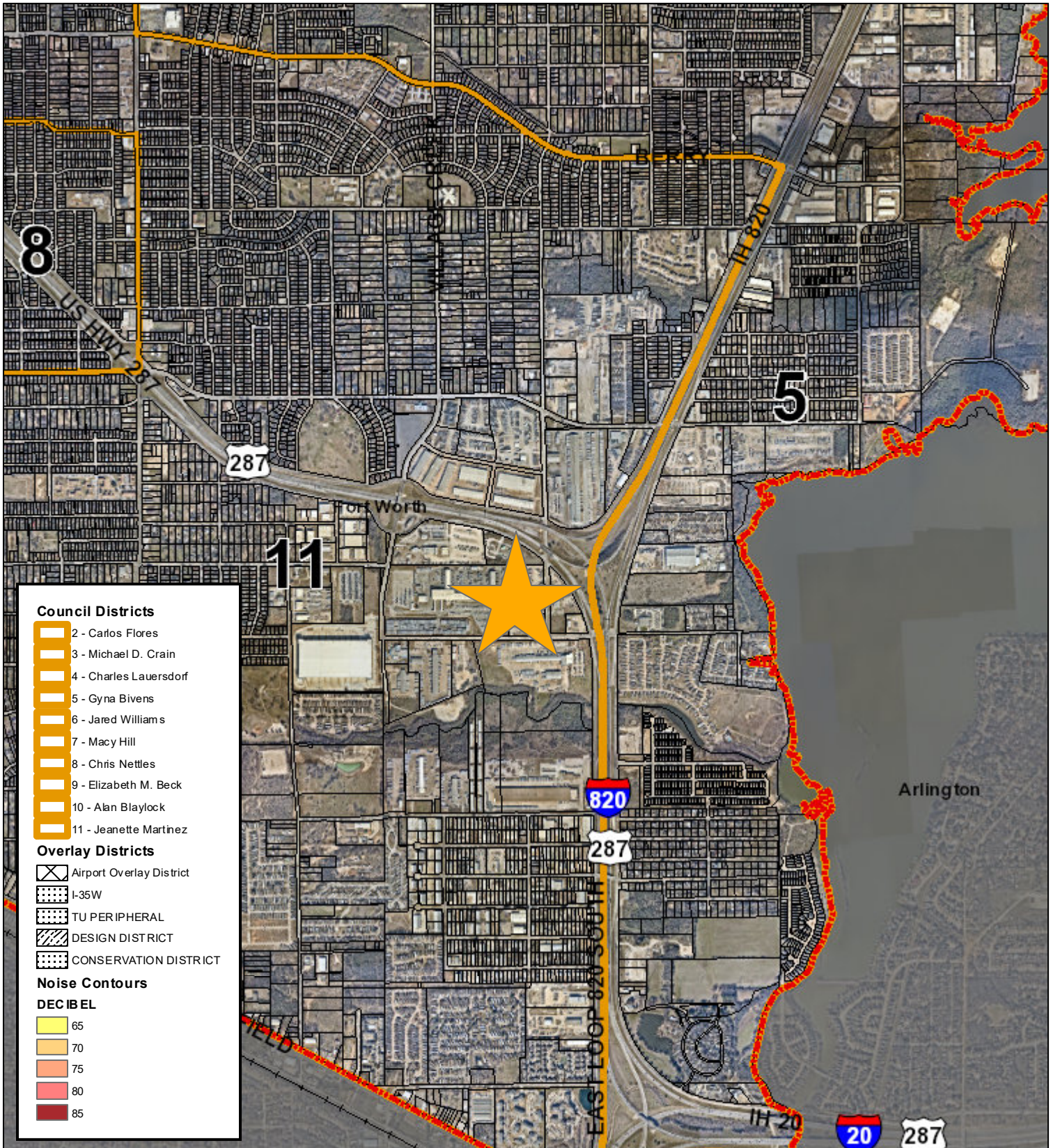
4900 CAREY STREET
FW CAREY ST. PARKWAY PERMIT
CITY OF FORT WORTH, TARRANT COUNTY, TX
LEGAL DESCRIPTION



June 17, 2024
David H. Recht

CHECKED BY
DR
DHR JOB No.
23405
ISSUE DATE: 6/7/2024
SHEET
C-1.1

Area Map



Council Districts

- 2 - Carlos Flores
- 3 - Michael D. Crain
- 4 - Charles Lauersdorf
- 5 - Gyna Bivens
- 6 - Jared Williams
- 7 - Macy Hill
- 8 - Chris Nettles
- 9 - Elizabeth M. Beck
- 10 - Alan Blaylock
- 11 - Jeanette Martinez

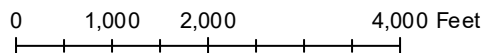
Overlay Districts

- Airport Overlay District
- I-35W
- TU PERIPHERAL
- DESIGN DISTRICT
- CONSERVATION DISTRICT

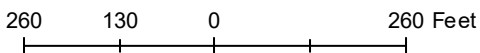
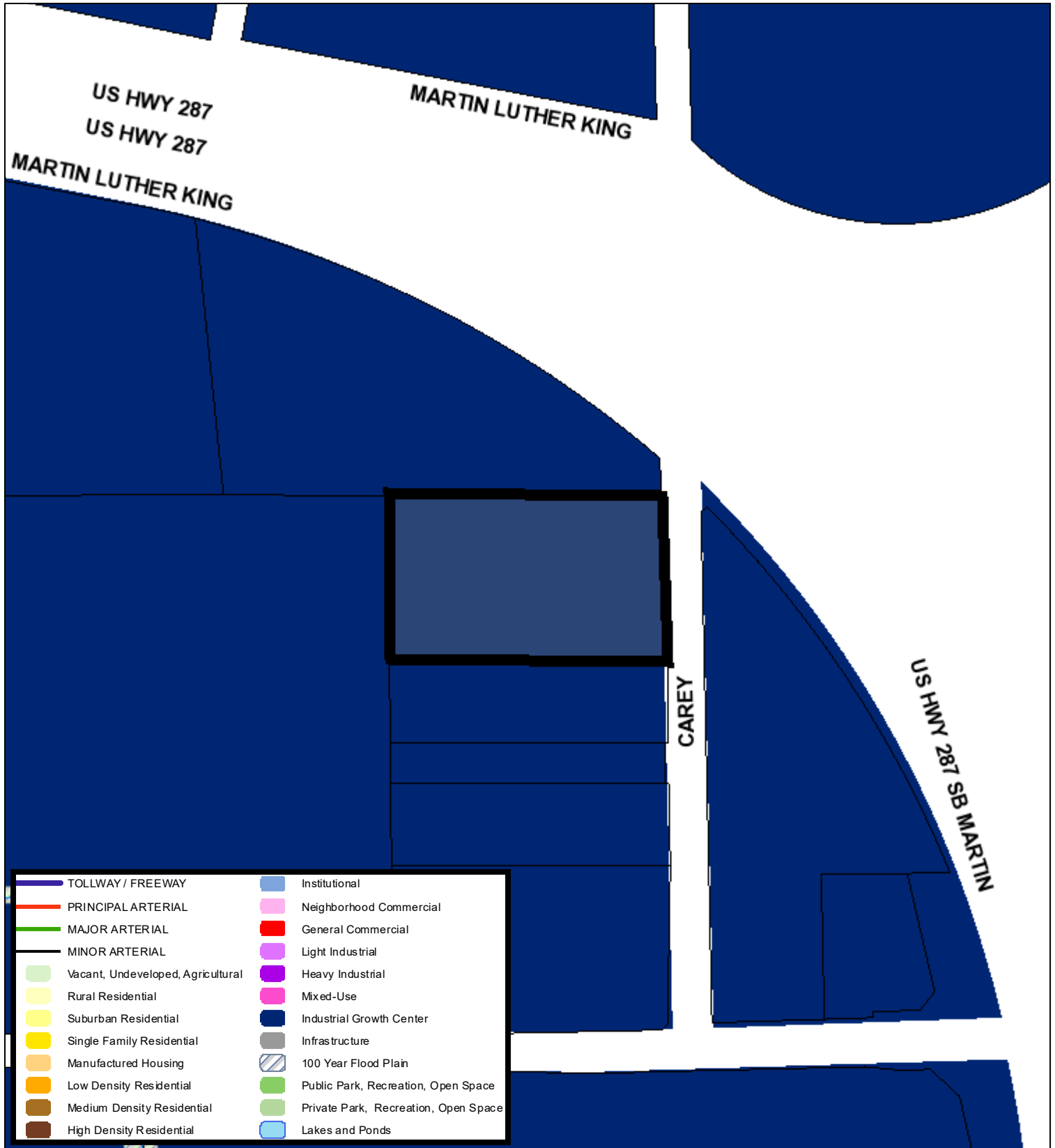
Noise Contours

DECIBEL

- 65
- 70
- 75
- 80
- 85



Future Land Use



A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



Aerial Photo Map



0 165 330 660 Feet





Zoning Staff Report

Date: July 10, 2024

Case Number: ZC-24-022

Council District: 4

Zoning Map Amendment

Case Manager: [Sandy Michel](#)

Owner / Applicant: Keller Estates, LLC / Elizabeth Alvarez

Site Location: 5350 Basswood & 7301 Park Vista Blvd.

Acreage: 3.97 acres

Request

Proposed Use: Existing Private School to add - Convenient Stores, Restaurants, Office, Retail, and Personal Service uses such as barber shops or beauty salons

Request: From: "CF" Community Facilities
To: "E" Neighborhood Commercial

Recommendation

Land Use Compatibility: Requested change **is compatible**

Comprehensive Plan Map Consistency: Requested change **is not consistent**

Comprehensive Plan Policy Consistency: Requested change **is not consistent**

Staff Recommendation: **Continuance**

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1. [Project Description and Background](#)
2. [Surrounding Zoning and Land Uses](#)
3. [Recent Zoning History](#)
4. [Public Notification](#)
5. [Development Impact Analysis](#)
 - a. [Land Use Compatibility](#)
 - b. [Comprehensive Plan Consistency](#)
6. Zoning Map with 300 ft. Notification Area
7. Area Map
8. Future Land Use Map
9. Aerial Photograph

Project Description and Background

The subject property, spanning 3.97 acres, is located within a parcel that currently houses an existing private school. Surrounding the property are predominantly "E" Neighborhood Commercial Districts, with "AR" One-family Restricted zoning to the south and "A-5" One-family zoning to the west. The vicinity comprises a diverse mix of commercial establishments, a church, and a vacant lot, while further out are single-family neighborhoods.

The applicant proposes to construct commercial buildings along Park Vista Blvd., as outlined in the conceptual site plan included in this rezoning case. Additionally, the applicant has provided a detailed project description outlining their intentions for the development. *'Our request for a Change in zoning to a planned development in order to keep the current Cf zoning district to allow for the existing land uses to continue to operate. We would also like to add the following land uses.*

- Convenient Store
- Restaurant
- Office
- Retail
- Personal Service uses such as barber shop or beauty salon

The current district does not allow the land uses above, so we would like to incorporate these land uses as well lot, setback, and other requirements to meet code, and accommodate the development. Part of our proposal includes improvements to the site, and new structures, parking, and landscape. 10,000 Square feet of retail, restaurant, Convenient Store. 5,000 Square feet of Office and retail.'

Surrounding Zoning and Land Uses

North	"E" Neighborhood Commercial / Commercial
East	"PD/SU" 336 / Commercial
South	"AR" One-family Restricted / Residential
West	"A-5" One Family / Church

Recent Zoning History

- N/A

Public Notification

300-foot Legal Notifications were mailed on June 28, 2024.

The following organizations were notified: (emailed June 28, 2024)

Organizations Notified	
Park Glen	Public Improvement District 6
Trinity Habitat for Humanity	Streams and Valleys Inc

* Located within a registered Neighborhood Organization

Development Impact Analysis

Land Use Compatibility

The surrounding area is predominantly commercial, with a Walmart Neighborhood Market, gas station, offices, and a coffee shop located across the cross streets of Basswood Blvd and Park Vista Blvd. The applicant seeks to rezone the property to accommodate specific uses permitted in the "E" Neighborhood Commercial zoning district. This rezoning would align the property's designation with the prevailing commercial character of the surrounding area, enabling the development of compatible uses that contribute to the neighborhood's commercial vibrancy and diversity.

The proposed zoning is **compatible** with surrounding land uses.

Comprehensive Plan Consistency- FLU Map and Policies

The adopted Comprehensive Plan currently designates the subject property as Institutional on the Future Land Use Map.

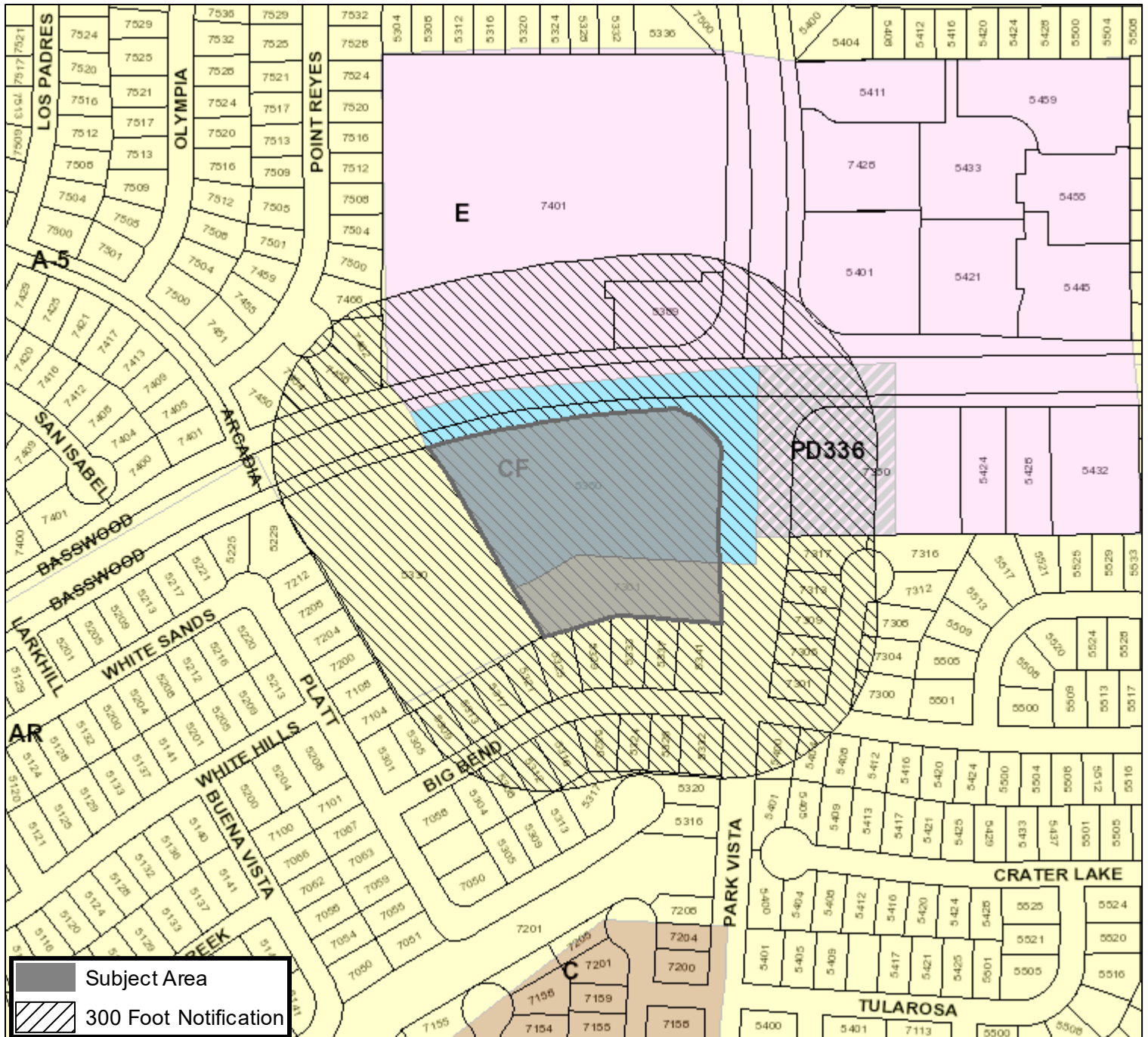
SPECIAL		
Vacant, Undeveloped, Agricultural	Vacant, undeveloped, or agriculture lands; vacant land located in the 100-year floodplain	AG
Infrastructure	Railroads, airports, utilities	ALL
Parks, Recreation, Open Space	Public or private recreation, or passive land	ALL
Institutional	Schools, churches, government, human services, utilities, community centers	Schools and Churches: ALL Others: CF



The property's designation does not fall within the Commercial Future Land Use (FLU) category. Consequently, seeking commercial zoning in an area designated for Institutional development contradicts the intended urban planning objectives. Institutional zoning is primarily intended to accommodate schools, churches, and community facilities, rather than commercial activities. Introducing commercial zoning in this area would depart from the policies and goals outlined in the Comprehensive Plan, which seeks to promote diverse and integrated neighborhoods through adherence to appropriate land use designations. Therefore, the proposed commercial zoning for this area is not consistent with the established zoning intent and urban planning objectives.

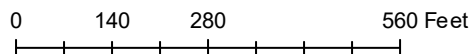
Based on conformance with the policies stated above, the proposed zoning is **not consistent** with the Comprehensive Plan FLU Map and Policies.

Area Zoning Map

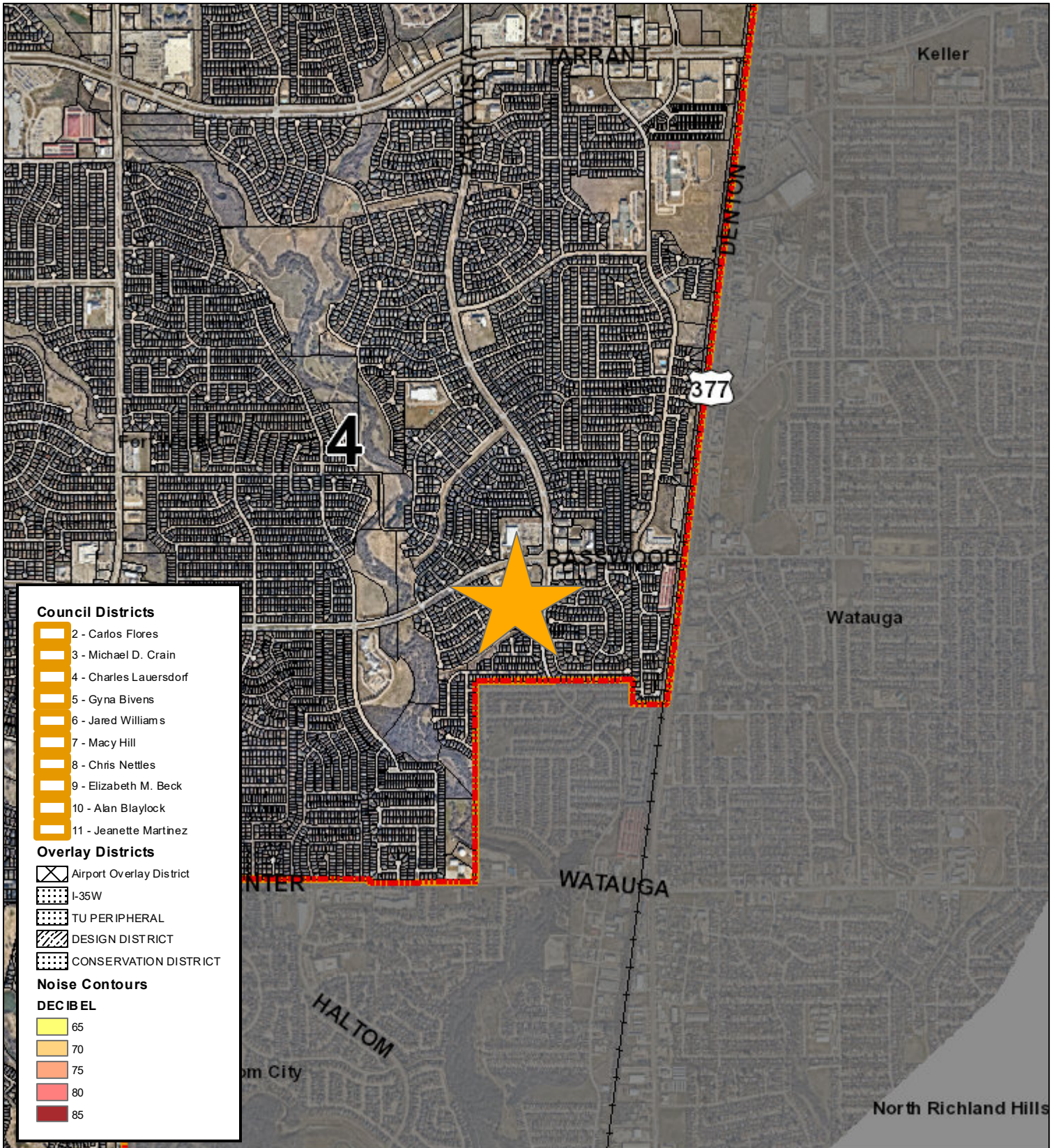
Applicant: Keller Estates LLC/ Elizabeth Alvarez Villaizan
 Address: 5350 Basswood and 7301 Park Vista
 Zoning From: CF & AR
 Zoning To: E
 Acres: 4.18565499
 Mapsco: Text
 Sector/District: Far_North
 Commission Date: 7/10/2024
 Contact: null



	Subject Area
	300 Foot Notification



Area Map



Council Districts

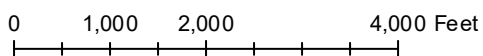
- 2 - Carlos Flores
- 3 - Michael D. Crain
- 4 - Charles Lauerdsdorf
- 5 - Gyna Bivens
- 6 - Jared Williams
- 7 - Macy Hill
- 8 - Chris Nettles
- 9 - Elizabeth M. Beck
- 10 - Alan Blaylock
- 11 - Jeanette Martinez

Overlay Districts

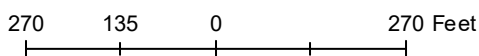
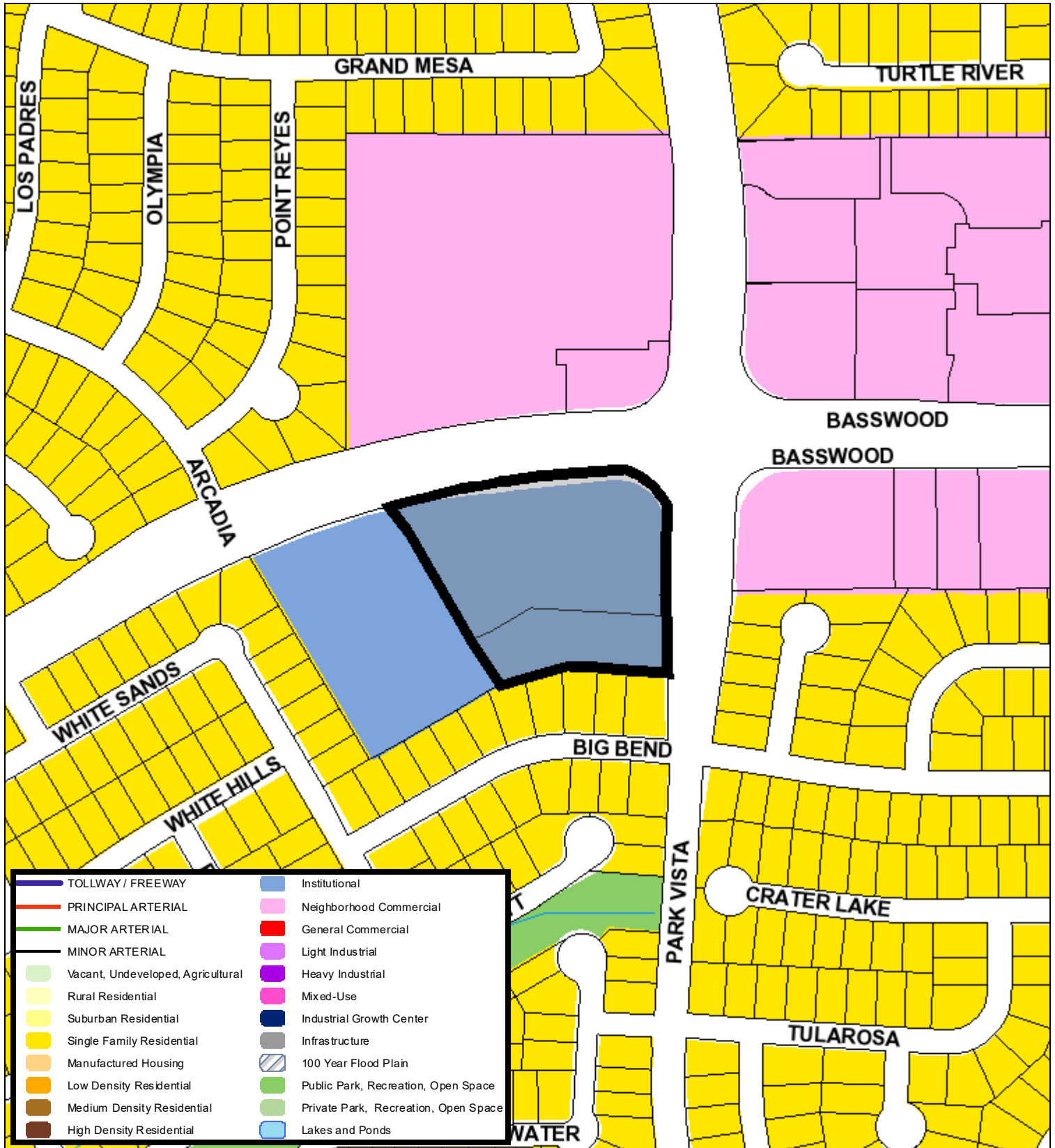
- Airport Overlay District
- I-35W
- TU PERIPHERAL
- DESIGN DISTRICT
- CONSERVATION DISTRICT

Noise Contours

- DECIBEL**
- 65
 - 70
 - 75
 - 80
 - 85



Future Land Use



A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



Aerial Photo Map



0 170 340 680 Feet





Zoning Staff Report

Date: July 10, 2024

Case Number: ZC-24-027

Council District: 6

Zoning Map Amendment

Case Manager: Brett Mangum

Owner / Applicant: Walton Texas LP/Westwood Professional Services

Location: 10200 Old Cleburne Crowley Rd, 10500 W Cleburne Rd, 10375 Old Granbury Rd

Acreage: 424.311 acres

Request

Proposed Use: Single Family

Request: From: "A-5" One Family Residential

To: Tracts 1, 2 & 15: "PD/A-5" Planned Development for all uses in A-5 One Family Residential, with development standards for lot area, lot width, and lot coverage, Site Plan waived
Tract 13: "A-10" One Family Residential

Recommendation

Land Use Compatibility: Requested change **is compatible**

Comprehensive Plan Map Consistency: Requested change **is consistent**

Comprehensive Plan Policy Consistency: Requested change **is consistent**

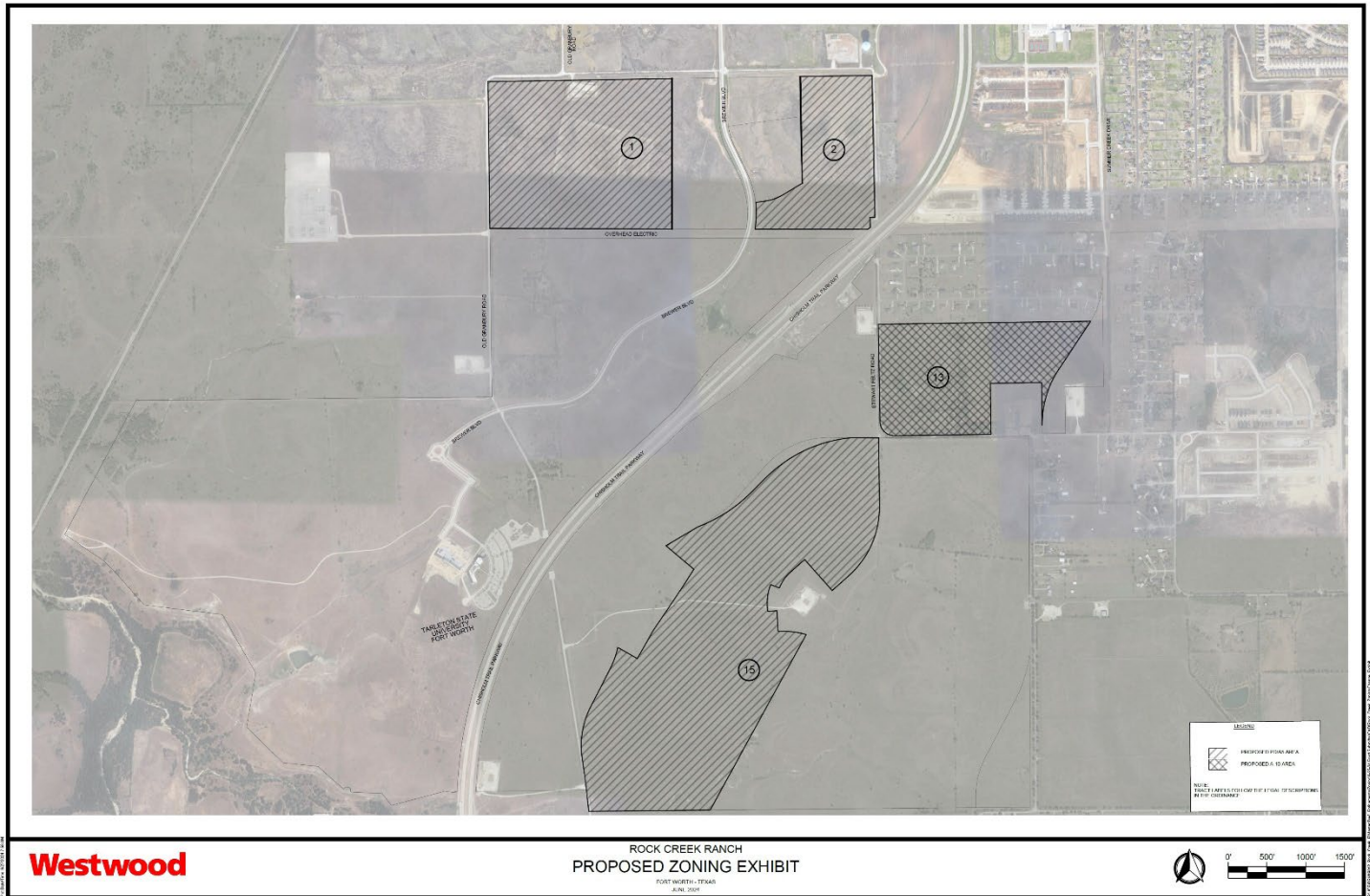
Staff Recommendation: **Approval**

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| 1. Project Description and Background | 6. Zoning Map with 300 ft. Notification Area |
| 2. Surrounding Zoning and Land Uses | 7. Area Map |
| 3. Recent Zoning History | 8. Future Land Use Map |
| 4. Public Notification | 9. Aerial Photograph |
| 5. Development Impact Analysis | 10. Typical Lot Exhibit |

Project Description and Background

The subject site is composed of four tracts (referred to as Tract 1, Tract 2, Tract 13 and Tract 15) in southwest Fort Worth in Council District 6. The applicant is seeking to change the zoning from “A-5” One Family Residential to “PD/A-5” Planned Development for all uses in A-5 One Family Residential, with development standards for lot area, lot width, and lot coverage, Site Plan waived. A small portion of the request is to go to standard “A-10” One Family Residential, which is identified by the developer as Tract 13 and marked with a double cross hatch below.



According to the City of Fort Worth’s Residential Use Table, “A-5” zoning is primarily intended to support single family detached homes. More dense housing types, such as townhouses, rowhouses, or apartments would not be permitted by right in “PD/A-5” zoning, which makes up over 84% of the area of this change of zoning request. The conditions being requested as part of the Planned Development would take the “A-5” standards and make modifications as shown on the table below:

One-Family ("A-5") District		Proposed PD/A-5
Lot area	5,000 square feet minimum see Chapter 6, Development Standards, § 6.501 Lot Area not served by Sanitary Sewer and Chapter 7, Nonconformities, § 7.106 Nonconforming Lot of Record	4,000 square feet minimum
Lot width	50 feet minimum at building line	40 feet at building line
Lot coverage	50% maximum	no lot coverage minimum
Front yard*	20 feet minimum (local street) 15 feet minimum (limited local street)	unchanged
Rear yard	5 feet minimum	unchanged
Side yard*	5 feet minimum	unchanged
Interior lot	10 feet minimum adjacent to side street and	unchanged
Corner lot**	5 feet minimum for interior lot line	unchanged
Height	35 feet maximum (see Chapter 6, Development Standards, § 6.100, Height)	unchanged

In addition to the modifications listed in above, the applicant is requesting the Site Plan requirement be waived. Their reasoning is based on “the large amount of acreage and future planning required for future utilities, roadways, etc. the exact layout of the future subdivisions is not available [at this time].”

The small portion of “A-10”, which is approximately 16% of the total area, would allow the development of single family housing that meets the standards found in Section 4.703 of the Zoning Ordinance. No site plan is required for standard zoning.

One-Family ("A-10") District	
Lot area	10,000 square feet minimum, see Chapter 6, Development Standards, § 6.501 Lot Area not served by Sanitary Sewer and Chapter 7, Nonconformities, § 7.106, Nonconforming Lot of Record)
Lot width	60 feet minimum at building line
Lot coverage	40% maximum
Front yard*	25 feet minimum
Rear yard	10 feet minimum
Side yard *	5 feet minimum
Interior lot	10 feet minimum adjacent to side street and
Corner lot**	5 feet minimum for interior lot line
Height	35 feet maximum see (Chapter 6, Development Standards, § 6.100 Height)

Surrounding Zoning and Land Uses

Tract 1:

North "A-5" One Family residential / single family residential

East "A-5" One Family residential / undeveloped

South "A-5" One Family residential / undeveloped

West City of Fort Worth Extraterritorial Jurisdiction (no zoning) / undeveloped

Tract 2:

North "C" Medium Density Multifamily / water tower & gas wells

East "G" Intensive Commercial / undeveloped

South "PD-1090" Planned Development – High Density Multifamily / undeveloped

West "A-5" One Family residential / undeveloped

Tract 13:

North "A-43" One Family residential / single family residential

East City of Fort Worth Extraterritorial Jurisdiction (no zoning) / gas wells

South "A-5" One Family residential / undeveloped

West "PD-1091" Planned Development – Intensive Commercial / undeveloped

Tract 15:

North "PD-1091" Planned Development – Intensive Commercial / undeveloped

East "A-5" One Family residential / undeveloped

South City of Fort Worth Extraterritorial Jurisdiction (no zoning) / gas wells

West "PD-1094" Planned Development – Intensive Commercial / undeveloped

Recent Zoning History

- ZC-16-085, from Unzoned, “A-43” One-Family, “A-5” One-Family, “R2” Townhouse/Cluster, “C” Medium Density Multifamily, “E” Neighborhood Commercial, “G” Intensive Commercial and “I” Light Industrial to “A-5” One-Family, “D” High Density Multifamily, “CF” Community Facility, “E” Neighborhood Commercial, “F” General Commercial, “G” Intensive Commercial, and “MU-2” high Intensity Mixed-Use, approved by City Council June 2016

Public Notification

300-foot Legal Notifications were mailed on June 28, 2024.

The following organizations were emailed on June 28, 2024:

Organizations Notified	
Chisholm Trail Ranch HOA*	Panther Heights NA*
Crowley ISD	District 6 Alliance
Streams and Valleys Inc	Trinity Habitat for Humanity

**Located closest to these registered Neighborhood Associations*

Development Impact Analysis

Land Use Compatibility

Development in the vicinity is sparse and limited to gas wells and agricultural uses. Of the tracts included in this change of zoning request, none are directly adjacent to any established residential areas or uses. These tracts are proximal to the Chisholm Trail Parkway (CTP) providing north-south access and a connection to major employment centers. There is a nearby commercial area at the intersection of McPherson Boulevard and CTP that will provide services and goods to these new residential areas.

The proposed zoning is **compatible** with surrounding land uses.

Comprehensive Plan Consistency – Far Southwest Sector

The 2023 Comprehensive Plan designates all the tracts involved in this change of zoning request as *future single family residential*. The proposed zoning classifications are in line with the Comprehensive Plan future land use designation of *future single family residential*.

FUTURE LAND USE	DESCRIPTION	IMPLEMENTING ZONING
RESIDENTIAL		
Rural Residential	1+ acre single-family	A-2.5, A-43
Suburban Residential	1/2+ acre single-family	A-21
Single-Family Residential	3,500+ sq. ft. lot single-family	A-10, A-7.5, A-5, AR
Manufactured Housing	Manufactured home parks and subdivisions	MH
Low Density Residential	2,500+ sq. ft. lot single-family, two-family, patio homes, townhouses, cluster housing	B, R1, R2
Medium Density Residential	Up to 36 units/acre multifamily	CR, C, D
Urban Residential	Medium to high density, residential only, pedestrian-oriented development for use between higher and lower intensity uses	UR
High Density Residential	>36 units/acre multifamily, mixed-use multifamily and pedestrian-oriented development in growth centers	UR, MU-1, MU-2, Form-Based Codes

The 2023 Comprehensive Plan currently designates the subject property as *future single family residential*. The zoning types that would be in alignment with this future land use designation are One-Family Residential “A-10”, “A-7.5”, “A-5”, and “AR”. The proposed zoning **is consistent** with the map designation portion of the Comprehensive Plan.

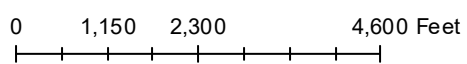
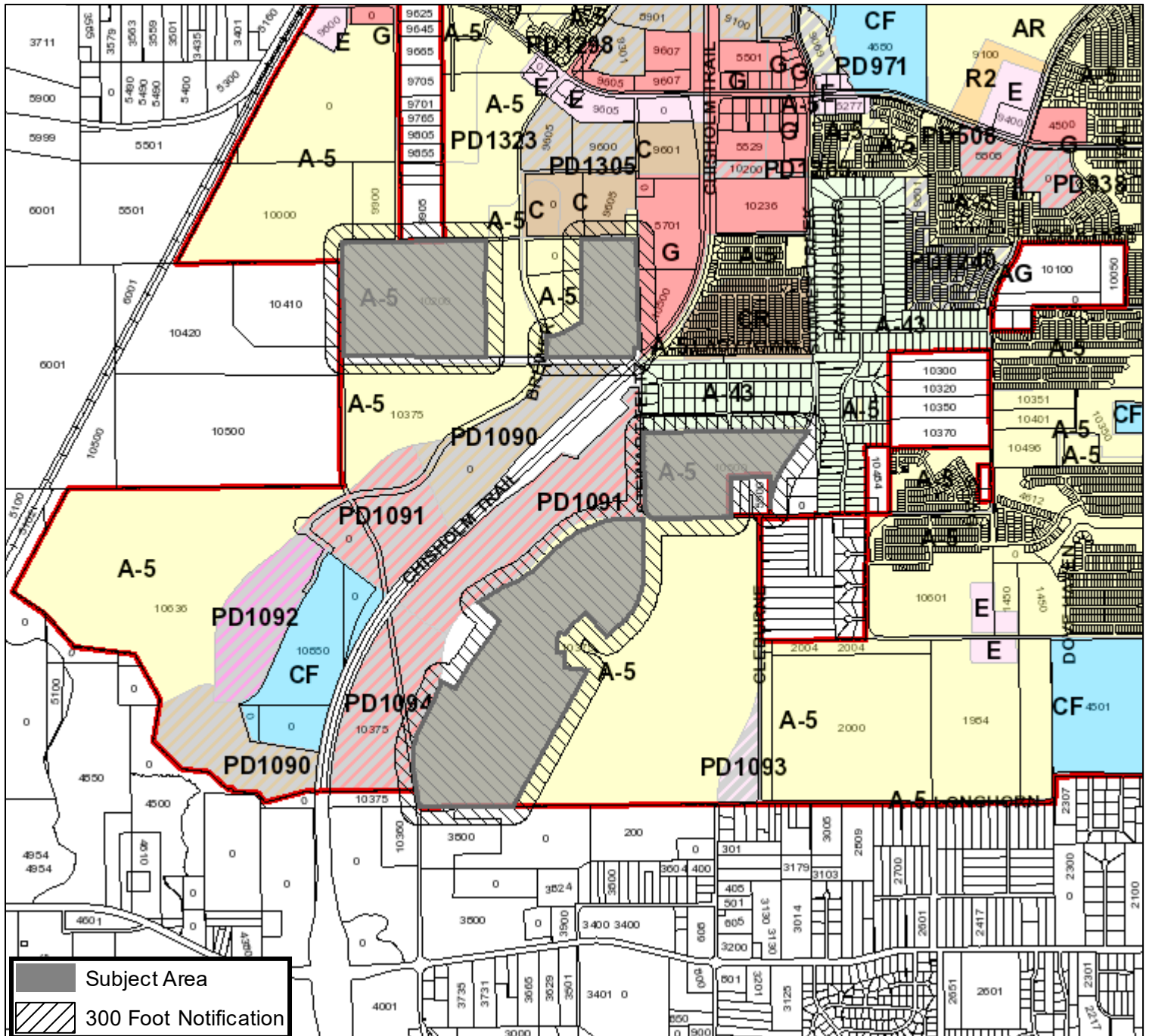
The proposed zoning **is consistent** with the following policies of the Comprehensive Plan:

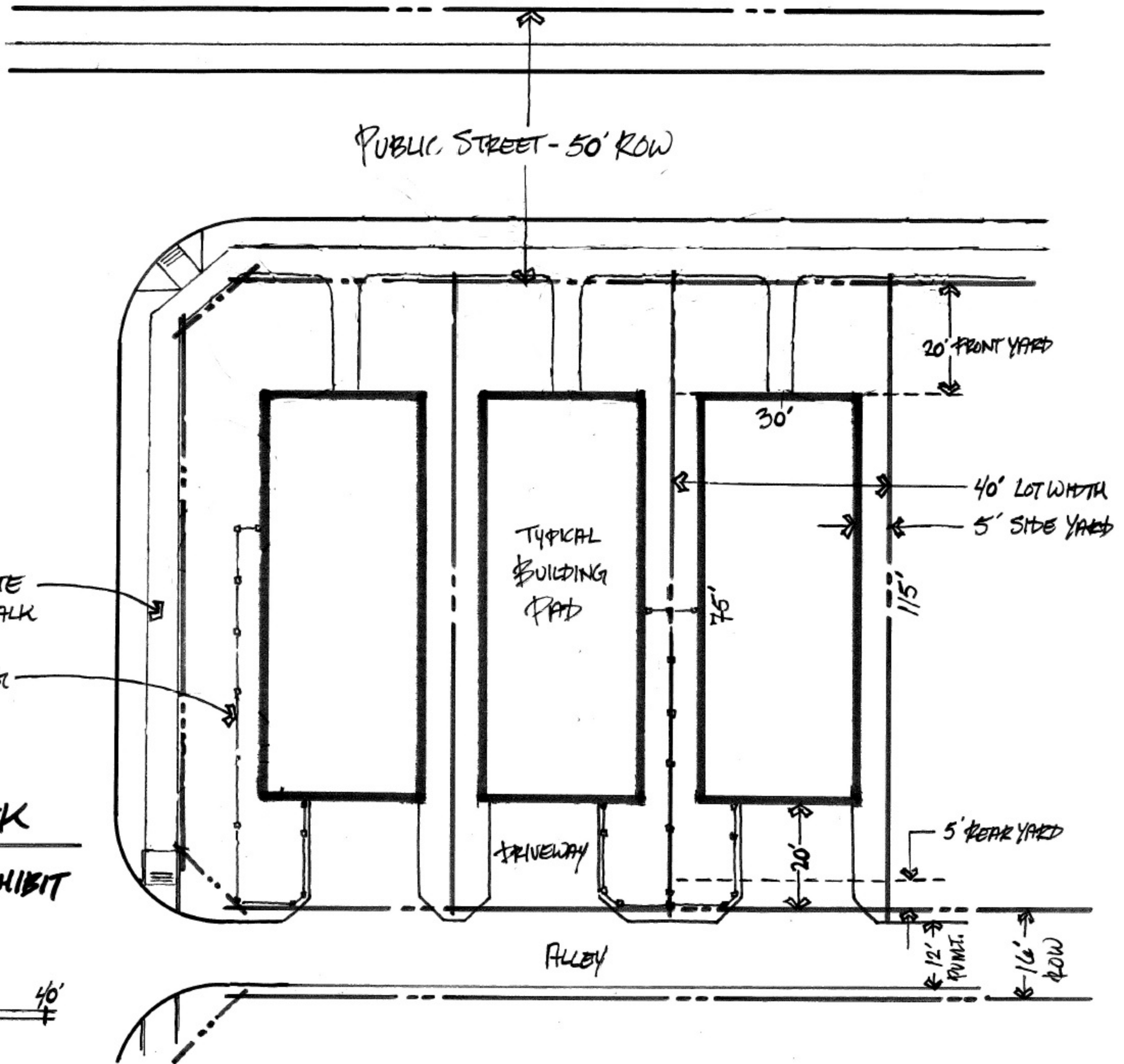
- Promote a variety of housing choices
- Encourage infill of compatible housing
- Provide housing units to improve affordability

In addition to those policies listed above, a change of zoning could potentially be approved when viewed through the lens of growth. The areas surrounding these tracts are by and large undeveloped at the present time, and it is sensible to try and rezone areas for greater density prior to substantial growth occurring nearby.

Area Zoning Map

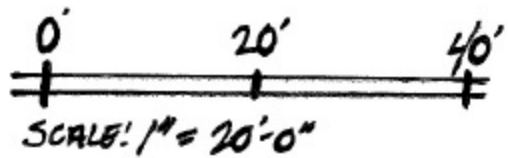
Applicant: Walton Texas LP/Westwood Professional Services
 Address: 10200 Old Cleburne Crowley Road, 10500 W. Cleburne Road & old 10375 Old Granbury R
 Zoning From: null
 Zoning To: null
 Acres: 423.67802715
 Mapsco: Text
 Sector/District: Far_Southwest
 Commission Date: 7/10/2024
 Contact: 817-392-8043



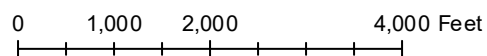
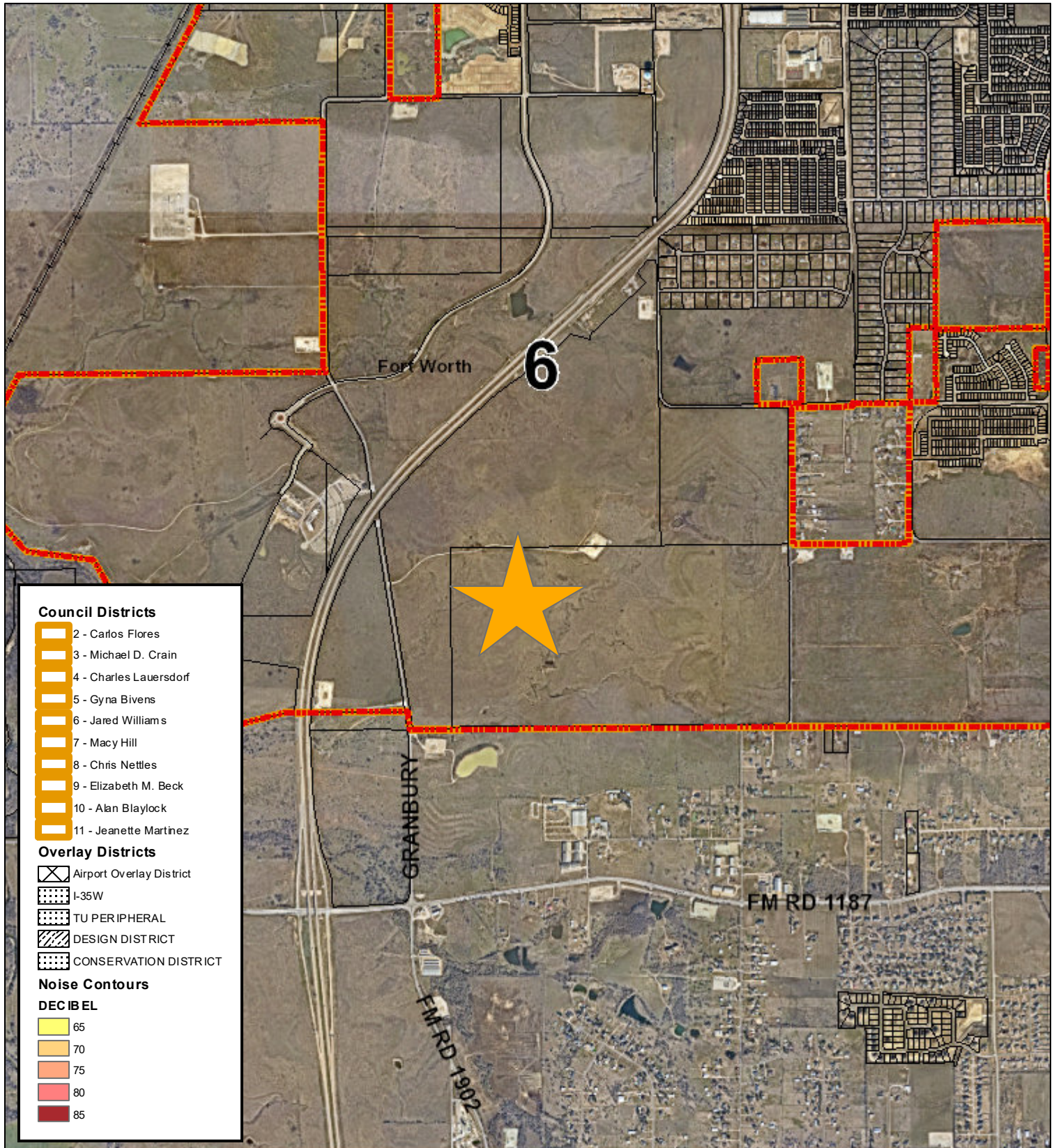


ROCK CREEK

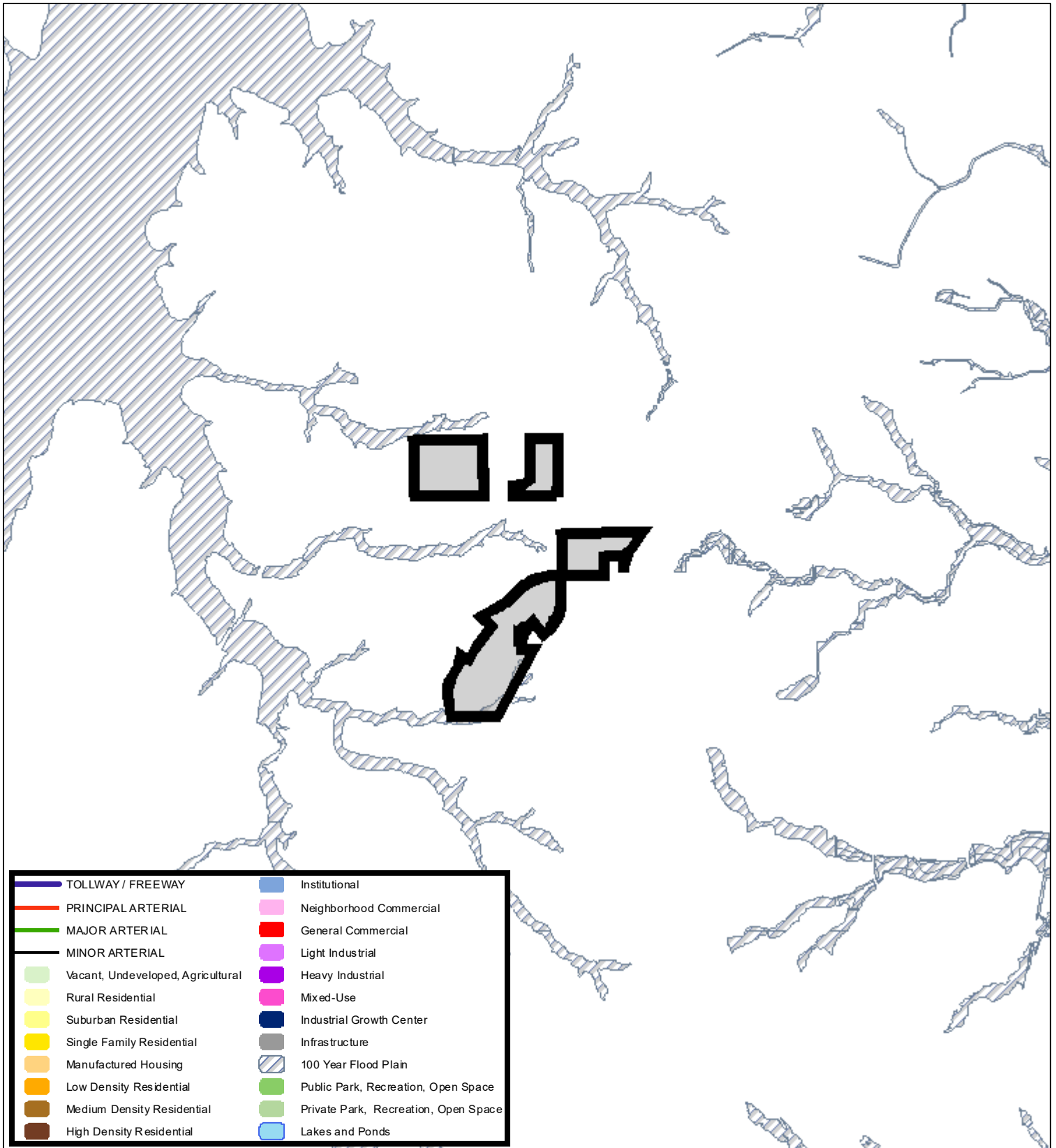
TYPICAL LOT EXHIBIT
@ 40' x 115'



Area Map



Future Land Use

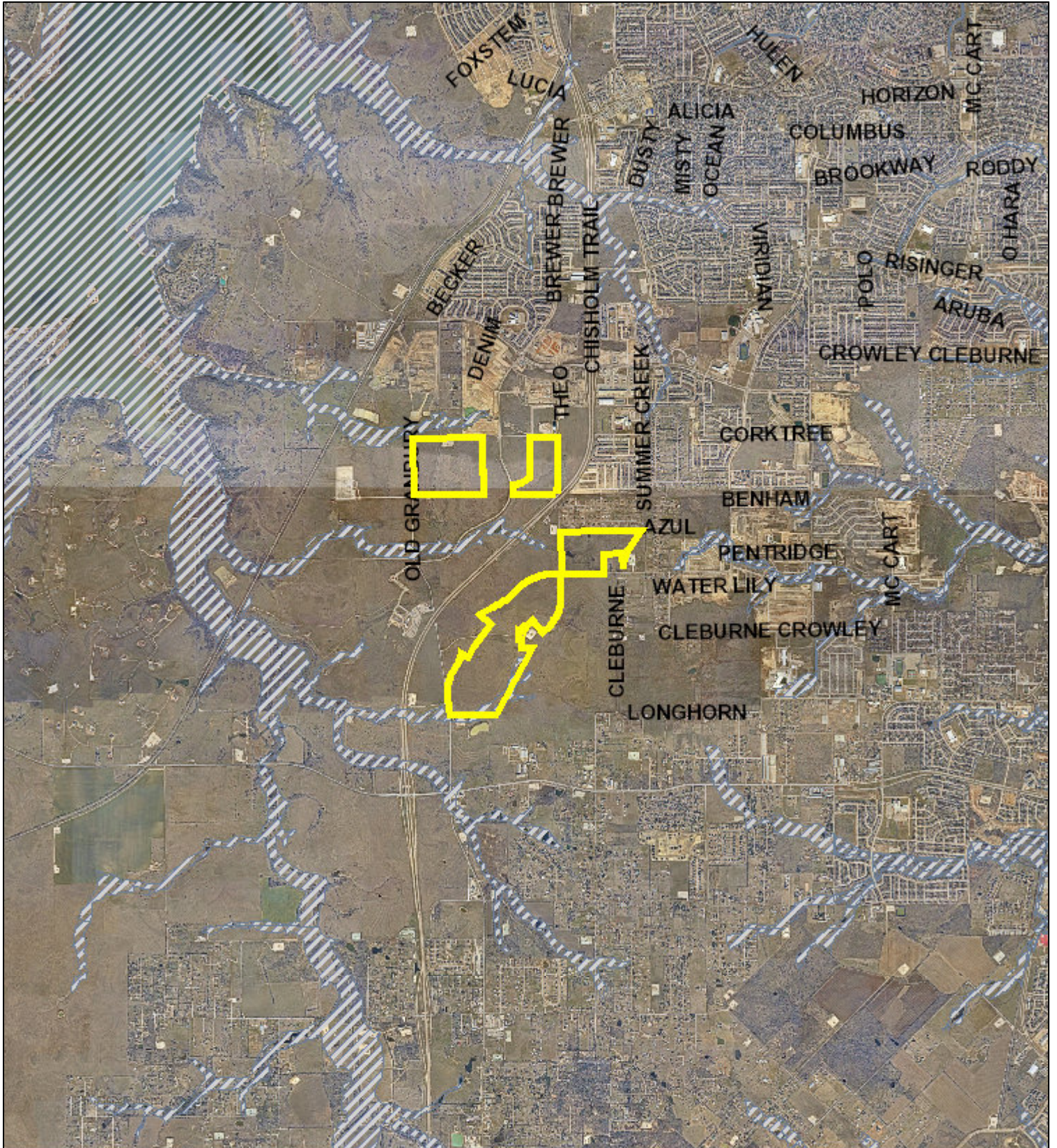


4,300 2,150 0 4,300 Feet

A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



Aerial Photo Map



0 2,800 5,600 11,200 Feet





Zoning Staff Report

Date: July 10, 2024

Case Number: ZC-24-031

Council District: 6

Zoning Map Amendment

Case Manager: Brett Mangum

Owner / Applicant: WUSF 5 Rock Creek East LP/Westwood Professional Services

Location: 10375 Old Granbury Road; East side of Chisholm Trail Pkwy, ±5,000' south of the intersection with McPherson Blvd

Acreage: 120.92 acres

Request

Proposed Use: Adding 'Data Center' land use to allowed uses in existing PD-1091 and requesting increase in allowable height from 45' to 105'

Request: To: Amend "PD 1091" Planned Development for all uses in "F" General Commercial plus Data Center, with development standard for height, Site Plan waived

Recommendation

Land Use Compatibility: Requested change **is not compatible**

Comprehensive Plan Map Consistency: Requested change **is not consistent**

Comprehensive Plan Policy Consistency: Requested change **is not consistent**

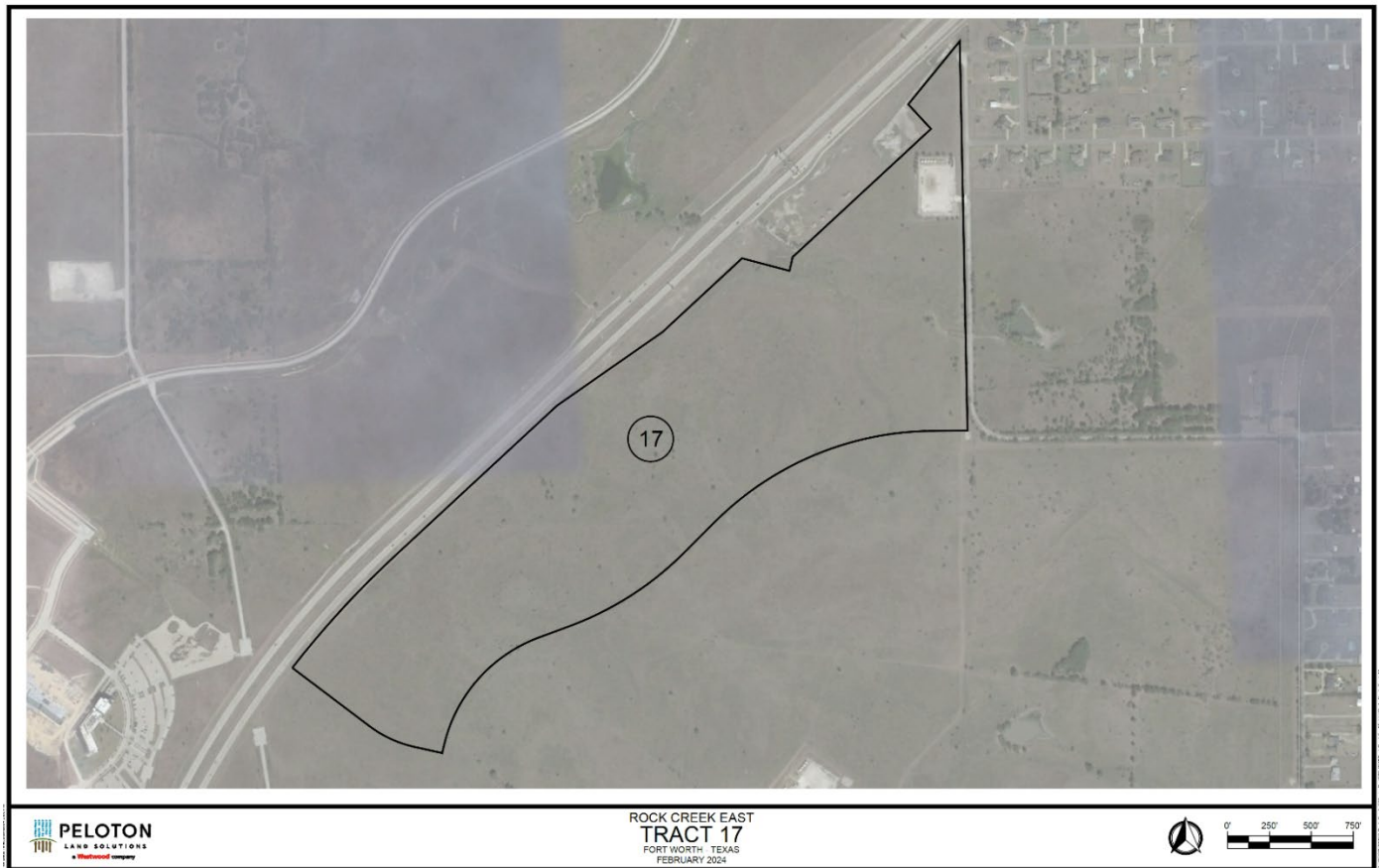
Staff Recommendation: **Denial**

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| 2. Surrounding Zoning and Land Uses | 7. Area Map |
| 3. Recent Zoning History | 8. Future Land Use Map |
| 4. Public Notification | 9. Aerial Photograph |
| 5. Development Impact Analysis | 10. Rock Creek Ranch Concept Plan (2017) |

Project Description and Background

The subject site is a tract of land located on the eastern side of Chisholm Trail Parkway between the McPherson Blvd. exit and the Tarleton State University campus in southwest Fort Worth, in Council District 6. The site is part of a larger planned community known as Rock Creek Ranch. Much of the planned roadway infrastructure in this area is not yet constructed, and the tract is only accessible from Stewart Feltz Road at the present time. The applicant is seeking to modify the existing Planned Development PD-1091 zoning on the site to add “Data Center” as an allowable land use. The current PD allows all uses in “F” General Commercial zoning. A Data Center requires industrial zoning to be allowed by right, in “I”, “J”, or “K” zones, or else through a PD. Also included in this change of zoning request is an increase in allowable height from the standard 3 stories or 45’ maximum in “F” zoning, to 3 stories or 105’ maximum.



The original zoning case for this area was originally requesting standard “F” zoning. However, the City Council instead approved the zoning for this tract as a “PD-F” Planned Development based on “F” General Commercial zoning, with ‘Site Plan Required’. This means that a Site Plan will be submitted at a future time for approval by Zoning Commission and City Council. The areas closest to the Chisholm Trail Parkway (CTP) toll road were changed by City Council at the time to PD’s with Site Plans required, indicating an interest in quality design for the areas closest to and most visible from the toll road. The remainder of the areas further away from the CTP were granted standard zoning as requested, with no Site Plan requirement.

- Site Plan Included (completed site plan is attached to this application)
- Site Plan Required (site plan will be submitted at a future time for approval by Zoning Commission and City Council)
- Site Plan Waiver Requested (in the box above, explain why a waiver is needed)

Zoning staff does not support the Site Plan Waiver requested as part of this application (excerpt of application document included above for reference), which would allow development on this site without a bona fide Site Plan reviewed and approved by Zoning Commission & City Council. Providing a Site Plan as part of a Planned Development zone is standard procedure. If the development is ready to proceed at the time of zoning, Site Plan Included means a Site Plan is attached for review and approval alongside the zoning request. If the development is not ready to proceed at the time of zoning, a Site Plan Required means that a second standalone submittal would be required at such point when development is ready to proceed. Having a Site Plan can give staff and City officials a better understanding of the intended layout, scope, and function of the proposed development.

Surrounding Zoning and Land Uses

North "A-43" & "A-5" One Family residential / single family residential & undeveloped
 East "A-5" One Family residential / undeveloped
 South "PD-1094" Planned Development-Intensive Commercial, Site Plan Required & "E" Neighborhood Commercial / undeveloped
 West "PD-1090" Planned Development-High Density Multifamily, Site Plan Required & "PD-1091" Planned Development-General Commercial, Site Plan Required / Chisholm Trail Parkway & undeveloped

Recent Zoning History

- ZC-16-085, from Unzoned, "A-43" One-Family, "A-5" One-Family, "R2" Townhouse/Cluster, "C" Medium Density Multifamily, "E" Neighborhood Commercial, "G" Intensive Commercial and "I" Light Industrial to "A-5" One-Family, "D" High Density Multifamily, "CF" Community Facility, "E" Neighborhood Commercial, "F" General Commercial, "G" Intensive Commercial, and "MU-2" high Intensity Mixed-Use, approved by City Council June 2016

The Rock Creek Concept Plan approved in 2017 is attached to this staff report for reference.

Public Notification

300-foot Legal Notifications were mailed on April 26, 2024.
 The following organizations were emailed on April 26, 2024:

Organizations Notified	
Chisholm Trail Ranch HOA*	Panther Heights NA*
Crowley ISD	District 6 Alliance
Streams and Valleys Inc	Trinity Habitat for Humanity

**Located closest to these registered Neighborhood Associations*



Development Impact Analysis

Land Use Compatibility

Development in the vicinity is sparse and limited to gas wells and agricultural uses. The site is situated close to the Chisholm Trail Parkway, with a planned interchange at the southern end of the tract providing future access. This toll road is a major corridor emanating from downtown Fort Worth and connecting to Johnson County and Cleburne to the south. Due to the topography and lack of development at the present time, this site is highly visible for the users of this toll road.

The current zoning of PD-F allows development up to 3 stories or 45', which is sensible in the context of the large tracts planned for single family residential development just to the north and east. Allowing heights up to 105' would be out of scale with the planned surroundings, which will be one- to two-story residential houses. For context, 105' would equal approximately 8 or 9 stories at 12' per story.

Data centers are a quasi-industrial use, as evidenced by their inclusion in the City's nonresidential land use table under "I" Light, "J" Medium, or "K" Heavy Industrial zones. Data centers are not allowed by right in any commercial zones. Additionally, the proposed zoning does not match the spirit and intent of the approved Rock Creek Ranch Concept Plan, which calls for this site to be developed as mixed use. Data Centers are typically not active, contributing buildings, and are more of a boxy warehouse type of building, with little employment generated and minimal attractive qualities. The proposed zoning **is not compatible** with surrounding land uses.

Comprehensive Plan Consistency – Far Southwest Sector

The 2023 Comprehensive Plan designates the subject site as *future community mixed use-growth center*.

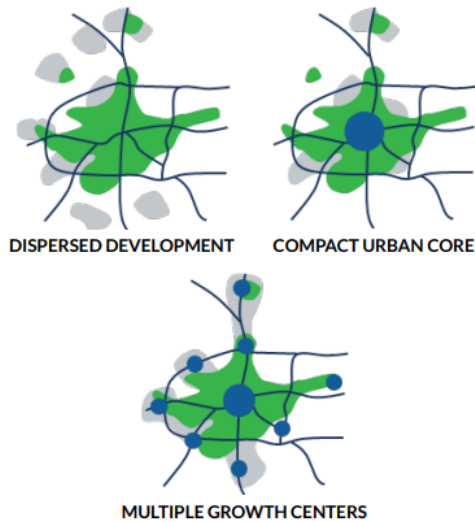
FUTURE LAND USE	DESCRIPTION	IMPLEMENTING ZONING
MIXED-USE		
Mixed-Use	Retail, services, offices, entertainment, mixed uses, and multifamily residential (>36 units/acre multifamily, mixed-use multifamily and pedestrian-oriented development)	UR, MU-1, MU-2, Form-Based Codes, All Commercial
Mixed-Use Growth Center	Retail, services, offices, entertainment, mixed uses, and multifamily residential; Community Growth Centers are less intensive, and Regional Growth Centers are more intensive	UR, MU-1, MU-2, Form-Based Codes, All Commercial

While commercial zones are considered acceptable for future mixed use areas, this proposed change of zoning to allow the addition of 'Data Center' to the current PD-F **is not consistent** with the Comprehensive Plan future land use map designation, as data centers do not possess the characteristics of a community growth center, including a high concentration of jobs, pedestrian activity, or variety. Data centers are not associated with being bustling, diverse, or contributing meaningfully towards a sense of place.

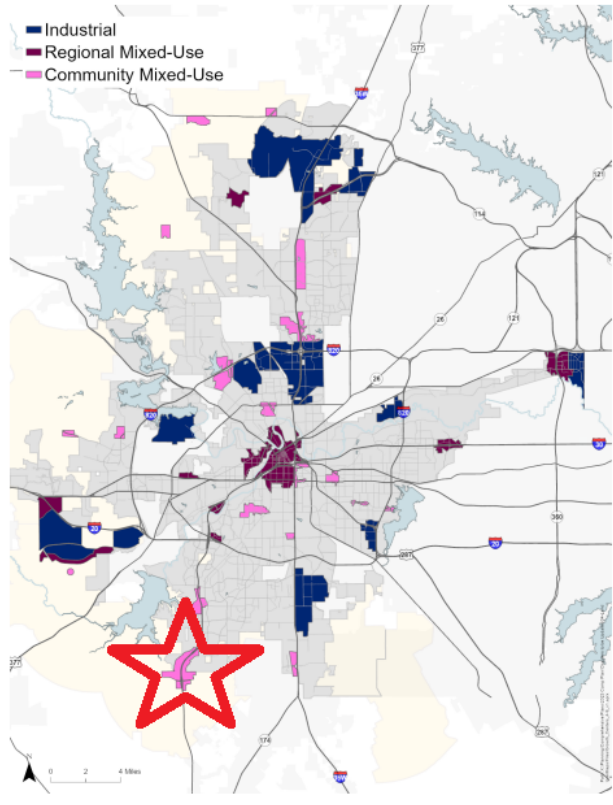
The multiple growth centers concept promotes compact urban land use within designated areas and lower intensities of land use elsewhere. As an alternative to the typical urban/suburban pattern, Fort Worth's Comprehensive Plan advocates for the development of multiple growth centers.

Growth centers are located along highway or rail corridors to facilitate transportation linkages to other growth centers. A network of growth centers can accommodate citywide growth with fewer environmental impacts, less land consumption and traffic generation, and less pollution than a dispersed development pattern. The North Central Texas Council of Governments is also promoting this growth strategy in response to growing concerns over traffic, pollution, and reduced funding for transportation infrastructure.

URBAN DEVELOPMENT PATTERNS



INDUSTRIAL AND MIXED-USE GROWTH CENTERS



MIXED-USE GROWTH CENTERS

Mixed-use growth centers are highly urbanized places containing many characteristics of a downtown including a high concentration of jobs and housing, schools, parks, and other public facilities, public transportation hubs, and pedestrian activity. Its predominant land uses are residential and commercial. Within a small geographic area, different land uses are found side by side or within the same building. These places tend to be bustling and diverse, with a sense of place.

Criteria for designating new mixed-use growth centers are listed below, with centers often having (or planned to have) three or more of the following characteristics:

- A high concentration of employees – 10,000+ employees per square mile.
- A high concentration of residents – 10,000+ residents per square mile.
- One or more major transportation facilities – an airport, railroad, highway, public transit, or arterial roadway.
- An existing or planned transit-oriented development (TOD).
- Major institution(s) – a university, government facility, or hospital.
- Major tourist destination(s) – 100,000+ visitors per year.

Some mixed-use growth centers serve a large region, while others serve local residents. The functions and characteristics of the two different growth center concepts are generally the same, with variations in the size of their service areas and intensity of development.

REGIONAL MIXED-USE GROWTH CENTERS

Alliance Gateway East	Hulen/Cityview
Centreport	Nance Ranch*
Clearfork	Near Southside/Medical District
Cultural District	Ridgmar
Downtown	Veale Ranch*
Eastchase	Walsh Ranch*

COMMUNITY MIXED-USE GROWTH CENTERS

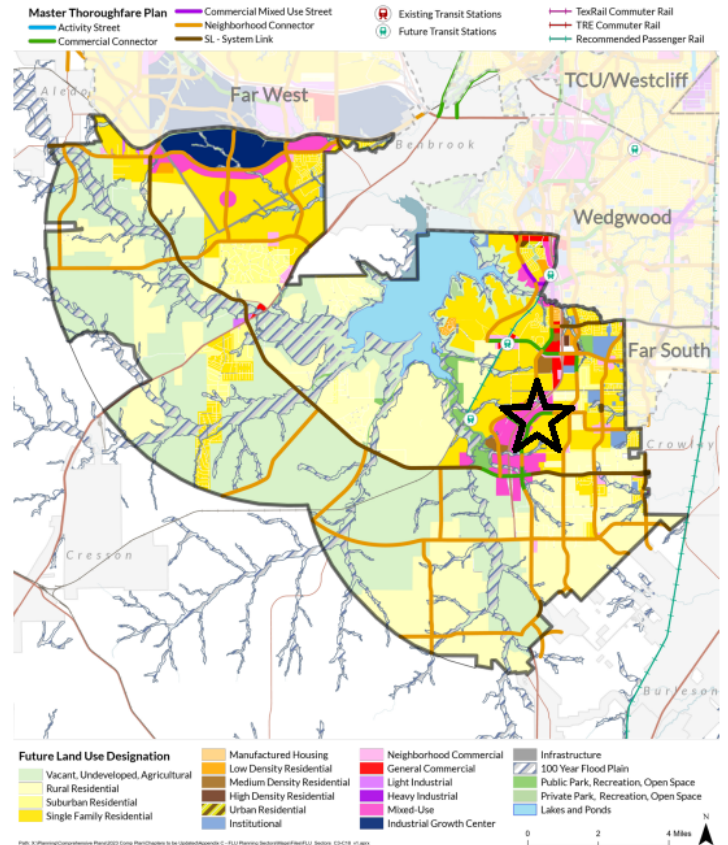
114 Crossing TOD*	Near Southeast*
Alliance Town Center*	Polytechnic/Texas Wesleyan
Alpha Ranch*	SH 121/FM 1187*
Fleming Ranch*	Silver Creek*
Fossil Creek	Spinks/Huguley
Huldy/Tannahill Ranches*	Stockyards
La Gran Plaza	Summer Creek TOD*
Lake Arlington*	Texas Christian University
Marine Creek*	Veale Ranch Center *
Miller/Berry*	

In addition, This proposal is not clearly supported by any policies or strategies contained within the City's adopted Comprehensive Plan. As a result, the request is **not consistent** with the Comprehensive Plan policy-wise. None of the fifteen policies specific to the Far Southwest sector (included below for reference) seem to clearly support the proposed change of zoning. A star has been added to the map to show the general location of the site.

FAR SOUTHWEST SECTOR FUTURE LAND USE

Sector Land Use Policies

- Promote fiscally sustainable growth on the periphery of the city by encouraging development adjacent to existing adequate infrastructure and discouraging leapfrog development.
- Support the extension of rail transit to the Far Southwest sector.
- Promote transit-oriented development (TOD) around the planned Summer Creek TEX Rail station.
- Promote commercial, mixed-use, and urban residential development within the Summer Creek Future TOD and SH 121/FM 1187 Mixed-Use Growth Centers, including the new Tarleton State University campus area.
- Within the Lake Benbrook watershed, promote the clustering of new residential development to preserve as common open space or dedicated parkland the following types of land features: floodplains, riparian buffers, steep slopes, wooded areas, special habitat areas, and unique views.
- Promote only those uses near Lake Benbrook that will ensure protection of water quality, including protection of riparian buffers and use of Green Infrastructure techniques.
- Encourage the preservation and enhancement of the natural landscape by retaining trees, natural drainage ways, and unique vistas.
- Protect land needed for Green Infrastructure projects such as natural stormwater conveyance and detention, riparian buffer protection, and linear greenways with hike & bike trail alignments.
- Create a hike & bike trail network in growing areas by promoting a connected system of pathways within floodplains and other open space corridors.
- Promote the use of parallel local access lanes along major roadways to encourage development in which the front façade of homes can face the street without the need for multiple driveway curb-cuts on the major street, thereby preserving traffic flow and safety, increasing the pedestrian friendliness of the street, and eliminating the canyon effect of backyard fences lining the street.
- Encourage major employers, retail, and urban residential to locate at or near proposed transit stops and entryways to the Chisholm Trail Parkway toll road, and the Walsh Ranch and Veale Ranch Growth Centers.
- Encourage urban residential development in appropriate locations to create more walkable, pedestrian-oriented neighborhoods.
- Work with school districts to identify suitable sites for future school development that make efficient use of existing infrastructure.
- Promote healthy physical activity among children by designing enhanced walkability into neighborhoods surrounding new and proposed school sites.
- Encourage co-location of schools and public parks to promote shared use of facilities and to reduce maintenance costs.



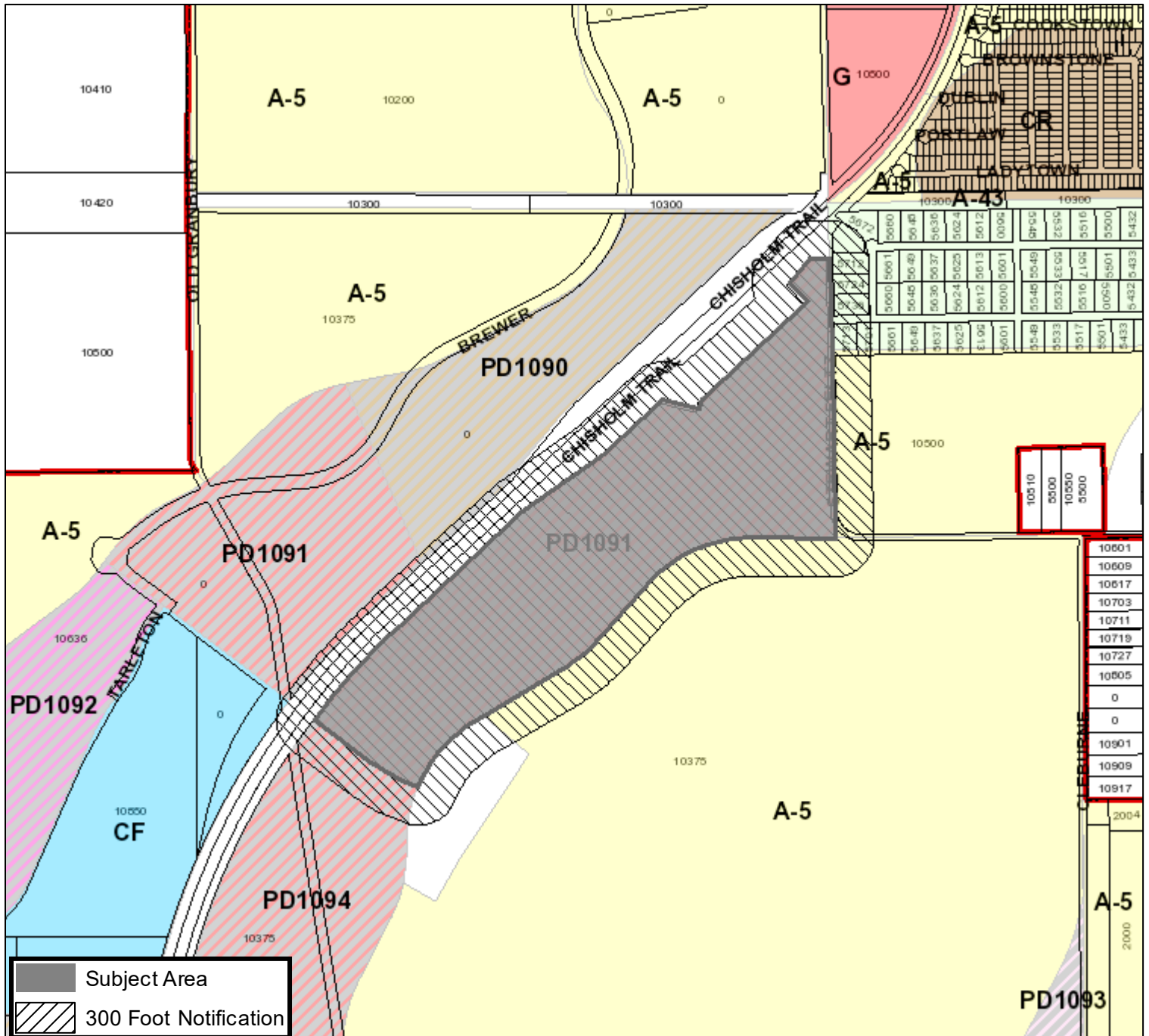
"A comprehensive plan shall not constitute zoning regulations or establish zoning district boundaries."
Texas Local Government Code, Section 219.005.



ZC-24-031

Area Zoning Map

Applicant: Barry Dluzen
 Address: 10375 Old Granbury Road
 Zoning From: PD 1091 (tract 12)
 Zoning To: To add data center to uses, add height waiver to height and site plan
 Acres: 120.92148122
 Mapsco: Text
 Sector/District: Far_Southwest
 Commission Date: 5/8/2024
 Contact: 817-392-2495



0 550 1,100 2,200 Feet

NOTES:

- The Concept Plan is a guide plan and establishes land uses and their general locations. The acreage tabulations shown on the Concept Plan are approximate.
- Road alignments shown are conceptual and subject to further refinement and adjustment at time of preliminary platting and design.
- All streets adjacent to the proposed school site shall be 60' right of way.
- Residential areas and dwelling units as shown may be altered or revised within the development.
- The entire 1,755 acres lies within the City of Fort Worth and is currently vacant.
- The project will utilize City of Fort Worth water and sanitary sewer systems.
- The entire project lies within the Crowley ISD.
- Building lines will be per the City of Fort Worth Zoning Ordinance or Development Design Guidelines whichever is more restrictive.
- Phasing of the property has not been determined and is not shown. Phasing of the property will be determined by future marketing studies and by the completion of proposed Chisolm Trail Parkway.
- According to graphical plotting of the FEMA Flood Insurance Rate Map for Tarrant County, Texas, Incorporated Areas, Panel 410 of 495, Map Number 48439C0410 K, map revised date September 25, 2009, indicates portions of the subject property are located in Zone A, defined as areas inundated by the 100 year flood plain. This statement does not reflect any type of flood study by this firm.
- Areas shown on this exhibit as future Neighborhood Parks shall be suitable for construction of all Phase 1 Neighborhood Park Facilities per the Park, Recreation and Open Space Master Plan. All land proposed as Public Park shall be approved by Parks and Community Services and shown on all plat documents as "Proposed Public Park".
- This plat identifies preliminary need and locations for storm water storage facilities known as detention ponds. It is expressly understood and agreed by the owner or owner's designee of any specific lot or tract within the platted subdivision that the owner or owner's designee of lots or tracts shall be responsible to provide for the final detention volume mitigation during the site development. The preliminary detention storage volume estimate is noted at each location. The final detailed analysis detention volume and required easement may be more or less than shown on this plat. The detention pond design shall be in accordance with the city of fort worth stormwater criteria manual current at the time the final iswm plan is submitted.

Area Development Concept Plan

For 1,755± Acres At

Rock Creek Ranch

in the southwest part of Fort Worth, Tarrant County, Texas

Reference Zoning Case: **TBD**

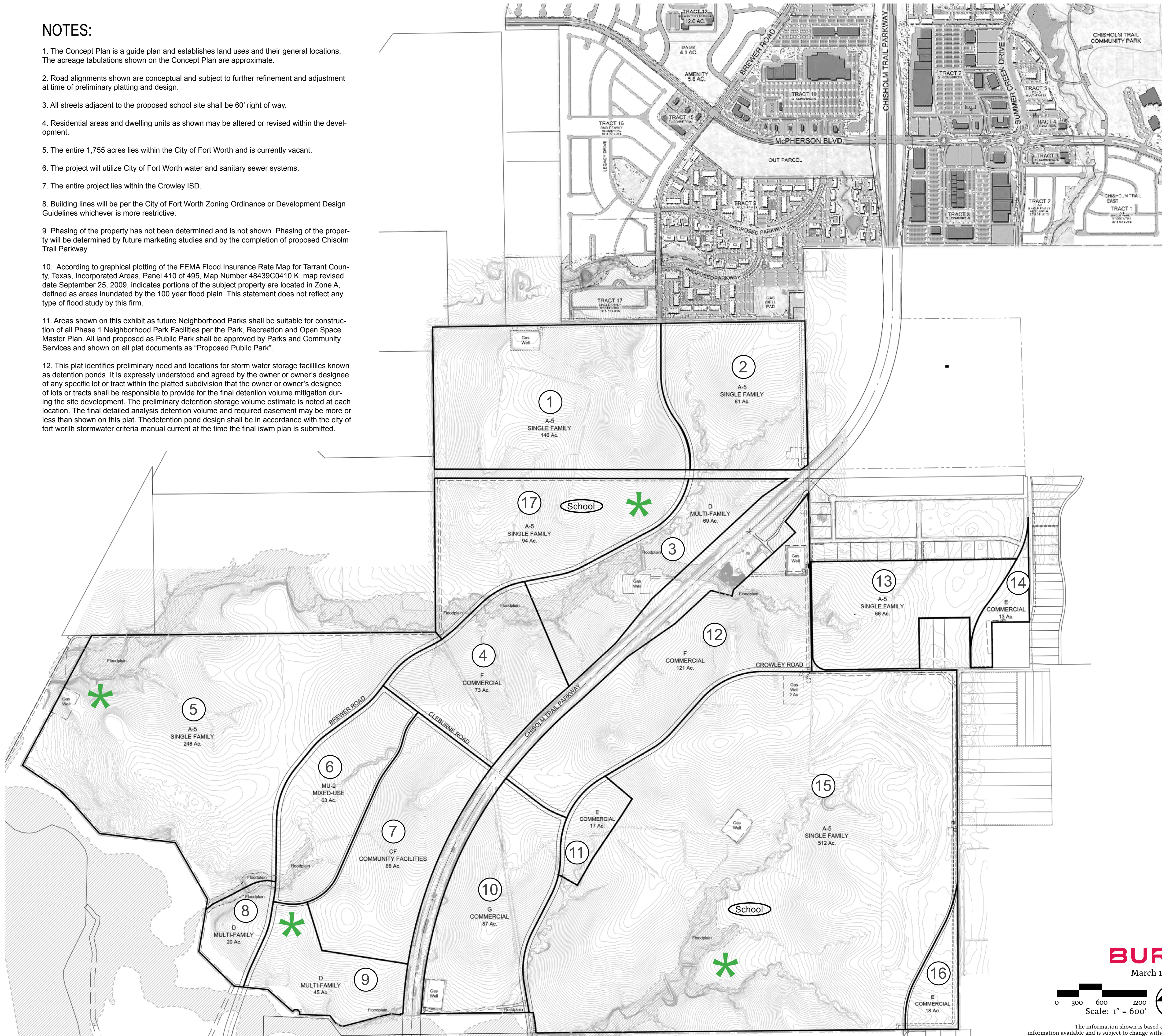
OWNER / DEVELOPER
Walton Development and Management (USA), Inc.
777 Main Street, Suite 600
Fort Worth, TX 76102

ENGINEER / SURVEYOR
BURY, Inc.
5310 Harvest Hill Road, Suite 100
Dallas, TX 75230
(972) 991-0011

LEGEND

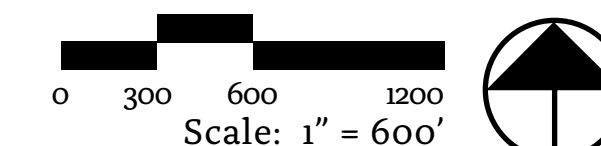
- 1 FT CONTOUR
- FLOODPLAIN
- ZONE BOUNDARY
**ZONE BOUNDARIES ARE FLEXIBLE AND SUBJECT TO CHANGE*
- POTENTIAL SCHOOL
**LOCATION AND NEED TO BE DETERMINED AT LATER DATE*
- NEIGHBORHOOD PARK
**LOCATION TO BE FINALIZED AT LATER DATE*

Tract	± Acres	Land Use	Zoning District
1	140	SF Residential	A-5
2	81	SF Residential	A-5
3	69	Multi-Family	D
4	73	Commercial	F
5	248	SF Residential	A-5
6	63	Mixed Use	MU-2
7	88	Commercial	CF
8	21	Multi-Family	D
9	45	Multi-Family	D
10	87	Commercial	G
11	17	Commercial	E
12	121	Commercial	F
13	66	SF Residential	A-5
14	13	Commercial	E
15	512	SF Residential	A-5
16	18	Commercial	E
17	94	SF Residential	A-5



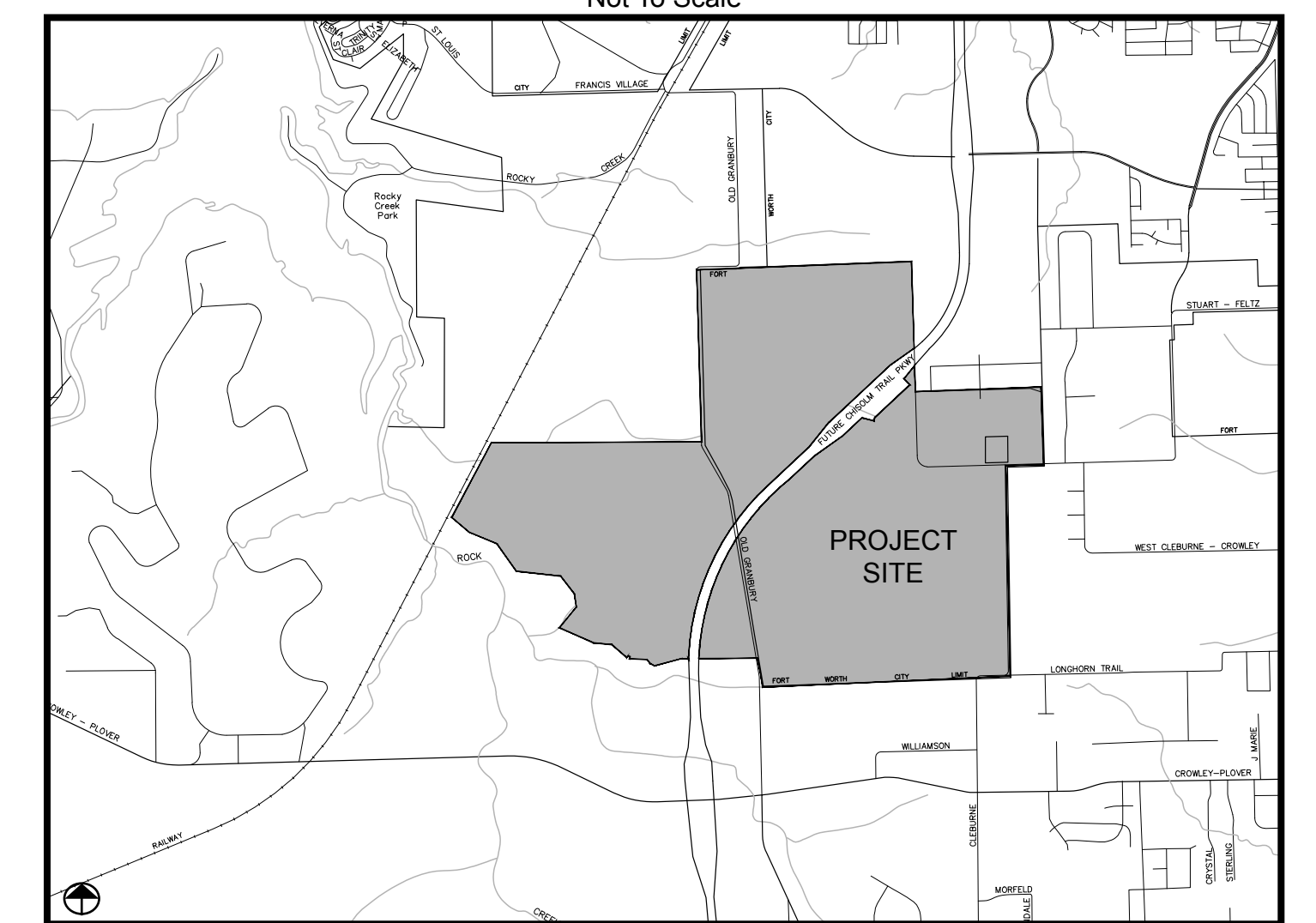
BURY

March 14, 2016

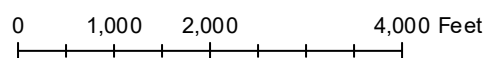
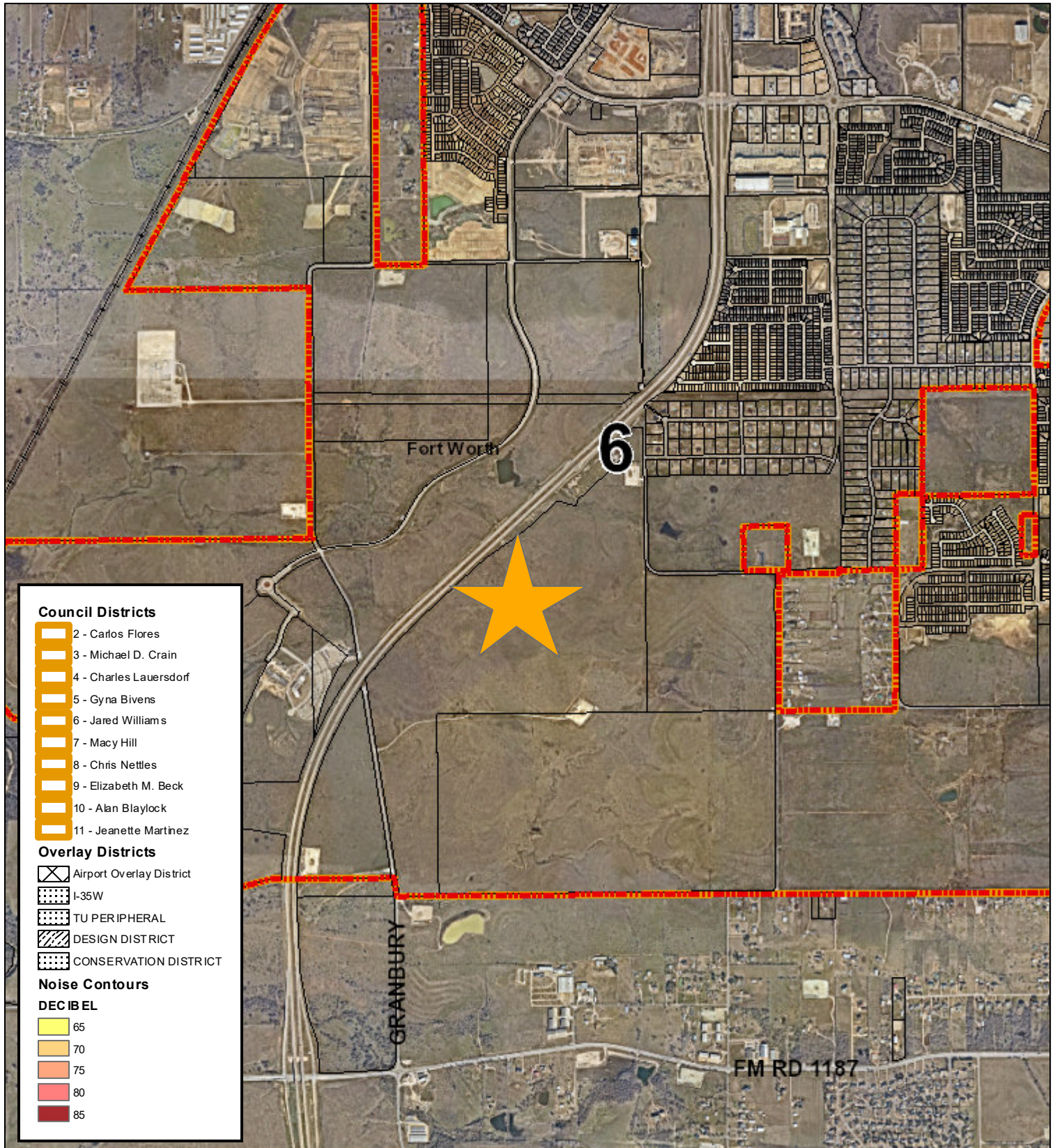


The information shown is based on the best information available and is subject to change without notice.

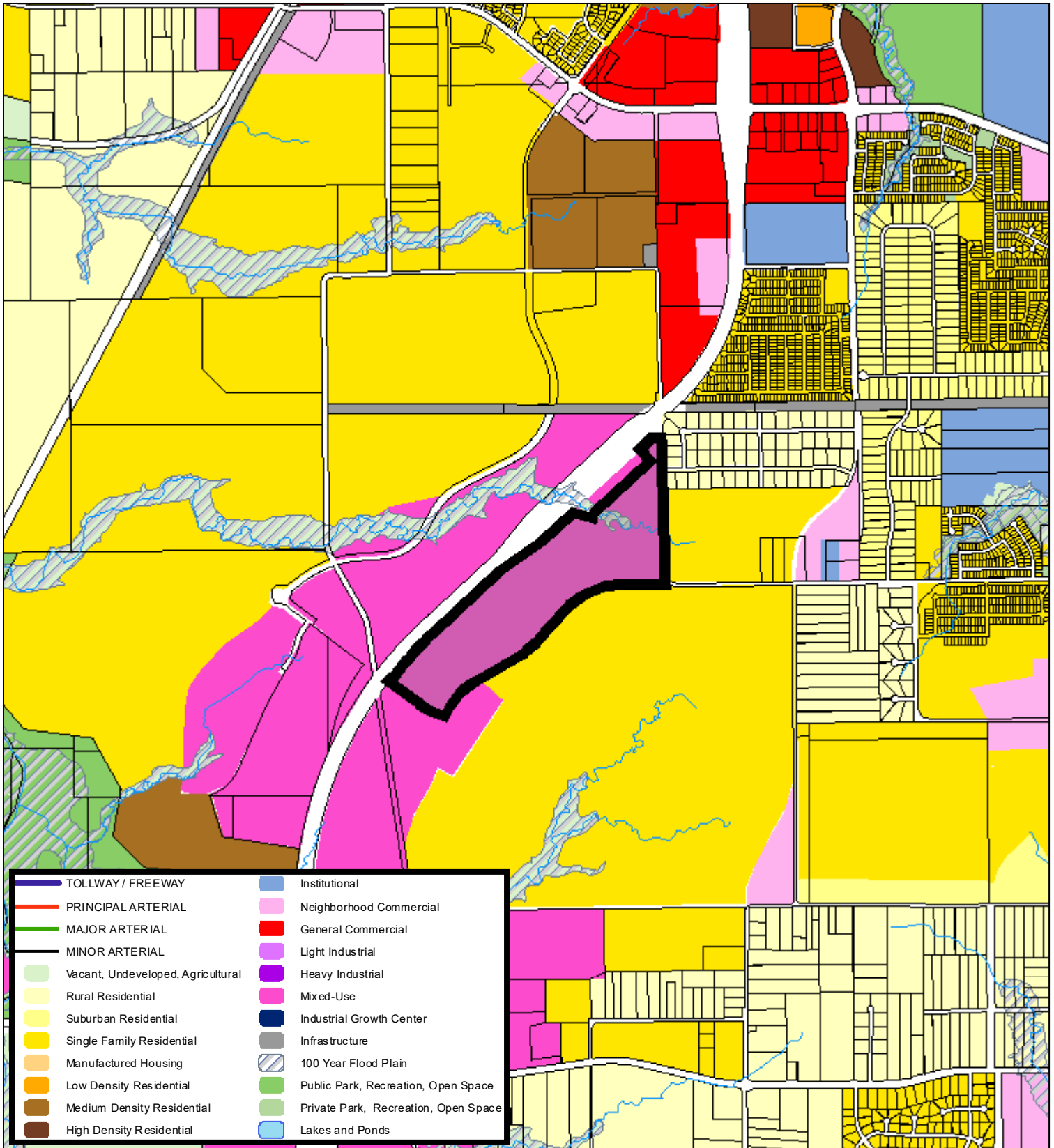
VICINITY MAP
Not To Scale



Area Map



Future Land Use

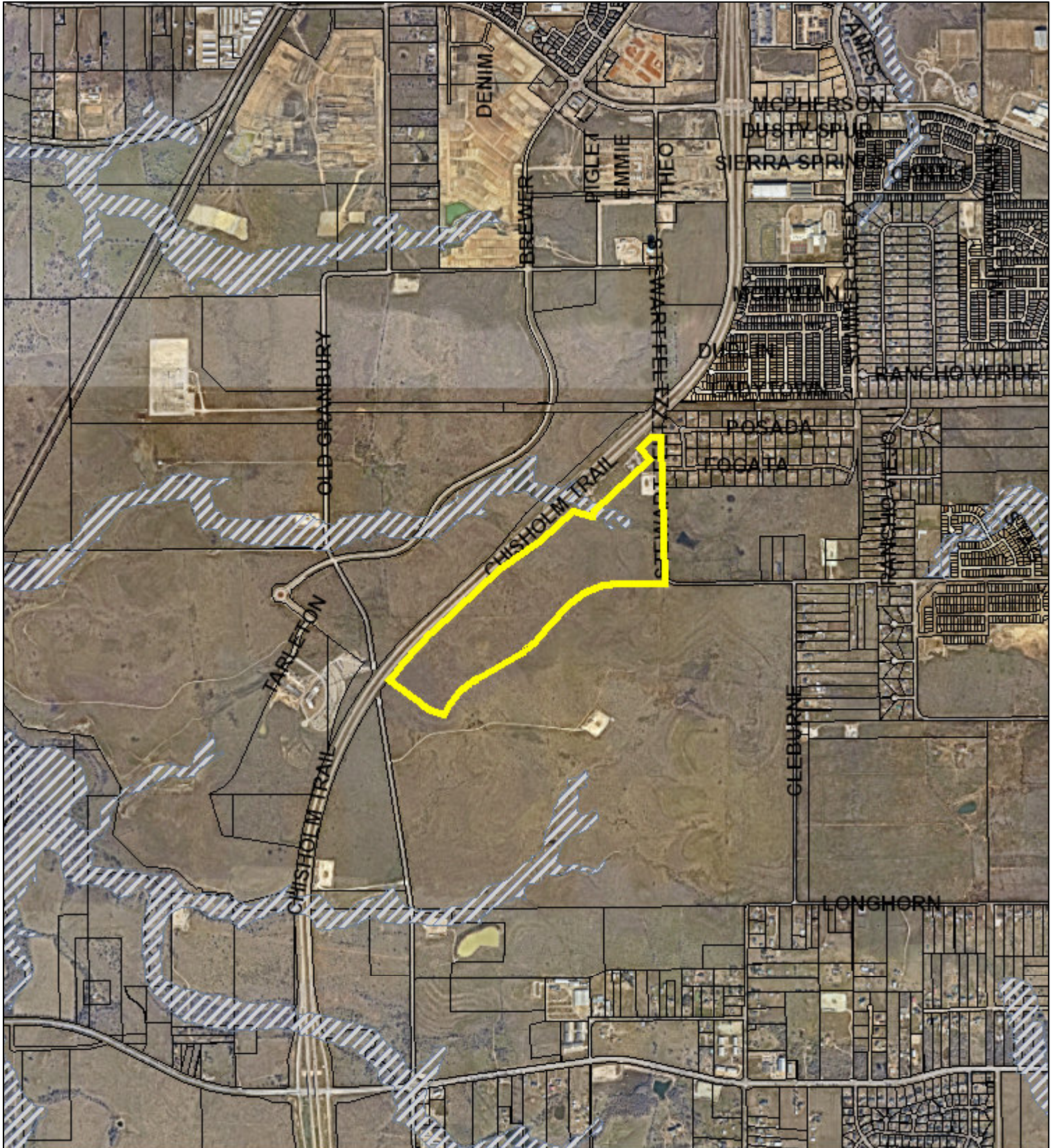


1,800 900 0 1,800 Feet

A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



Aerial Photo Map



0 1,200 2,400 4,800 Feet





Zoning Staff Report

Date: July 10, 2024

Case Number: ZC-24-049

Council District: 2

Conditional Use Permit

Case Manager: [Alondra Salas-Beltré](#)

Owner / Applicant: Fort Worth Quarry Company LLC / QT South LLC

Site Location: 4800 Old Decatur Road

Acreage: 0.97 acres

Request

Proposed Use: Automated car wash

Request: To: Add Conditional Use Permit (CUP) to allow a carwash facility in “E” Neighborhood Commercial; site plan included

Recommendation

Land Use Compatibility: Requested change **is not compatible**

Comprehensive Plan Map Consistency: Requested change **is consistent**

Comprehensive Plan Consistency: Requested change **is not consistent**

Staff Recommendation: **Denial**

Table of Contents

- | | |
|---|--|
| 1. Project Description and Background | 6. Zoning Map with 300 ft. Notification Area |
| 2. Surrounding Zoning and Land Uses | 7. Site Plan |
| 3. Recent Zoning History | 8. Area Map |
| 4. Public Notification | 9. Future Land Use Map |
| 5. Development Impact Analysis | 10. Aerial Photograph |
| a. Land Use Compatibility | |
| b. Comprehensive Plan Consistency | |
| c. Site Plan Comments | |

Project Description and Background

The proposed site is an undeveloped area located about 330 feet north of the northeast corner of Northwest loop 820 & Decatur Road. The applicant seeks a Conditional Use Permit to construct an automated carwash facility. Automated carwashes are allowed in industrial and commercial districts G when the distance from a residential district or use exceeds 200 feet but require CUP approval in all other commercial zones.

Conditional uses, such as the proposed carwash facility, are generally compatible with the permitted land uses in a given zoning district. However, they undergo a rigorous individual review process examining their proposed location, design, and configuration. This process ensures that the use is appropriate for a particular location and considers the community's concerns.

While a carwash is not permitted in the "E" zoning district, allowing one by CUP with a site plan may help mitigate any neighborhood concerns and give options for the CUP to be revoked in case of code violation convictions. The proposed car wash is located in a vacant lot, with the nearest structures being an industrial development about 800' to the West, and single-family homes located over 1000' feet to the north.

Through Ordinance 23609 effective March 29, 2019, the Conditional Use Permit allows for an unlimited time period for the operation of a use unless otherwise approved by the City Council. If a time limit is established for a Conditional Use Permit, the renewal of the CUP shall be considered through the public hearing process and approved by the City Council. A CUP shall expire if no permitting action is taken within six months of approval or cease of the use for six months. A CUP may be revoked through the public hearing process if necessary after convictions of one or more code violations.

Per Section 4.407 (a), the following general rules apply to all conditional uses:

- a) Conditional use permits in residential districts shall be limited to those uses designated "CUP" in the Residential District Use Table in Chapter 4, Article 6, Section 4.603.
- b) Approval of a conditional use permit shall authorize only the particular use or category of related uses for which the conditional use permit is issued.
- c) A conditional use shall not be enlarged, extended or otherwise modified unless approved by the City Council or approved administratively as applicable.
- d) The use of property for the purposes described in a conditional use permit shall not commence until a certificate of occupancy has been issued. A certificate of occupancy shall not be issued until all or approvals which may be required by the Codes and Ordinances of the City, including, but not limited to, a Building Permit, a Certificate of Occupancy and subdivision approval have been satisfied.

Section (d) provides the following Conditional Use Permit factors in consideration of appropriateness of a request:

- a) The proposed use is consistent with the Comprehensive Plan;
- b) The proposed use is compatible with the existing and adjacent uses.
- c) The proposed use meets all supplemental use standards specifically applicable to the use as set forth in Chapter 5;
- d) The proposed use is compatible with and preserves the character and integrity of adjacent development and neighborhoods;
- e) The proposed use is not materially detrimental to the public health, safety, and welfare, or results in material damage or prejudice to other property in the vicinity.

Surrounding Zoning and Land Uses

North “PD/C” Planned Development for Multifamily / Vacant land
East “PD/C” Planned Development for Multifamily / Vacant land
South “E” Neighborhood Commercial / Vacant
West “J” Medium Industrial / Industrial Development

Recent Zoning History

- ZC-22-157 from E, F, PD1184/5 to PD/C, PD/F plus commercial and multifamily uses
- ZC-17-191 PD 1184 & 1185 were approved by City Council on March 6, 2018 by a vote of 9-0. PD 1184 is a Planned Development for a mixed-use commercial development including a hotel, entertainment complex, and convention center. PD 1185 is a Planned Development for four story apartments built around the rim of the former quarry/lake.

Public Notification

300-foot Legal Notifications were mailed on May 31, 2024.
The following organizations were notified: (emailed)

Organizations Notified	
North Fort Worth Alliance	Inter-District 2 Alliance
Trailwood Estates HOA	Terrace Landing OA
Far Greater Northside Historical NA	Streams and Valleys Inc
Trinity Habitat for Humanity	Eagle Mountain-Saginaw ISD
Lake Worth ISD	

* *Located closest to this registered Neighborhood Association*

Development Impact Analysis

Land Use Compatibility

The applicant has requested a change to the current zoning designation from "E" Neighborhood Commercial to add a Conditional Use Permit (CUP) overlay for constructing a one-lane automated car wash as part of a larger project with a gas station and convenience store to the south. Although the land is undeveloped and the nearest single-family subdivision is over 700 feet away, the property is surrounded by commercial zoning to the south and multifamily areas to the north and east that are part of a planned development with a site plan that the City Council.

Generally, the proposed land use is considered suitable for a commercial area. However, the proximity to the planned multifamily development raises concerns due to the potential noise from the car wash, which makes the proposed land use at this particular site **not compatible** with the surrounding area.

The Comprehensive Plan outlines general land use categories without specifying individual land uses. The CUP process enables the City to evaluate the suitability of specific uses in certain locations. Although the currently adopted plan designates the subject property as "Neighborhood Commercial" on the Future Land Use Map, there is a proposal for mixed-use and multifamily development around the lake. The City prefers a change from Neighborhood Commercial to Mixed Use for the Future Land Use, along with mixed-use zoning. The proposed zoning **is not consistent** with the Comprehensive Plan.

Site Plan Comments

Zoning and Land Use

The submitted site plan is not in general compliance with Zoning Ordinance regulations.

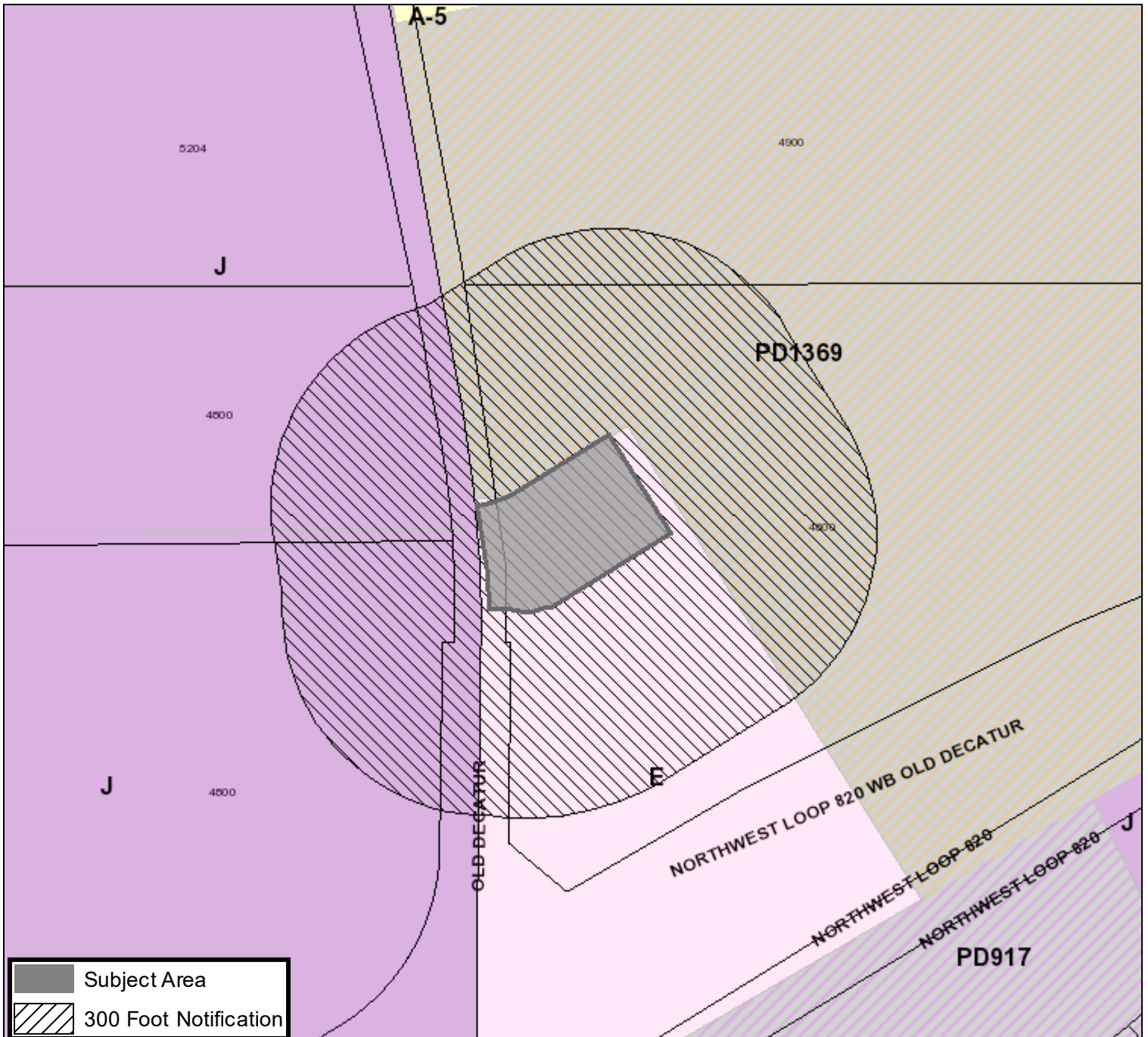
1. Update the zoning case number to ZC-24-046.
2. Indicate the number of cars that can be held on the wash line simultaneously to determine the parking count.
3. Include the parking count calculation in the Site Data table. Note that vacuum spaces count towards the required parking
4. All drying and vacuuming facilities or any accessory structure shall not be in the front yard
5. The site must have a 10% landscaped area, with the majority (75%) of this area in front of the buildings.
6. Landscape area is hard to distinguish, please include surface material on the legend.
7. Handicap parking is required
8. The proposed dryer location is directly adjacent to a multifamily district, per City ordinance, no car wash dryer shall face a residential district or use.
9. Remove tower signs from your elevations.



ZC-24-049

Area Zoning Map

Applicant: Fort Worth Quarry Company/QT South
 Address: 4800 Old Decatur Road
 Zoning From: E
 Zoning To: Add a CUP for Car Wash
 Acres: 0.97259186
 Mapsco: Text
 Sector/District: Far_Northwest
 Commission Date: 6/12/2024
 Contact: 817-392-2495



0 105 210 420 Feet

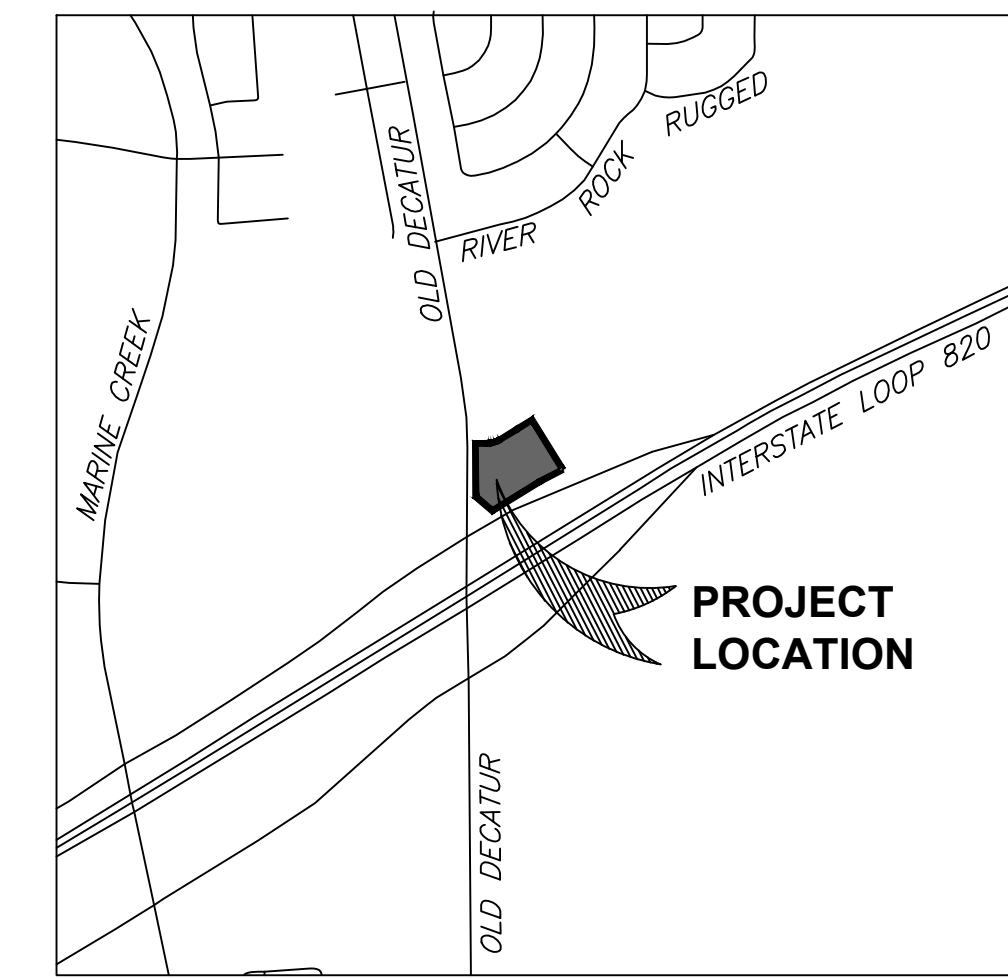
OWNER/DEVELOPER: QUIKTRIP CORPORATION
 BUBBLE BATH CAR WASH
 4705 SOUTH 129TH EAST AVE
 TULSA, OKLAHOMA 74134

ENGINEER: LIQUE ENGINEERS
 816 CAMARON STE 110
 SAN ANTONIO, TX. 78212
 210-549-4207
 CONTACT: DAMIAN ESQUIVEL, P.E.

LAND SURVEY: LIQUE ENGINEERS
 816 CAMARON STE 110
 SAN ANTONIO, TX. 78212
 210-549-4207
 CONTACT: JOSE GILBERTO GONZALEZ

ARCHITECT: LIQUE DESIGN STUDIO
 816 CAMARON ST. STE 110
 SAN ANTONIO, TX 78212
 210-549-4207
 CONTACT: CESAR SOSTRE

BEING A 0.9760 ACRE (42,516 SQUARE FOOT) TRACT OF LAND SITUATED IN THE ROBERT MUSSELMAN SURVEY, ABSTRACT NO. 1102 AND THE J. T. HOBBS SURVEY, ABSTRACT NO. 806, CITY OF FORT WORTH, TARRANT COUNTY, TEXAS; SAID TRACT BEING A PORTION OF A TRACT OF LAND DESCRIBED IN SPECIAL WARRANTY DEED TO FORT WORTH QUARRY FALLS COMPANY, LLC RECORDED IN INSTRUMENT NUMBER D222030435, OFFICIAL PUBLIC RECORDS, TARRANT COUNTY, TEXAS (O.P.R.T.C.T.)



GENERAL NOTES:

- THIS PROJECT WILL COMPLY WITH SECTION 6.301, LANDSCAPING.
- THIS PROJECT WILL COMPLY WITH SECTION 6.302, URBAN FORESTRY.
- ALL SIGNAGE WILL CONFORM TO ARTICLE 4, SIGNS.
- ALL PROVIDED LIGHTING WILL CONFORM TO THE LIGHTING CODE.

CURVE TABLE					
CURVE#	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD LENGTH
C1	44.16'	111.52'	22°41'20"	S69° 44' 41"W	43.87'
C2	49.62'	90.00'	31°35'31"	N74° 11' 29"E	49.00'

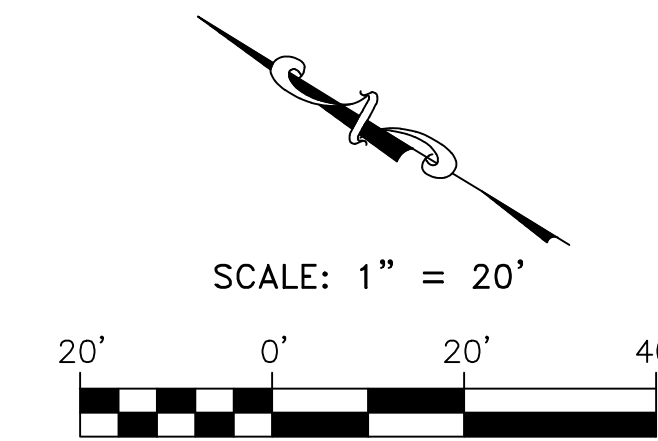
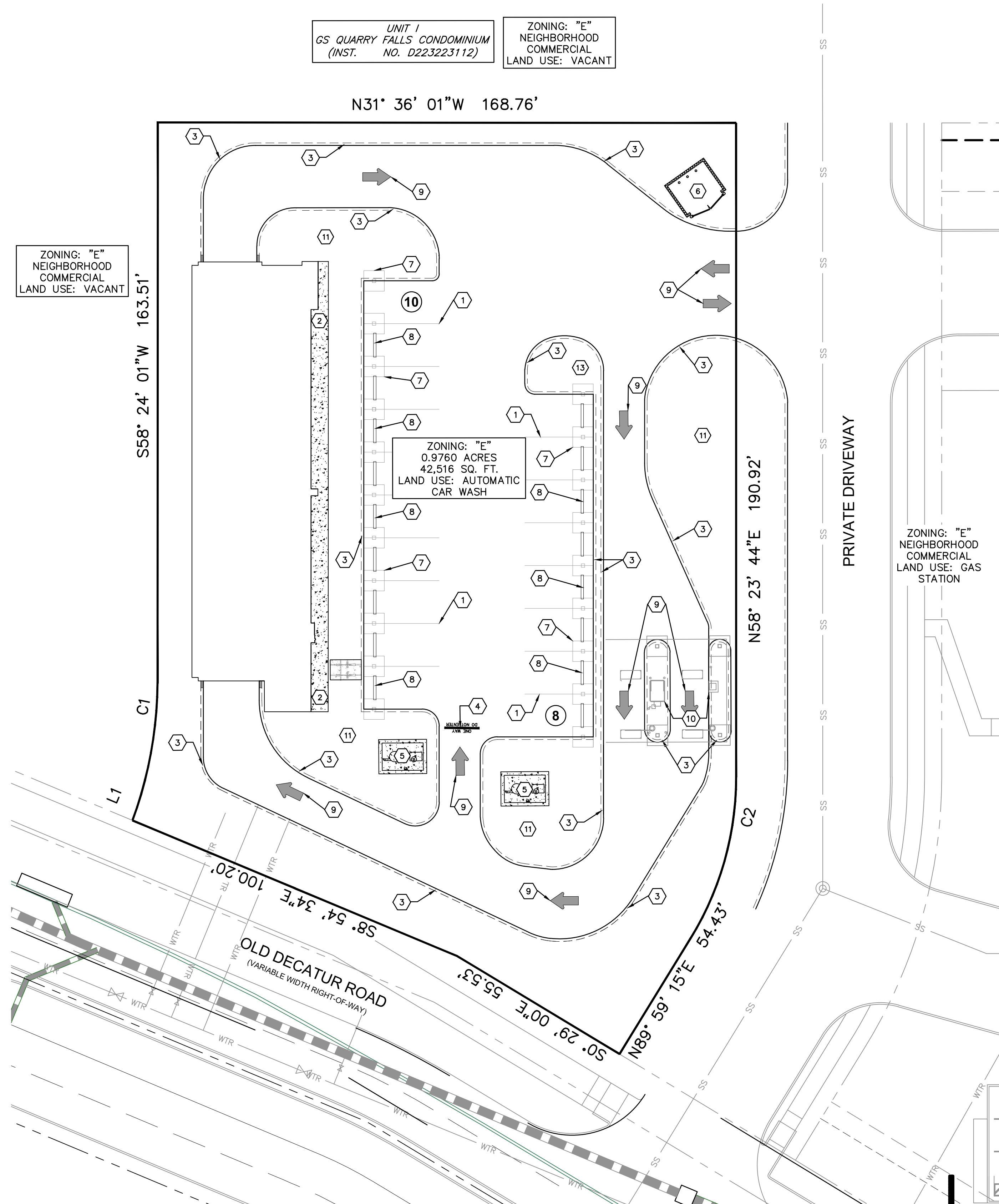
LINE TABLE		
LINE#	LENGTH	BEARING
L1	11.45'	S81° 05' 21"W

KEY NOTES

1	TYPICAL PARKING STRIPING	
2	CONCRETE SIDEWALK	
3	MONOLITHIC CURB	
4	DO NOT ENTER SIGN	
5	VACUUM ENCLOSURE (SEE ARCH. PLANS FOR DETAILS)	
6	ENCLOSED DUMPSTER (SEE ARCH. PLANS FOR DETAILS)	
7	VACUUM CANOPIES	
8	WHEEL STOP	
9	TRAFFIC ARROWS	
10	PAY TERMINAL	
11	PROPOSED LANDSCAPE	
#	PARKING COUNT	

UNIT 1
 GS QUARRY FALLS CONDOMINIUM
 (INST. NO. D223223112)

ZONING: "E"
 NEIGHBORHOOD COMMERCIAL
 LAND USE: VACANT



PROPERTY LINE	---
ADJACENT PROPERTY LINE	---
LIMITS OF CONSTRUCTION	--- LC ---
SITE DISTANCE TRIANGLE	---▲---
FOUND 1" IRON ROD	⊙
EXISTING SEWER MANHOLE	⊙
EXISTING UTILITY POLE	⊙
EXISTING GAS LINE	--- GAS ---
EXISTING WATER LINE	--- W ---
EXISTING 8" SANITARY SEWER	--- 8"SS ---
EXISTING 10" SANITARY SEWER	--- SS ---
PROPOSED CURB	---
PROPOSED RIBBON CURB	---
EXISTING FENCE	--- ---
8' ZONING BUFFER	---

NO.	DATE	COMMENTS

**BUBBLE BATH 1874
 PRELIMINARY SITE PLAN
 QUARRY FALLS
 FORT WORTH, TEXAS**

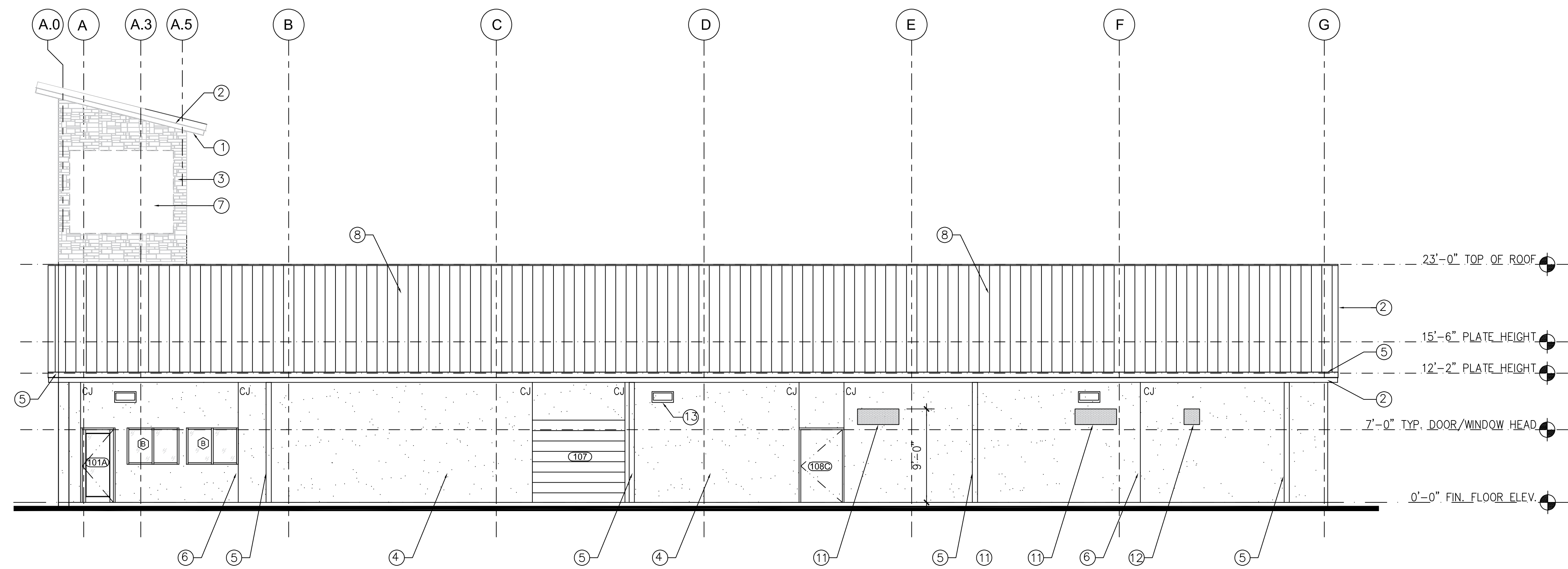
LIQUE
 ENGINEERS & SURVEYING
 TBPELS # - 20405 &
 # - 10194727
 816 Camaron Ste. 110
 San Antonio, TX. 78212
 Phone: 210-549-4207

THIS DOCUMENT IS RELEASED FOR REVIEW PURPOSES ONLY UNDER THE AUTHORIZATION OF: DAMIAN ESQUIVEL, P.E. #98362

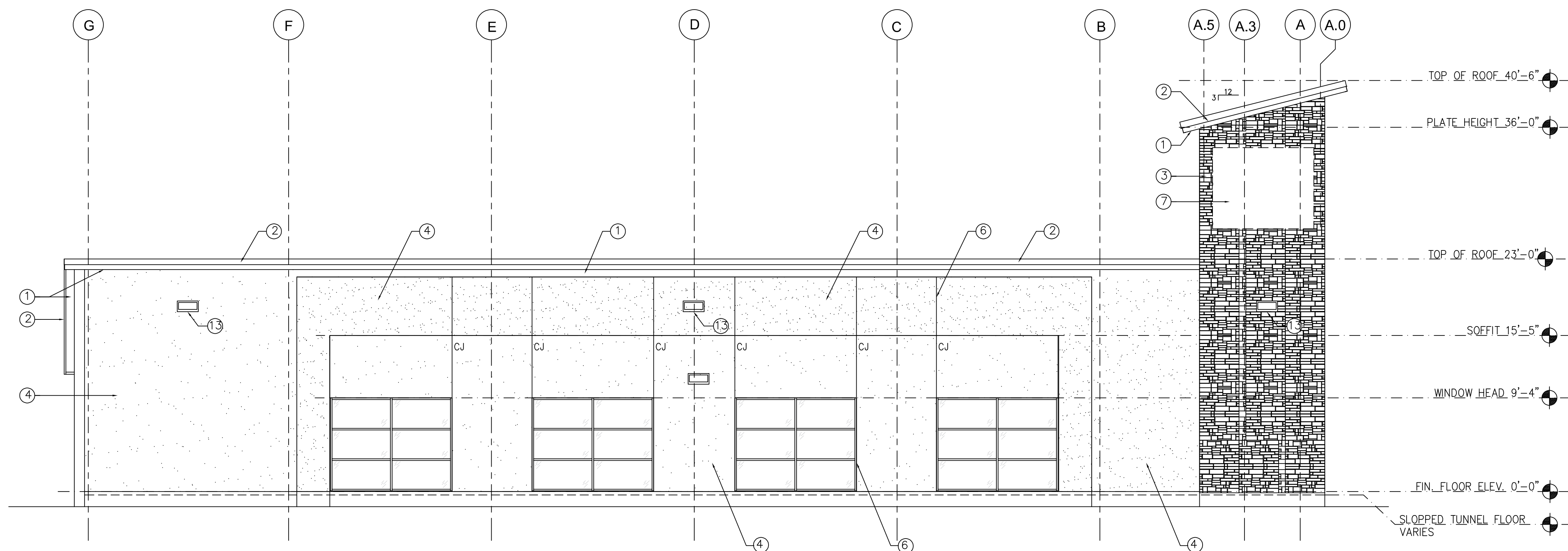
REVISION: #	DATE: MAY 4, 2024
JOB: 104-01-XX	SCALE: 1" = 20'
SHEET NO. EXHIBIT	

DIRECTOR OF DEVELOPMENT SERVICES DATE

**BUBBLE BATH CAR WASH 1874
 ZONING CASE #XXXXX**



1 EAST ELEVATION
1/8" = 1'-0"



2 WEST ELEVATION
1/8" = 1'-0"

KEYED NOTES	
①	PRE-FINISHED METAL SOFFIT AS SPECIFIED
②	PRE-FINISHED METAL FASCIA MATCH ROOF COLOR
③	STONE VENEER, SEE FINISH SCHEDULE
④	PAINTED STUCCO REFERENCE FINISH SCHEDULE
⑤	PRE-FINISHED METAL GUTTER & DOWNSPOUT, PAINTED
⑥	TYPICAL STUCCO CONTROL JOINTS
⑦	SIGNAGE, BY OWNER
⑧	PRE-FINISHED METAL 'R' PANEL ROOF, SEE FINISH SCHEDULE
⑨	STEEL CAGED LADDER, REF. SHOP DRAWINGS, PAINTED COLOR BLACK
⑩	TOWER ACCESS METAL PLATFORM, COLOR TO MATCH UNDERSIDE OF ROOF.
⑪	MOTORIZED LOUVERS, REF. MECHANICAL
⑫	MECHANICAL VENT, REF. MECHANICAL
⑬	WALL MOUNTED LIGHTING FIXTURE

GENERAL NOTES	
A.	CJ DENOTES STUCCO CONTROL JOINT LOCATION
B.	EXTERIOR FASCIA AND GUTTER PROFILES TO BE AS "SCULPTURED GUTTER AND EAVE" PROFILES BY MBCI
C.	THE BUILDING ELEVATIONS SHOWN AND APPROVED HEREIN SHALL DEMONSTRATE HOW ALL MECHANICAL EQUIPMENT SHALL BE SCREENED. IT IS THE APPLICANT'S RESPONSIBILITY TO ENSURE THAT SCREENING OCCURS IN THE FIELD AS DEMONSTRATED BY THESE PLANS, REGARDLESS OF CURB REQUIREMENTS, MECHANICAL PLAN CHANGES, OR OTHER CIRCUMSTANCES. FAILURE TO PROVIDE SCREENING MAY RESULT IN DELAY OF FINAL INSPECTION AND/OR ISSUANCE OF A CERTIFICATE OF OCCUPANCY.



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TEXAS REGISTRATION NUMBER: BR 3647
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THE BUBBLE BATH CARWASH

BUBBLE BATH 1874

QUARRY FALLS
FORT WORTH, TX



PROJECT DATE: MAY 13, 2024
PROJECT MANAGER: JR
PROJECT TEAM: LIQUE DESIGN STUDIO

BUILDING ELEVATIONS

A-100

NOT FOR REGULATORY APPROVAL, PERMITTING OR CONSTRUCTION

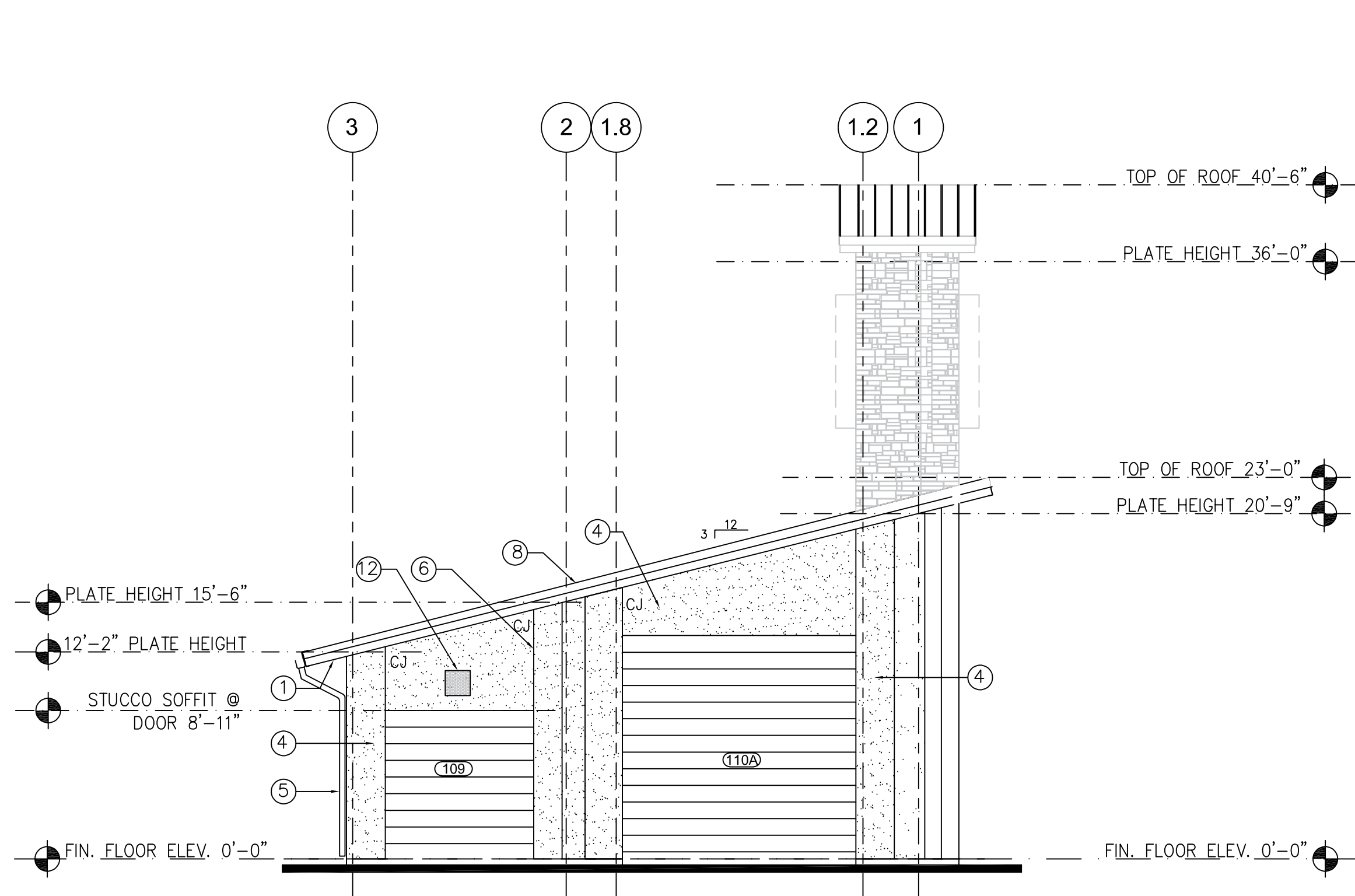
NOTICE:
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KEYED NOTES

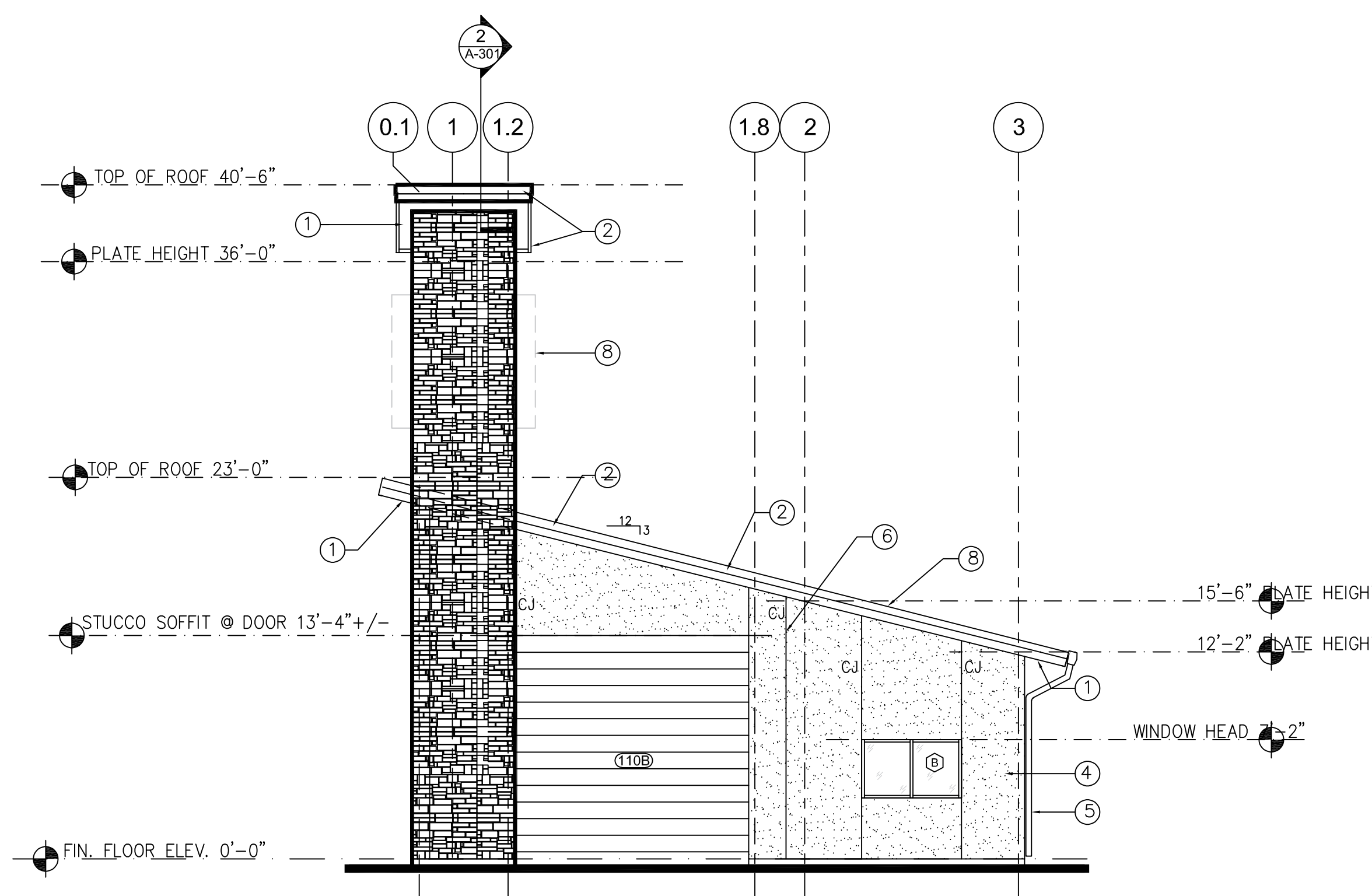
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- ② PRE-FINISHED METAL FASCIA MATCH ROOF COLOR
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1 NORTH ELEVATION
1/8" = 1'-0"



2 SOUTH ELEVATION
1/8" = 1'-0"



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THE BUBBLE BATH CARWASH

BUBBLE BATH 1874

QUARRY FALLS
FORT WORTH, TX



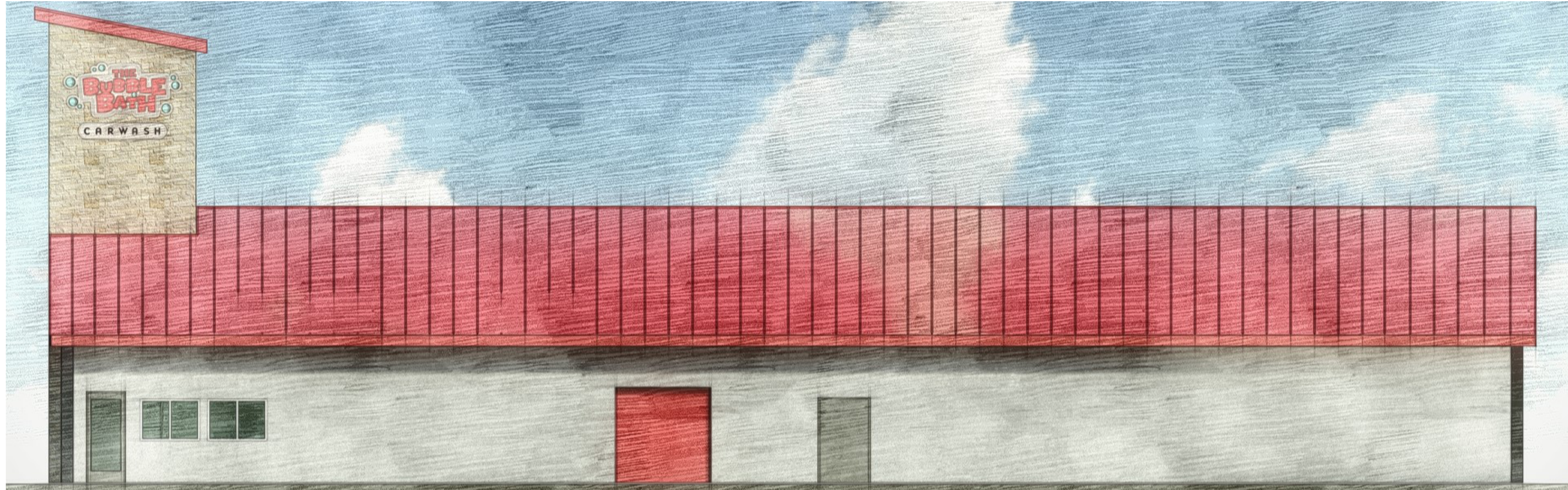
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PROJECT TEAM: LIQUE DESIGN STUDIO

BUILDING ELEVATIONS

A-101

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THE BUBBLE BATH CARWASH

BUBBLE BATH

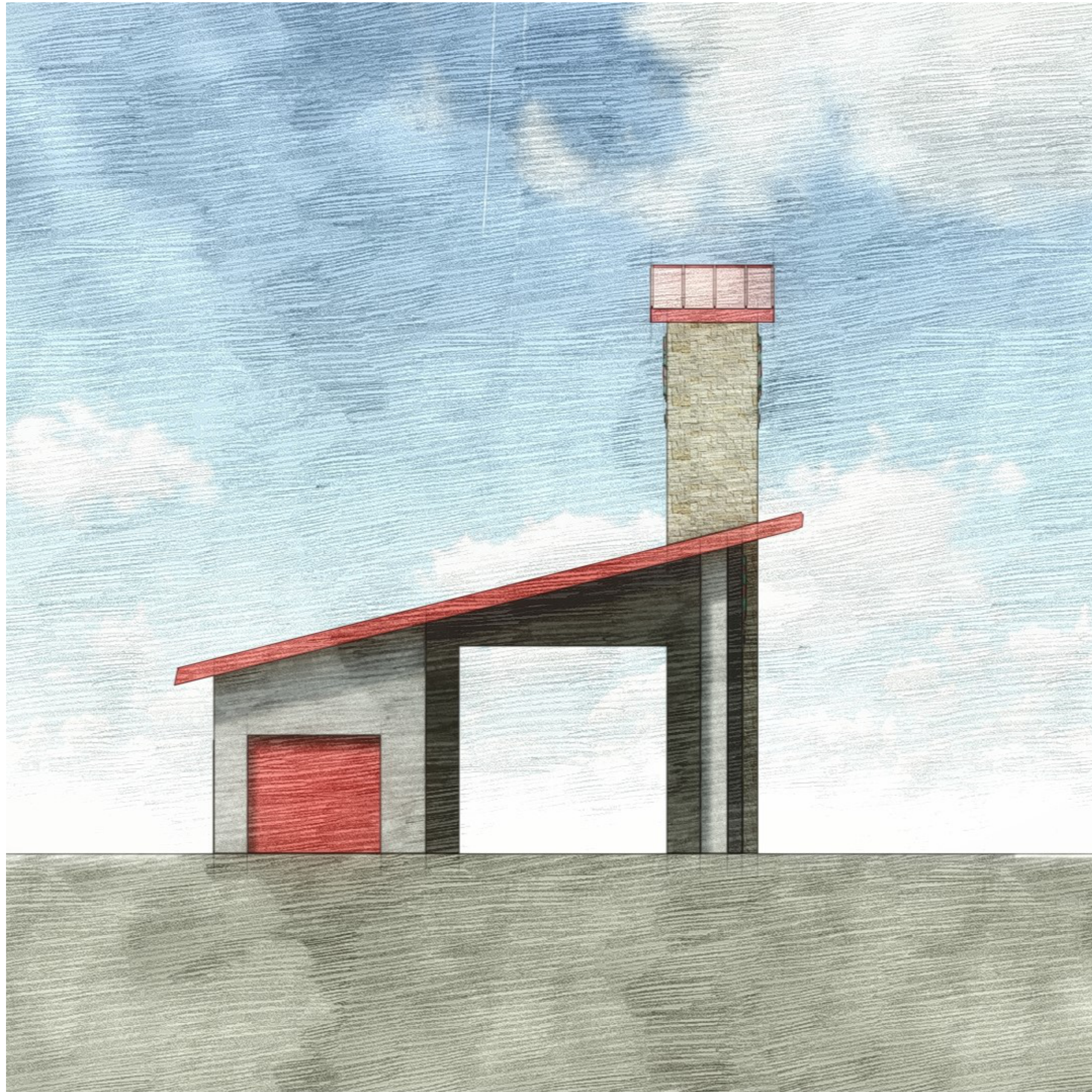
QUARRY FALLS
 FORT WORTH, TX



PROJECT DATE: MAY 13, 2024
 PROJECT MANAGER: JR
 PROJECT TEAM: LIQUE DESIGN STUDIO

**RENDERED
 BUILDING
 ELEVATIONS**

A-200



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THE BUBBLE BATH CARWASH

BUBBLE BATH

QUARRY FALLS
 FORT WORTH, TX



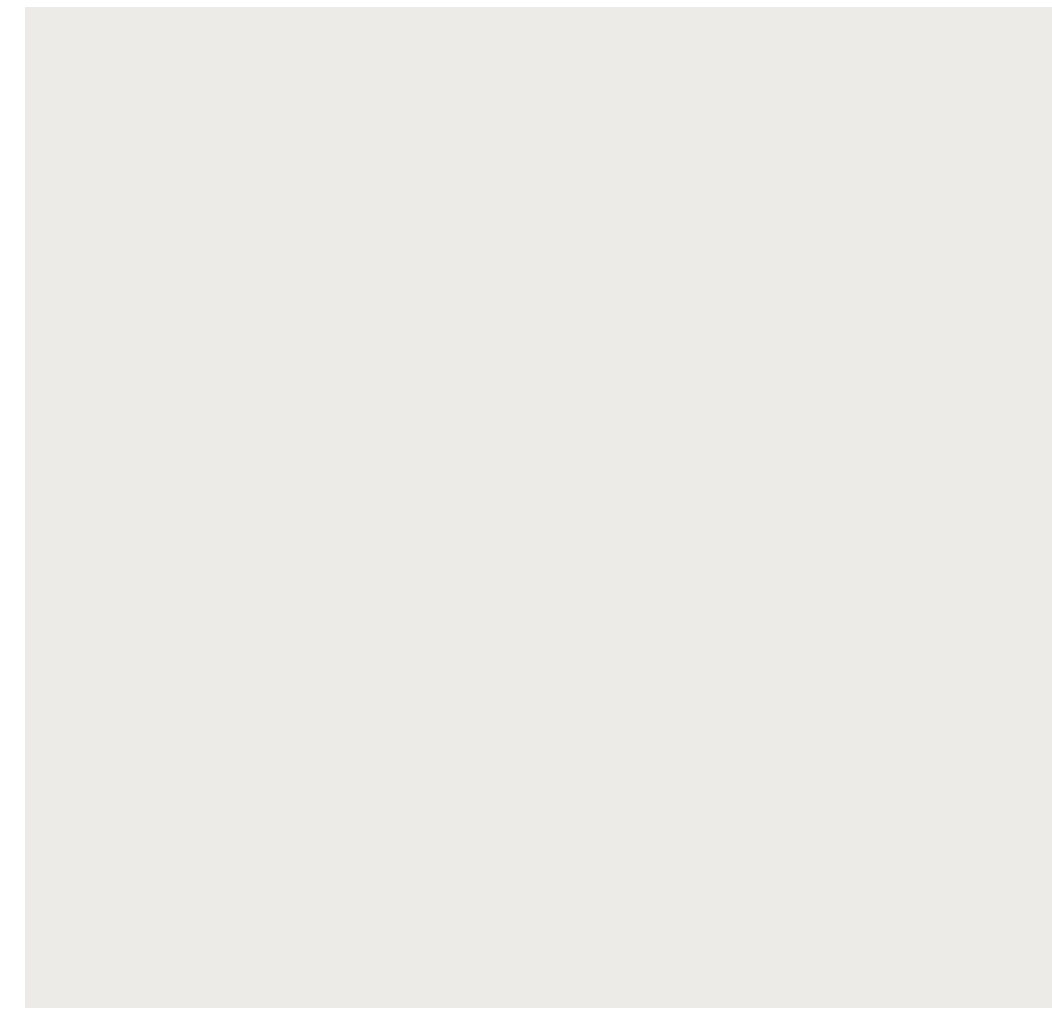
PROJECT DATE: MAY 13, 2024
 PROJECT MANAGER: JR
 PROJECT TEAM: LIQUE DESIGN STUDIO

**RENDERED
 BUILDING
 ELEVATIONS**

A-201



BUILDING RENDER FOR REFERENCE



ST-1:

3 COAT 7/8" STUCCO
SHERWIN-WILLIAMS "SNOW BOUND"
PRIMARY WALLS



RF-1:

STANDING SEAM METAL ROOF
WESTERN STATES METAL ROOFING
FINISH: REGAL RED



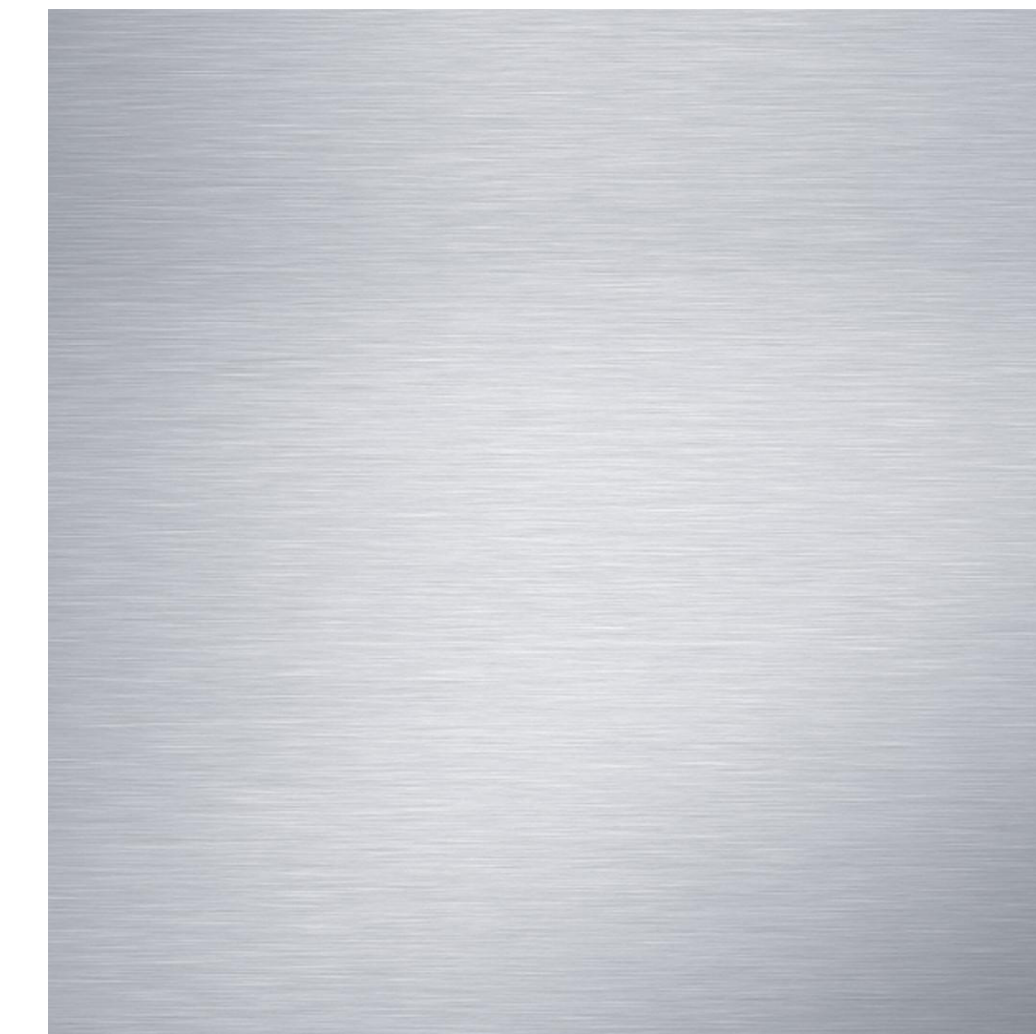
SP-1:

SOFFIT PANEL
WESTERN STATES METAL ROOFING
FINISH: BLACK



ST-2:

3 COAT 7/8" STUCCO
SHERWIN-WILLIAMS "IRON ORE"
ACCENT WALLS



AL-1:

ALUMINUM
Tubelite
Entry Door/Window Frame



STN-1:

STONE VENEER
NATURAL NATIVE STONE.
COLOR: FALL BLEND



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THE BUBBLE BATH CARWASH

BUBBLE BATH

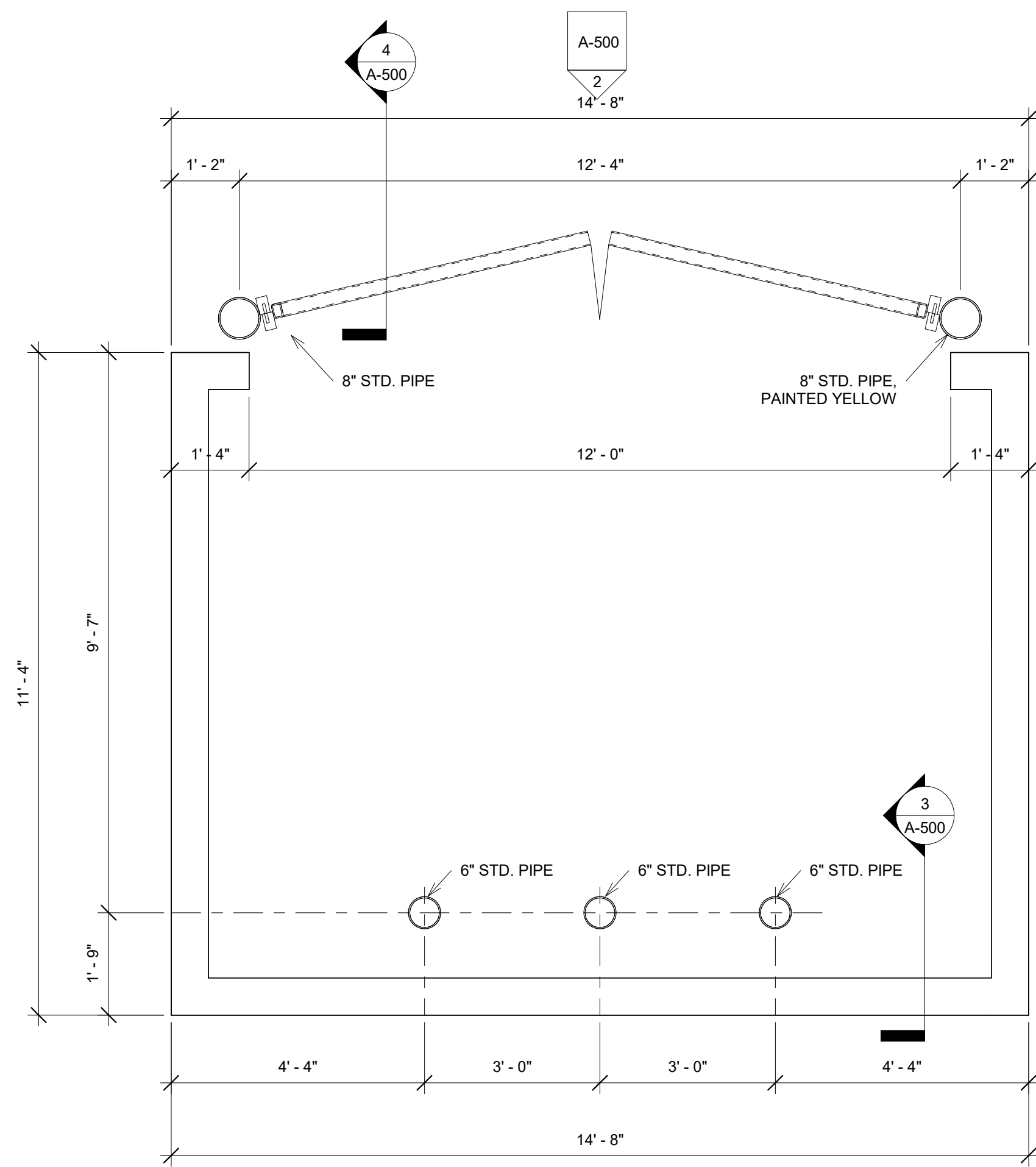
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FORT WORTH, TX



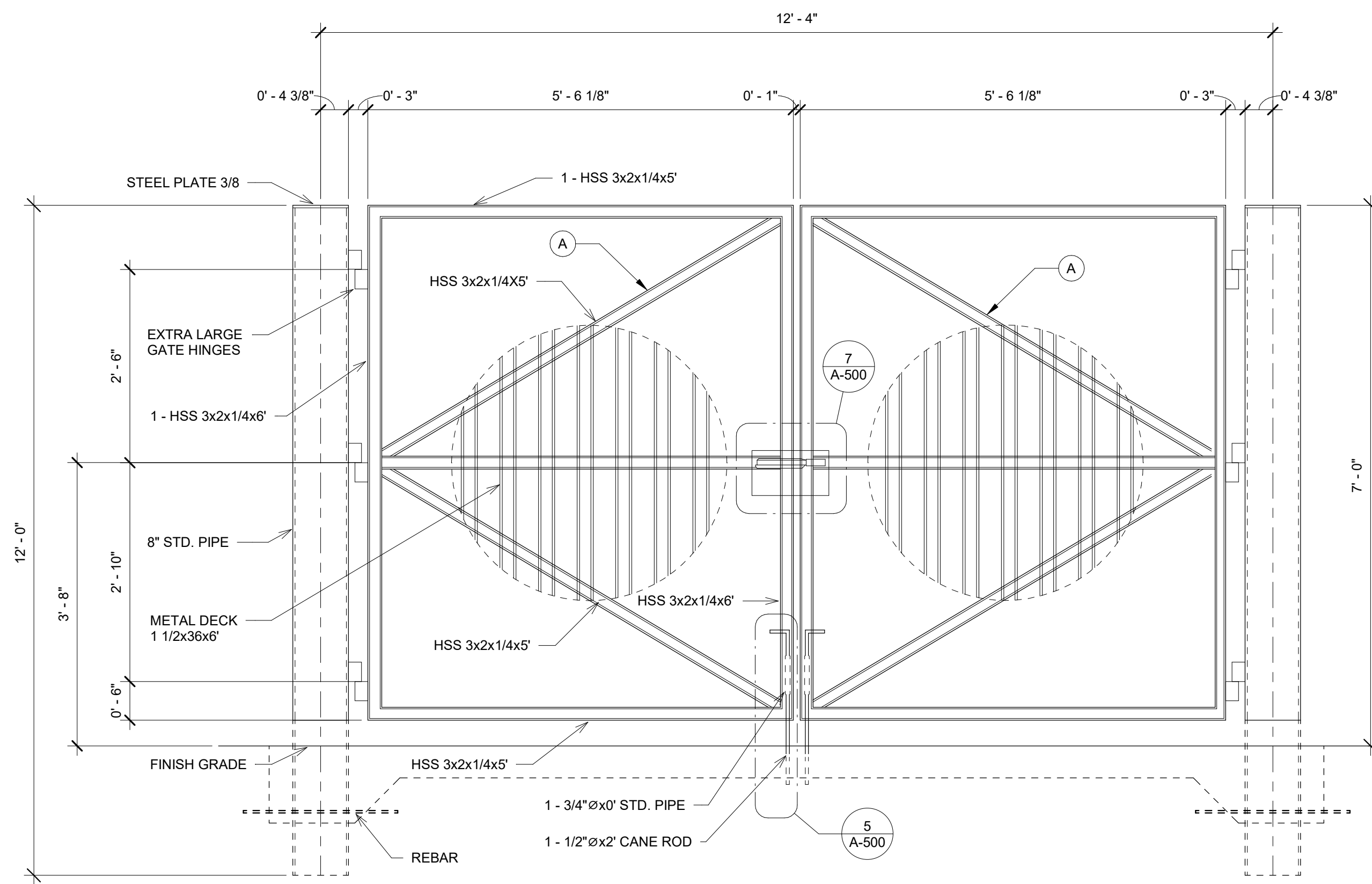
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MATERIAL GUIDE

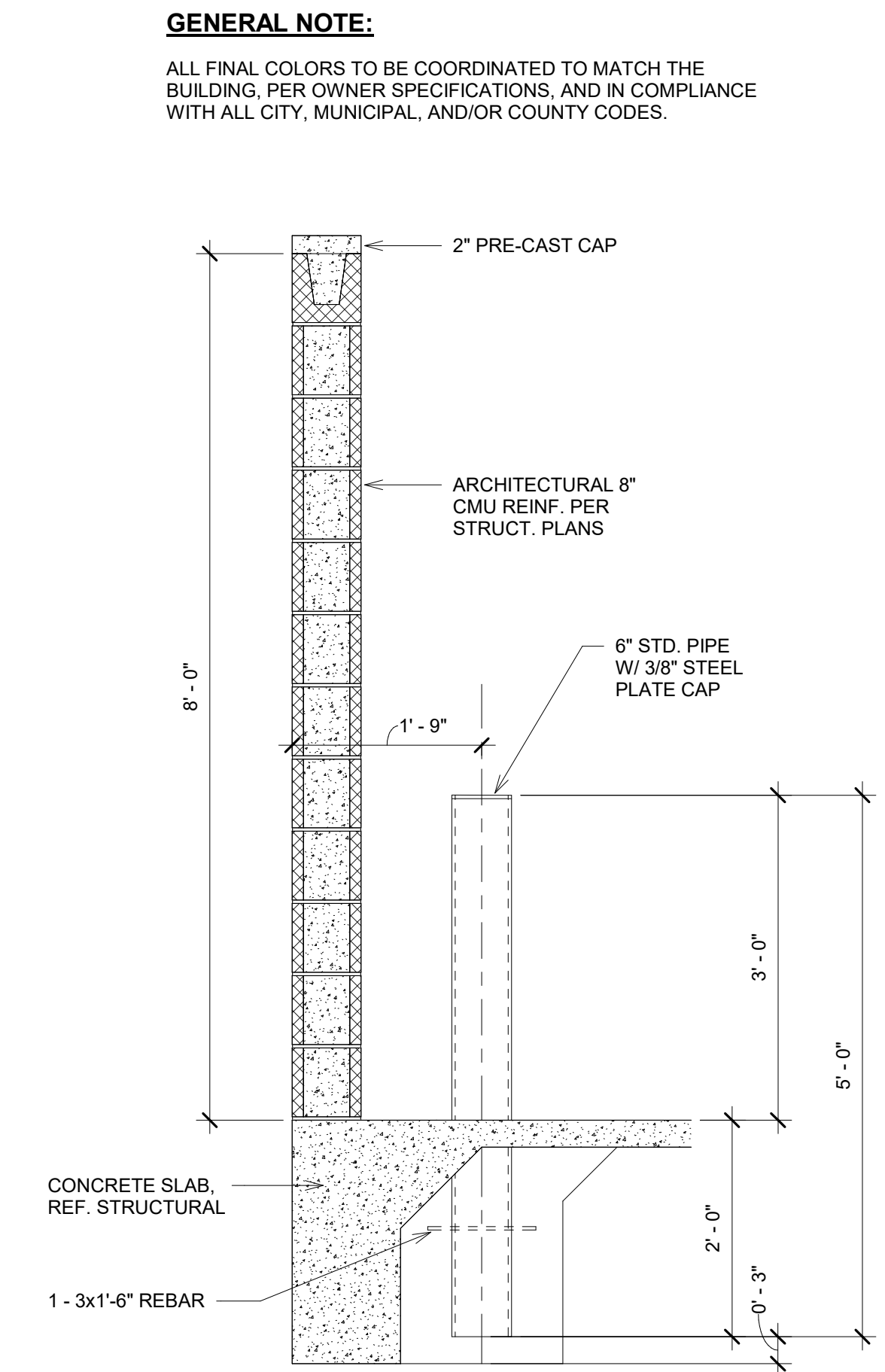
A-301



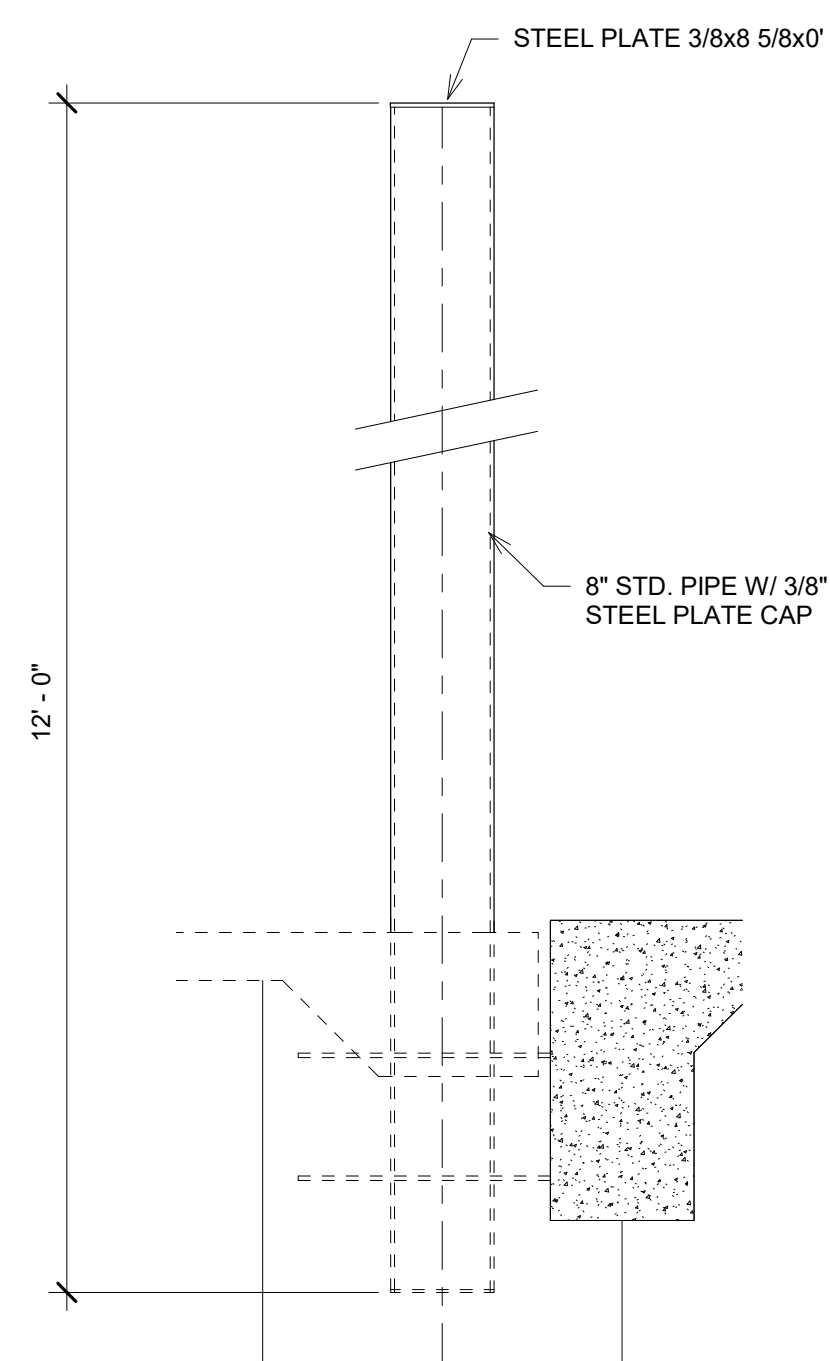
1 TRASH PLAN
1/2" = 1'-0"



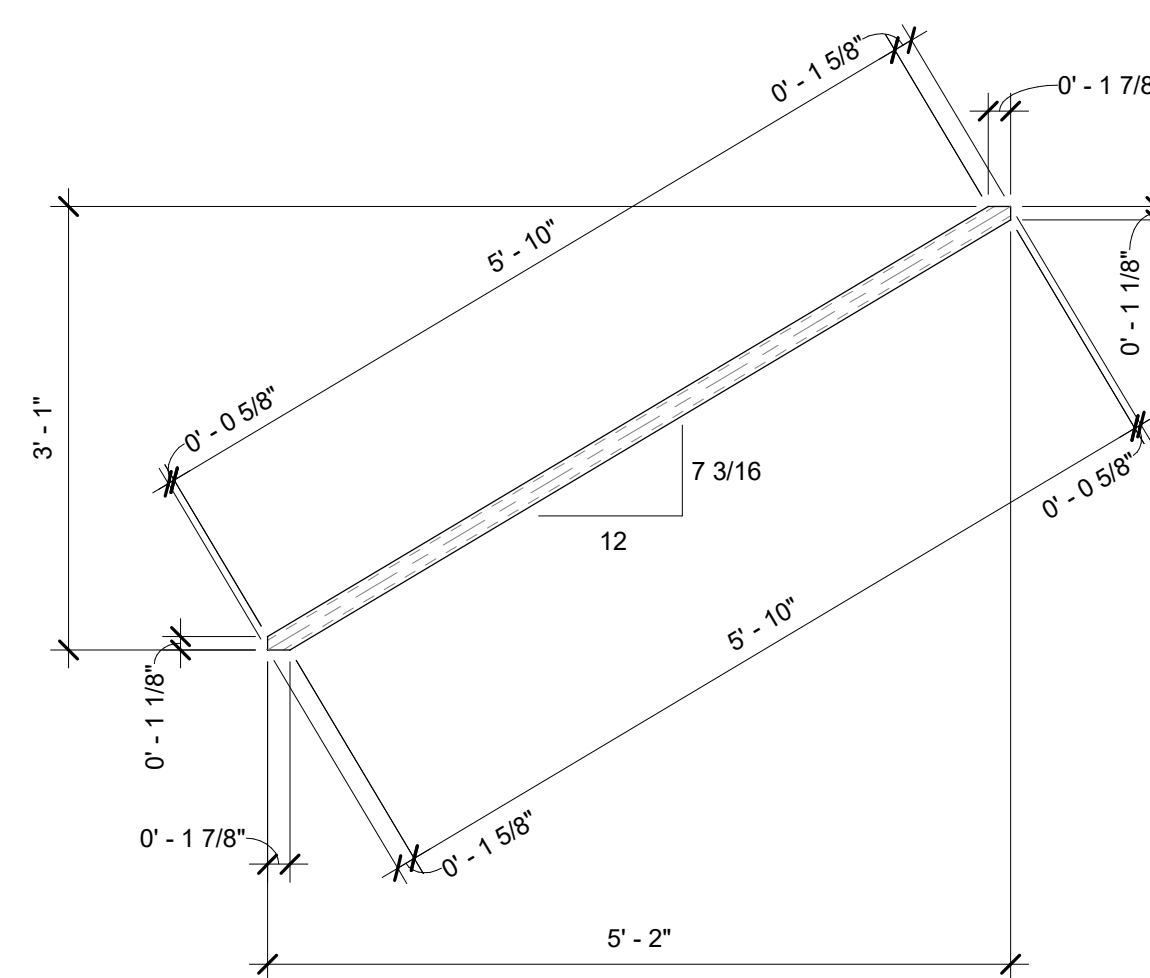
2 DUMPSTER ENCLOSURE FRONT VIEW
3/4" = 1'-0"



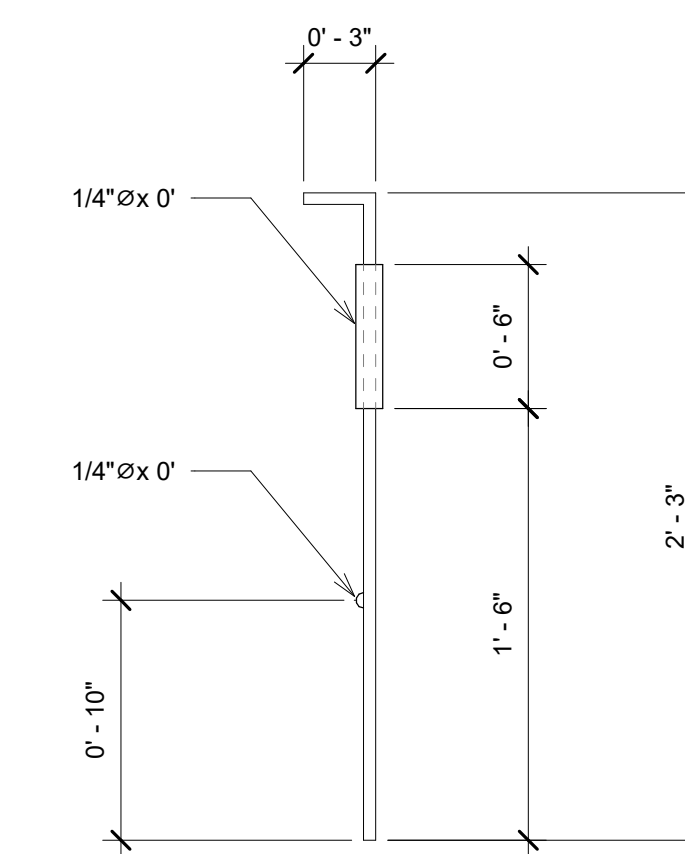
3 DUMPSTER ENCLOSURE SECTION 2
3/4" = 1'-0"



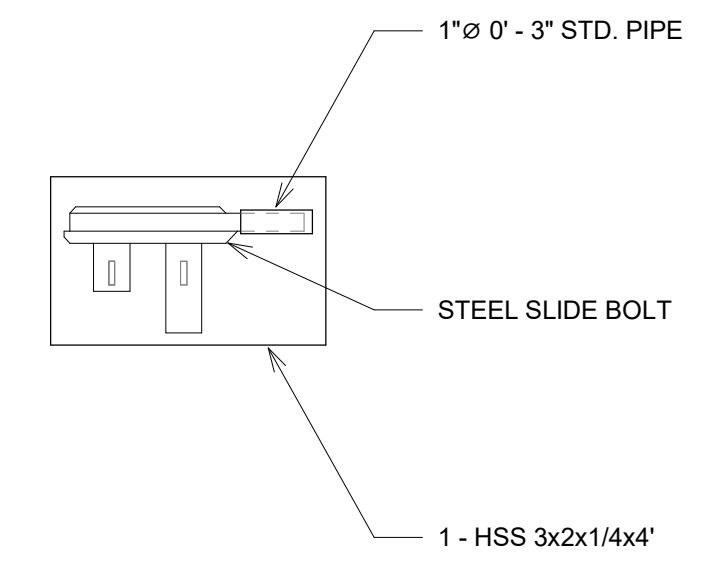
4 DUMPSTER ENCLOSURE SECTION
3/4" = 1'-0"



5 DETAIL A
3/4" = 1'-0"



6 DETAIL B
1 1/2" = 1'-0"



7 DETAIL C
1 1/2" = 1'-0"

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THE BUBBLE BATH CARWASH

BUBBLE BATH

QUARRY FALLS
FORT WORTH, TX

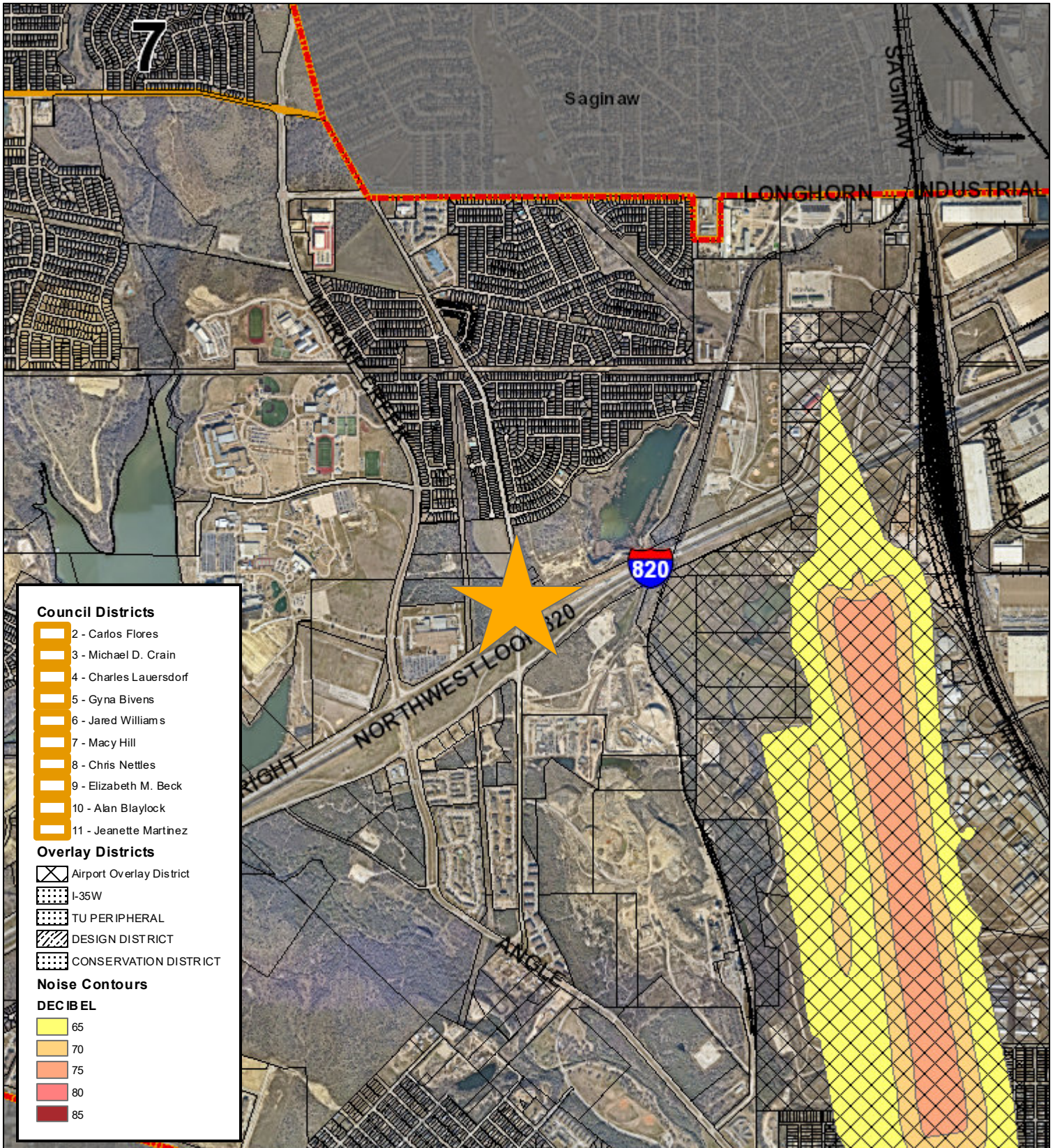


PROJECT DATE: MAY 13, 2024
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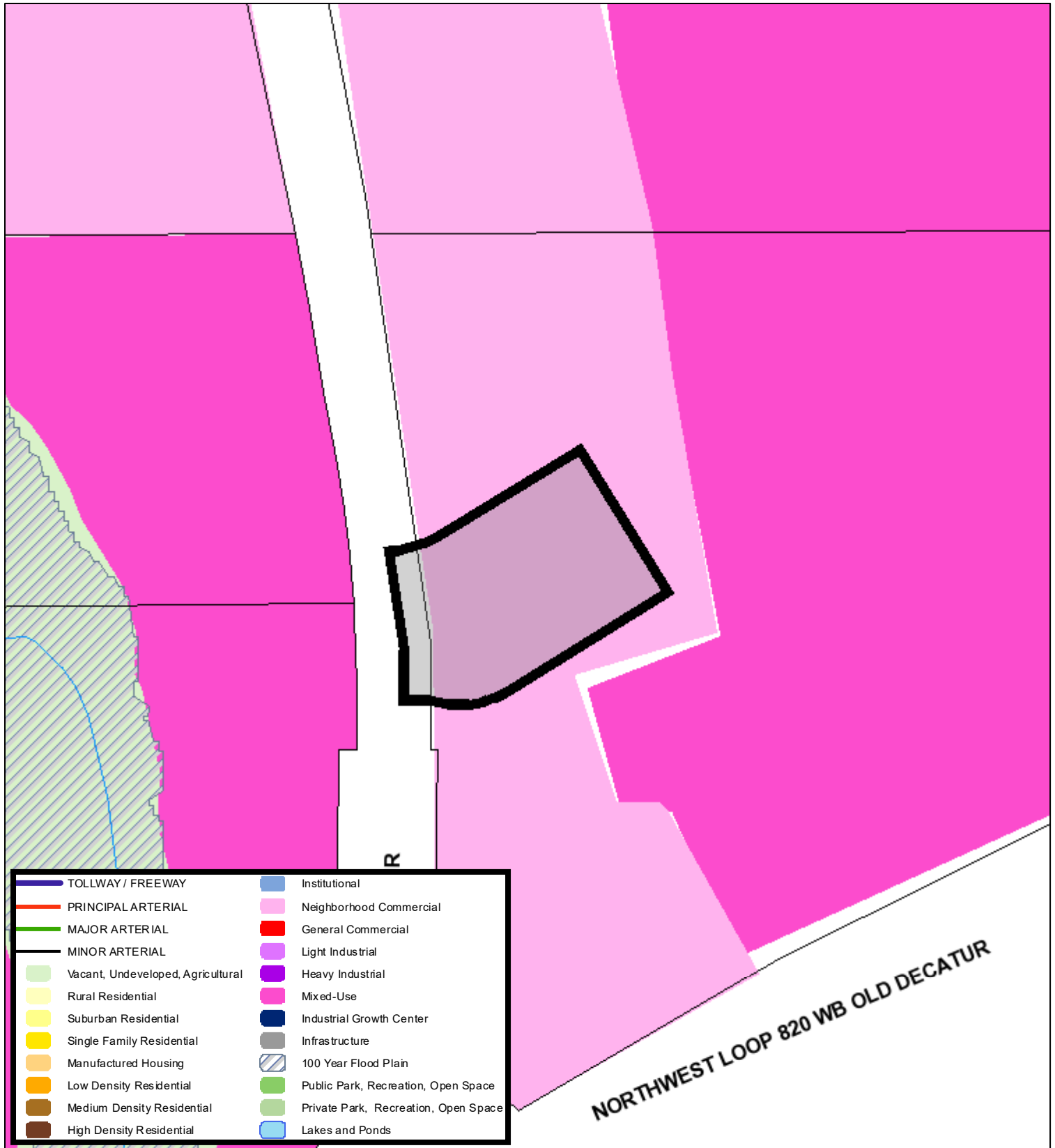
**TRASH
ENCLOSURE**

A-500

Area Map



Future Land Use



130 65 0 130 Feet

A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



Aerial Photo Map



0 85 170 340 Feet





Zoning Staff Report

Date: July 10, 2024

Case Number: ZC-24-051

Council District: 3

Zoning Map Amendment & Site Plan

Case Manager: [Sandy Michel](#)

Owner / Applicant: Leo-17 Realty LLC/ Jacob Petrie

Site Location: 9944 Camp Bowie W Blvd

Acres: 1.05 acres

Request

Proposed Use: Office/ Warehouse Space

Request: From: "E" Neighborhood Commercial
To: Add Conditional Use Permit "CUP" for warehouse in "E" Neighborhood Commercial, site plan included

Recommendation

Land Use Compatibility: Requested change **is compatible**

Comprehensive Plan Map Consistency: Requested change **is consistent**

Comprehensive Plan Policy Consistency: Requested change **is consistent**

Staff Recommendation: **Approval**

Table of Contents

- [Project Description and Background](#)
- [Surrounding Zoning and Land Uses](#)
- [Recent Zoning History](#)
- [Public Notification](#)
- [Development Impact Analysis](#)
 - [Land Use Compatibility](#)
 - [Comprehensive Plan Consistency](#)
- Zoning Map with 300 ft. Notification Area
- Area Map
- Future Land Use Map
- Aerial Photograph

Project Description and Background

The subject property, spanning 1.05 acres, is located fronting Camp Bowie Blvd. The surrounding area is predominantly commercial, zoned "E" Neighborhood Commercial, with the exception of the area to the north, which is zoned "C" Medium Density Residential.

The applicant proposes to construct a commercial building designed to accommodate various tenants and businesses, as outlined in the zoning application. A site plan is included in this case because the application is requesting a Conditional Use Permit (CUP) to add the warehouse use (**Figure 1**). This CUP will allow for warehouse use by future tenants while maintaining the current "E" Neighborhood Commercial district.

The applicant has opted for a CUP to add the use of 'warehouse' instead of pursuing a Planned Development designation to better align with the surrounding area. They intend to create flexible tenant spaces while being mindful of the adjacent parcels, particularly the residential houses to the north. This approach ensures that the development is adaptable to a range of commercial uses, promoting economic activity while safeguarding the quality of life for nearby residents.

By choosing a CUP, the applicant can provide a balanced solution that supports commercial growth and diversity. This strategic decision allows for precise control over the types of businesses that will occupy the property, ensuring compatibility with the neighborhood's character and minimizing potential negative impacts on nearby residential properties. The site plan included in the CUP offers a framework for monitoring and regulating the specific uses and layout of the development, ensuring it contributes positively to the area.

In summary, the Conditional Use Permit (CUP) offers a flexible and controlled approach that supports economic development while respecting the existing community dynamics. This method ensures that the new commercial building can accommodate a variety of tenants and uses, fostering a vibrant commercial environment while maintaining the integrity of the neighborhood.

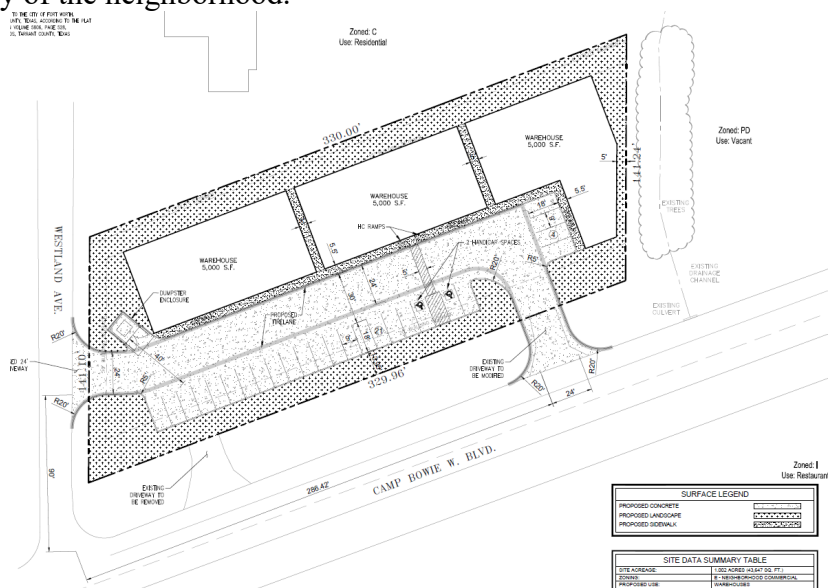


Figure 1: Proposed Site Plan Exhibit A



Figure 2: Site Photos

Surrounding Zoning and Land Uses

North	"C" Medium Density / Residential
East	"PD-SU" for all uses in "E" plus mini warehouse TO ADD SHOWROOM, WAREHOUSE, AND FLEET PARKING FOR POOL COMPANY / Commercial
Southeast	"I" Light Industrial / Commercial
Southwest	"E" Neighborhood Commercial/ Commercial
West	"E" Neighborhood Commercial/ Commercial

Recent Zoning History

- N/A

Public Notification

300-foot Legal Notifications were mailed on June 28, 2024.
 The following organizations were notified: (emailed June 28, 2024)

Organizations Notified	
Camp Bowie District, Inc	Streams and Valleys Inc
Trinity Habitat for Humanity	Westland NA

* Located within a registered Neighborhood Organization

Development Impact Analysis

Land Use Compatibility

The surrounding area features a diverse mix of uses, including commercial establishments, truck parking facilities, and residential properties. The applicant is seeking to add a Conditional Use Permit (CUP) to the property to accommodate the specific use of a warehouse.

The original plan was to rezone to "I" Light Industrial, but this would not align with the land use compatibility given the prevailing commercial character of the surrounding area. Such industrial zoning could potentially introduce uses that might not harmonize with the existing properties. By opting for a CUP, the rezoning can be more effectively tailored to ensure compatibility with the neighborhood.

This CUP approach allows for more precise control and oversight of the types of businesses that will occupy the property. It enables the development of compatible uses that enhance the commercial vitality of the area while addressing concerns about potential negative impacts on nearby residential properties. The site plan within the CUP provides a framework for monitoring and regulating the specific uses and layout of the development, ensuring they contribute positively to the area.

In summary, the Conditional Use Permit (CUP) offers a balanced solution that supports commercial growth and diversity, aligns with the surrounding area's character, and maintains a safeguard against incompatible uses. This strategic approach helps to foster a better community, promoting both economic development and residential well-being. By leveraging the CUP, the development can meet both commercial needs and community standards, ensuring a harmonious integration of new uses into the existing urban fabric.

The proposed zoning is **compatible** with surrounding land uses.

Comprehensive Plan Consistency- FLU Map and Policies

The adopted Comprehensive Plan currently designates the subject property as a Neighborhood Commercial on the Future Land Use Map.

COMMERCIAL		
Neighborhood Commercial	Retail, services, offices and mixed uses serving daily needs for a local market area	ER, E, MU-1, Applicable Form-Based Codes
General Commercial	Retail, services, offices and mixed uses serving occasional needs for a larger market area	All Commercial, MU-1, MU-2, Applicable Form-Based Codes

The proposed property's designation aligns with the Neighborhood Commercial Future Land Use (FLU) category. Consequently, seeking a Conditional Use Permit (CUP) instead of rezoning to industrial zoning in this area better meets the intended objectives.

The Comprehensive Plan emphasizes creating vibrant, mixed-use communities that support both residential and commercial activities. Maintaining the Neighborhood Commercial zoning is in line with this vision, preserving the neighborhood's character and quality of life.

Therefore, the proposal for a CUP in this area is consistent with the established zoning intent and urban planning objectives. Adhering to the Neighborhood Commercial FLU category is essential for maintaining the planned development pattern, ensuring compatible land uses with the surrounding area, and supporting the long-term goals of creating cohesive, livable neighborhoods. This approach fosters a balanced environment that enhances community well-being and aligns with the city's broader urban development strategies.

Based on conformance with the policies stated above, the proposed zoning is **consistent** with the Comprehensive Plan FLU Map and Policies.

Zoning and Land Use

The site plan as submitted is in general compliance with the Zoning Ordinance regulations. However, clarity on the items below is needed when submitting for permitting

1. Add Landscape buffer information and clearly show the setback dimensions
2. Add the zoning case number in the lower right corner
3. Include signature line

(Comments made by Platting (Subdivision Ordinance), Transportation/Public Works, Fire, Park & Recreation, and Water Department staff cannot be waived through the Zoning Commission and City Council. Approval of the zoning site plan does not constitute the acceptance of conditions.)

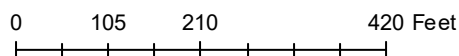
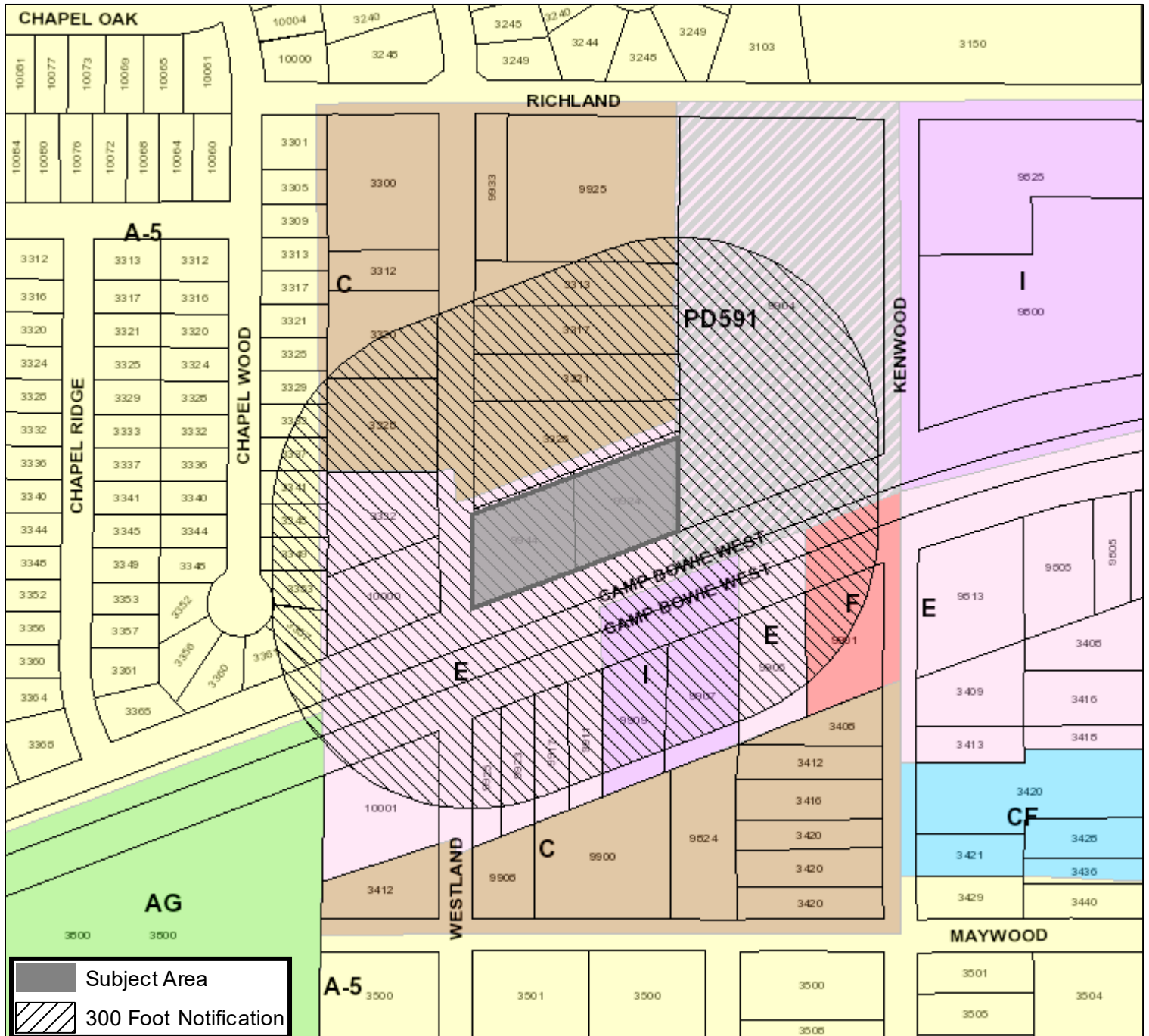
Supplemental Information

Site Photos



Area Zoning Map

Applicant: Leo-17 Realty LLC
 Address: 9924-9944 (evens) Camp Bowie West
 Zoning From: E
 Zoning To: PD/I office/warehouse
 Acres: 0.99998435
 Mapsco: Text
 Sector/District: Far_West
 Commission Date: 6/12/2024
 Contact: 817-392-2806



CAMP BOWIE INDUSTRIAL PARK
 9944 CAMP BOWIE W. BLVD.
 FORT WORTH, TX 76116



AG DESIGN GROUP, LLC
 PO BOX 383023
 DUNCANVILLE, TX 75138

GENERAL NOTES

- CONTRACTOR SHALL VERIFY ALL EXISTING SITE AND BUILDING CONDITIONS IN THE FIELD PRIOR TO START OF ANY WORK. A REGISTERED SURVEYOR SHALL BE ENGAGED TO LAY OUT ALL SITE WORK.
- CONTRACTOR SHALL REVIEW DOCUMENTS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES IN PROJECT PLANS AND SPECIFICATIONS, IN WRITING.
- DRAWINGS SHALL NOT BE SCALED FOR BIDDING AND/OR CONSTRUCTION PURPOSES.
- ALL PLAN DIMENSIONS ARE TO FINISHED FACE OF WALL UNLESS NOTED OTHERWISE.
- ALL CONSTRUCTION WORK SHALL MEET OR EXCEED ALL LOCAL, STATE AND NATIONAL BUILDING CODES, AND COMPLY WITH THE CITY OF FORT WORTH BUILDING ORDINANCES. A BUILDING PERMIT SHALL BE OBTAINED FROM THE CITY OF FORT WORTH.
- A LANDING MUST BE PROVIDED AT EACH EXIT DOOR. THE FLOOR SURFACE ON BOTH SIDES OF THE DOOR SHALL BE AT THE SAME ELEVATION AS PER THE TEXAS FIRE PREVENTION CODE.
- VERIFY ALL EXIT DOOR LOCKING HARDWARE COMPLIES WITH THE TEXAS FIRE PREVENTION CODE.
- ALL NEW CONCRETE FLOOR SLAB AREAS SHALL HAVE TERMITE TREATMENT.
- ALL STRUCTURES SHALL HAVE ADDRESS NUMBERS PLACED ON THE BUILDING IN ACCORDANCE WITH FORT WORTH MUNICIPAL CODE.
- ALL SIGNAGE, PERMANENT, PORTABLE, BANNERS, ETC. WILL CONFIRM TO ARTICLE 4, SIGNS.
- HOURS OF OPERATION:
7 DAYS A WEEK, 5:00 AM TO 5:00 PM.
- BUILDING NOT TO EXCEED 19'-0" IN HEIGHT.
- EXTERIOR MATERIALS FOR BUILDING WILL BE STONE VENEER, METAL SIDING PANELS, ALUM/GLASS STOREFRONT AND METAL AWNINGS. ROOF WILL BE METAL PANELS.
- ALL DOMESTIC WATER SERVICE AND METER SHALL BE 1-1/2".
- BUILDING IS A ONE STORY BUILDING WITH MEZZANINES ABOVE BUILDINGS.
- PROJECT WILL COMPLY WITH SECTION 6.301 LANDSCAPING.
- PROJECT WILL COMPLY WITH SECTION 6.302 URBAN FORESTRY.
- ALL PROVIDED LIGHTING WILL CONFIRM TO THE LIGHTING CODE.

LEGAL DESCRIPTION

LOTS 19 THRU 26, BLOCK 2, WESTLAND ADDITION, AN ADDITION TO THE CITY OF FORT WORTH, TARRANT COUNTY, TEXAS, ACCORDING TO THE PLAT RECORDED IN VOLUME 6806, PAGE 528, PLAT RECORDS, TARRANT COUNTY, TEXAS

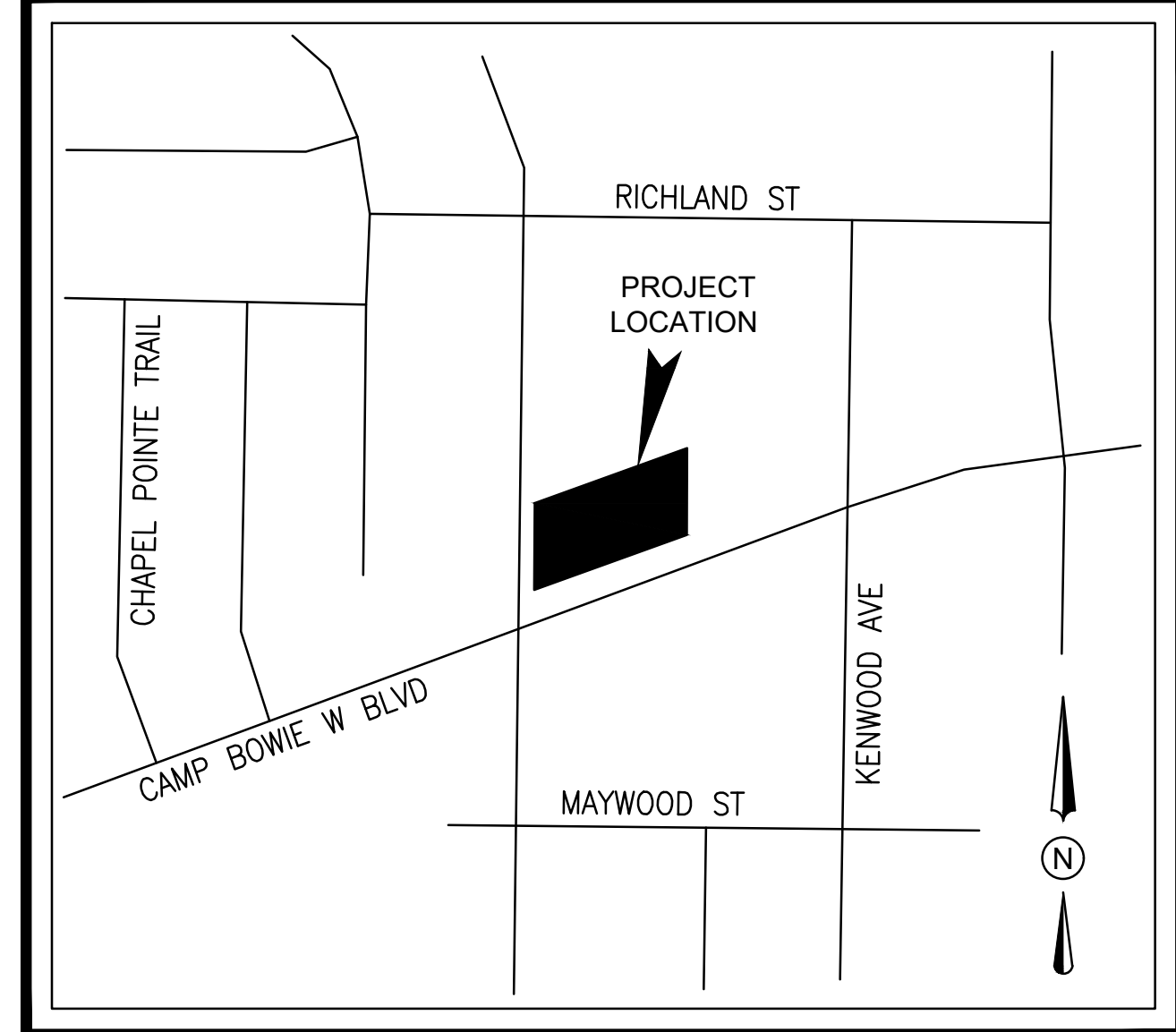
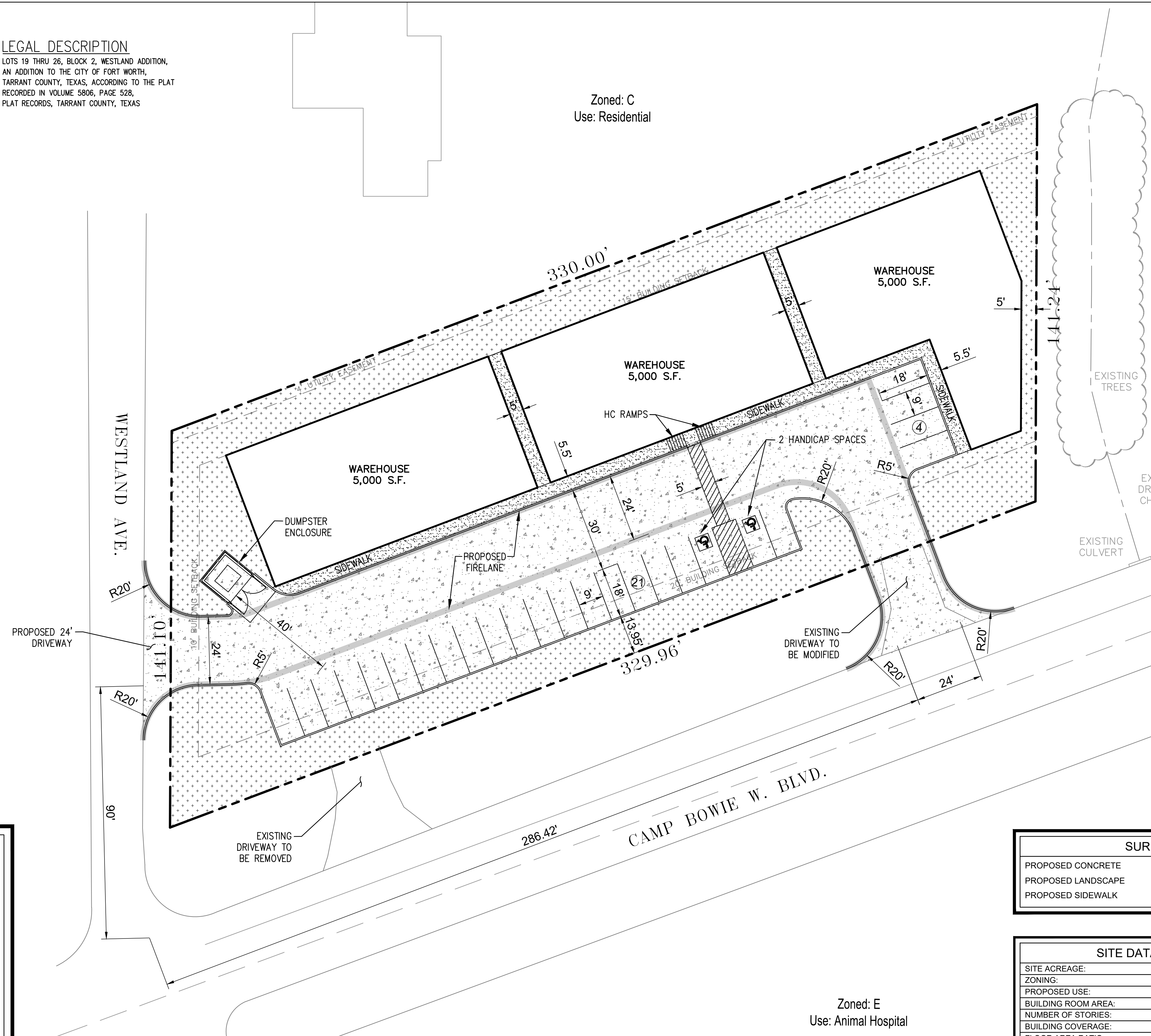
Zoned: E
Use: Vacant

Zoned: C
Use: Residential

Zoned: PD
Use: Vacant

Zoned: I
Use: Restaurant

Zoned: E
Use: Animal Hospital



SURFACE LEGEND

PROPOSED CONCRETE	
PROPOSED LANDSCAPE	
PROPOSED SIDEWALK	

SITE DATA SUMMARY TABLE

SITE ACREAGE:	1.002 ACRES (43,647 SQ. FT.)
ZONING:	E - NEIGHBORHOOD COMMERCIAL
PROPOSED USE:	WAREHOUSES
BUILDING ROOM AREA:	3-5,000 S.F. BUILDINGS
NUMBER OF STORIES:	1
BUILDING COVERAGE:	34%
FLOOR AREA RATIO:	0.34
IMPERVIOUS AREA:	30,636 S.F. (70.2%)
PERVIOUS/LANDSCAPE AREA:	13,011 S.F. (29.8%)
REGULAR PARKING REQUIRED: 1 SPACE PER 4 EMPLOYEES	5 SPACES
REGULAR PARKING PROVIDED:	23 SPACES
HANDICAP PARKING REQUIRED:	2 SPACES
HANDICAP PARKING PROVIDED:	2 SPACES
TOTAL PARKING PROVIDED:	25 SPACES

OWNER:
 DAKA INVESTMENTS LLC
 CONTACT: FAISAL FARAH
 2600 W. PIONEER PARKWAY
 GRAND PRAIRIE, TX 75051
 817-901-3300

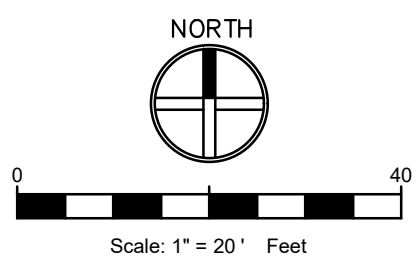
ARCHITECT:
 AG DESIGN GROUP
 CONTACT: ARMANDO GARCIA
 P.O. BOX 383023
 DUNCANVILLE, TX 75138
 214-766-5905

SURVEYOR:
 GEOMATIC SOLUTIONS, INC.
 CONTACT: SHELBY HOFFMAN
 3000 S. HULEN, STE. 124-236
 FORT WORTH, TX 76109
 817-487-8916

ENGINEER:
 THOMAS HOOVER ENGINEERING, LLC
 CONTACT: THOMAS HOOVER
 P.O. BOX 1808
 KELLER, TX 76244
 817-913-1350

02 VICINITY MAP
NOT TO SCALE

01 SITE PLAN
SCALE: 1" = 20'-0"



Developer/Owner: Daka Investments LLC
 Address: 2600 W. Pioneer Parkway
 City/State: Grand Prairie, TX 75051
 Telephone Number: 817-901-3300
 E-mail Address: farahpetroleum@gmail.com

Director of Development Services Date
CAMP BOWIE INDUSTRIAL PARK
 Zoning Case Number: ZC-24-000

SITE PLAN

SHEET NUMBER

A1.00

NOTES BY NUMBER

- 01 STANDING SEAM METAL ROOF
- 02 STONE VENEER
- 03 CAST STONE CAP
- 04 EXTERIOR METAL WALL PANELS
- 05 ALUM/GLASS STOREFRONT WINDOW/DOOR
- 06 ROLL UP OVERHEAD DOOR
- 07 METAL GUTTER AND DOWNSPOUT
- 08 WALL MOUNTED LIGHT FIXTURE.
- 09 METAL AWNING

DATE: 02.28.2024

JOB NO: 52024

DRAWN: STAFF

CHECKED: AG



214.766.5905
PO BOX 383023
DUNCANVILLE, TX 75138

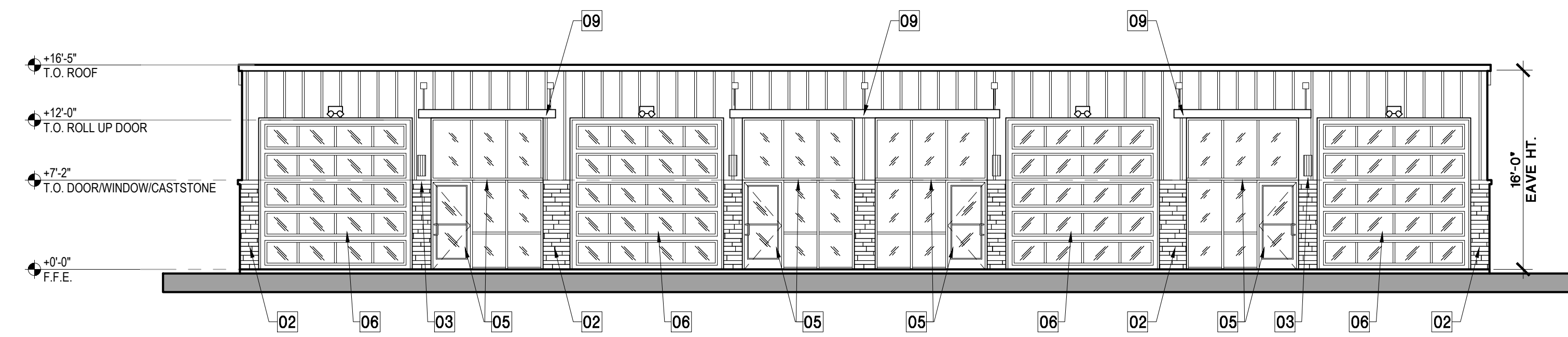
INDUSTRIAL PARK
CAMP BOWIE W BLVD
FORT WORTH, TX 76116

REVISIONS

EXTERIOR
ELEVATIONS

SHEET NUMBER

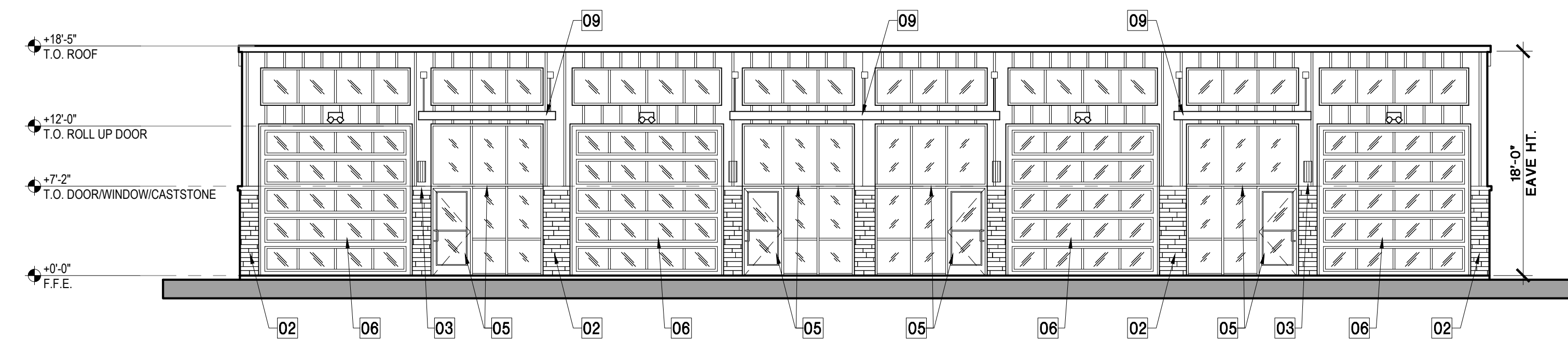
A5.01



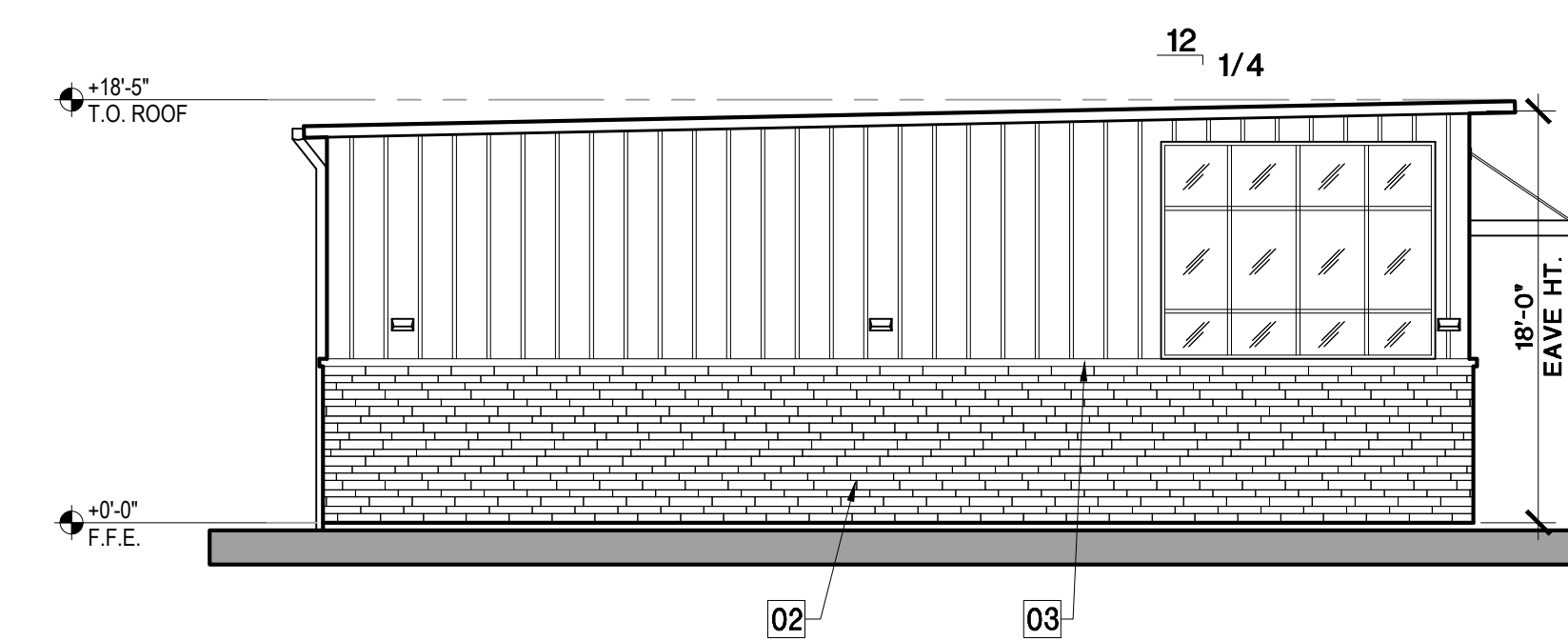
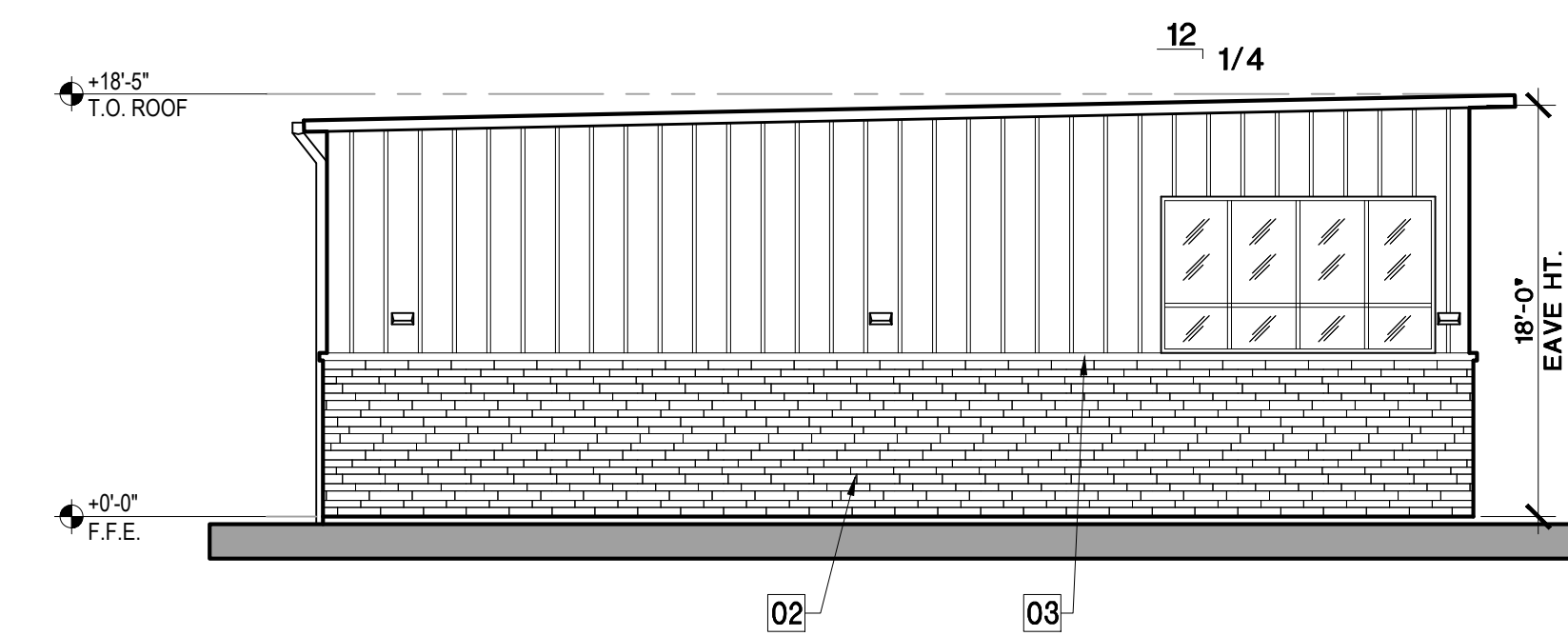
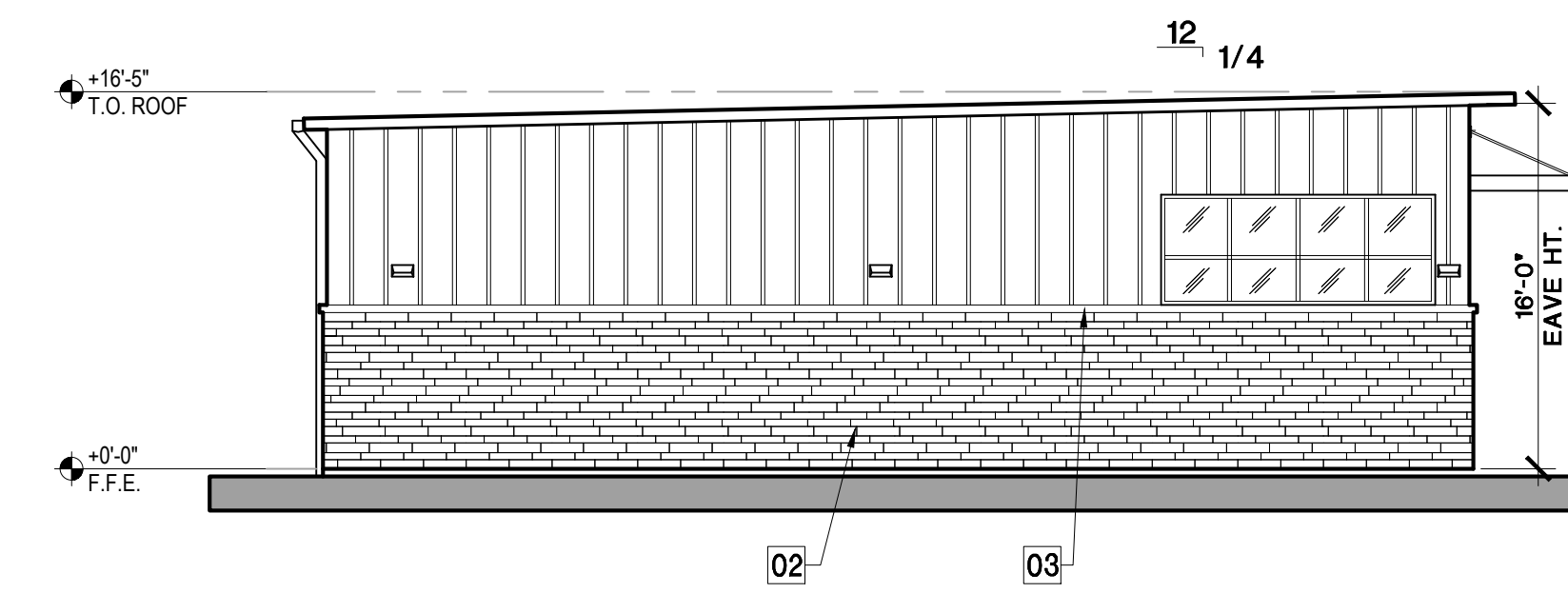
OPTION 3



OPTION 2



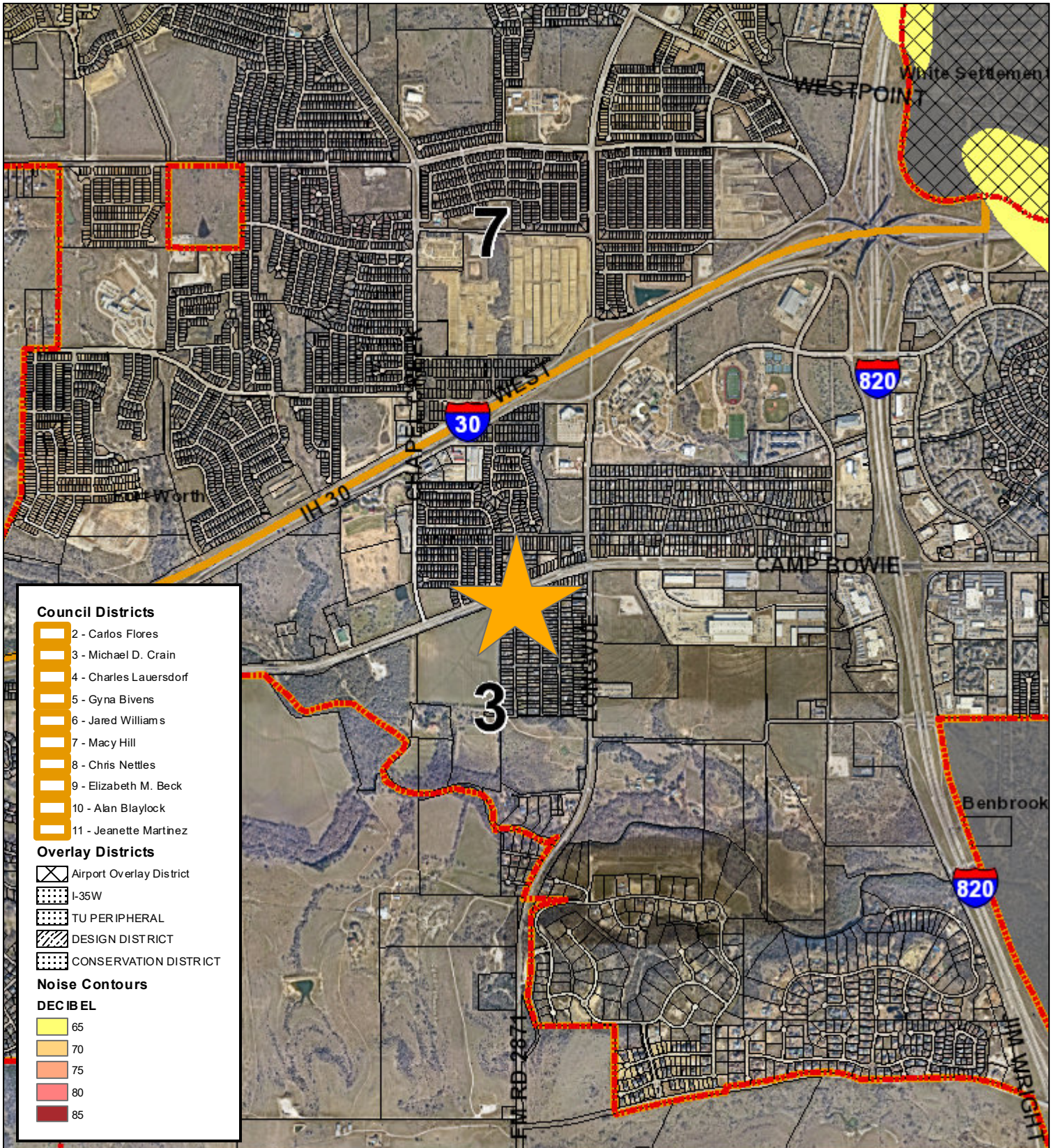
OPTION 1



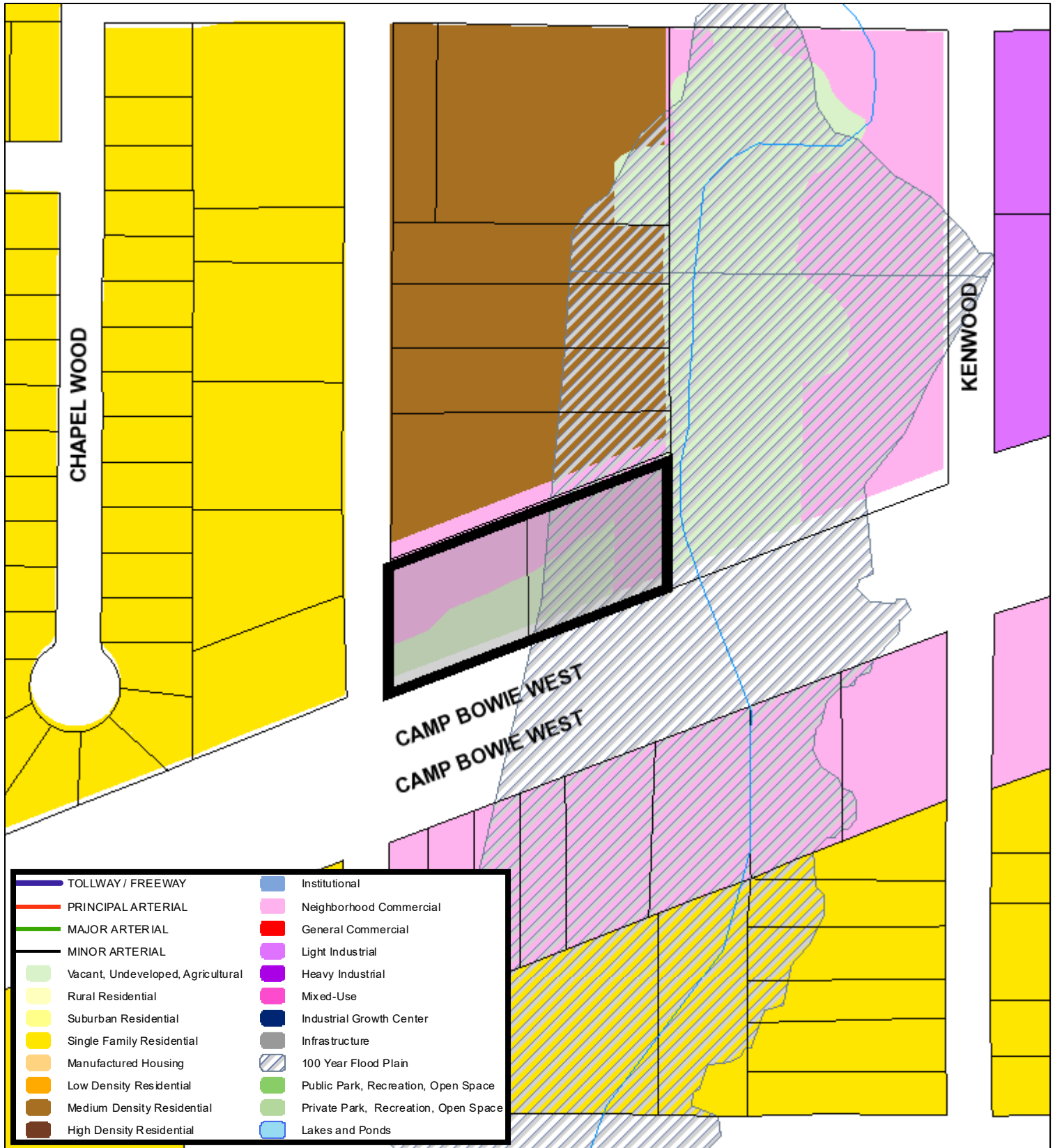
02 SIDE ELEVATION 1
SCALE: 1/8" = 1'-0"

01 FRONT ELEVATION
SCALE: 1/8" = 1'-0"

Area Map



Future Land Use



140 70 0 140 Feet

A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



Aerial Photo Map



0 90 180 360 Feet



**STAFF REPORT
ZONING COMMISSION
CITY OF FORT WORTH, TEXAS**

DATES: July 10, 2024

COUNCIL DISTRICT: 2

GENERAL INFORMATION

REQUEST	Recommendation to Amend the Stockyards Form-Based Code & Design Guidelines
APPLICANT/AGENT	City of Fort Worth (City Council Resolution #5799-09-2023)
LOCATION	Stockyards Historic and Form-Based Code District
ZONING/ USE (S)	SY-ENX-40; SY-TNX-55; SY-TSA-130
NEIGHBORHOOD ASSOCIATION	Stockyards

REQUEST

The City of Fort Worth Development Services Department requests a recommendation to the City Council on proposed amendments to the Stockyards Historic and Form-Based Code & Design Guidelines and a map amendment to the Zoning Ordinance in connection with the proposed expansion of the Stockyards Historic District to include additional properties and increase the maximum allowable building height in certain subdistricts.

BACKGROUND AND TIMELINE

- On **April 5, 2016**, City Council adopted an ordinance establishing the Stockyards Historic District.
- On **May 2, 2017**, City Council adopted an ordinance establishing the Stockyards Form-Based Code District, which included a sub-district designating the Historic and Cultural Landmarks District.
- On **September 12, 2023**, City Council adopted a Resolution to nominate the properties listed above for designation and inclusion in the Stockyards Historic and Cultural Landmarks District and directed the Historic Preservation Officer (HPO) to submit a nomination to the Historic and Cultural Landmarks Commission (HCLC).
- On **September 29, 2023**, Historic Preservation staff mailed notice of designation letters and petitions to the affected property owners which initiated interim controls.
- On **December 22, 2023**, Historic Preservation staff mailed notice of designation letters, petitions and notice of the January 8th HCLC meeting to the affected property owners.
- On **January 8, 2024**, the HCLC voted to approve the selected properties and map of the proposed Stockyards Historic District Expansion.
- On **January 26, 2024**, Historic Preservation staff mailed notice of designation letters,

petitions and notice of the February 12th HCLC meeting to the affected property owners.

- On **February 12, 2024**, the HCLC voted to continue the case.
- On **March 22, 2024**, Historic Preservation staff mailed notice of designation letters, petitions and notice of the April 8th HCLC meeting to the affected property owners.
- On **April 8, 2024** the HCLC voted to recommend approval to City Council to include the proposed properties in the Stockyards Historic and Cultural District.
- On **May 13, 2024**, the HCLC voted to recommend approval to the City Council of the proposed amendments to the Stockyards Historic and Form-Based Code & Design Guidelines and the map amendment to the Zoning Ordinance in connection with the proposed expansion of the Stockyards Historic District to include additional properties.
- On **June 12, 2024**, the Zoning Commission voted to continue the case until July 10, 2024.
- On **June 20, 2024**, the UDC voted to recommend approval to the City Council the proposed amendments to the Stockyards Historic and Form-Based Code & Design Guidelines and the map amendment to the Zoning Ordinance in connection with the proposed expansion of the Stockyards Historic District to include additional properties and increase the maximum allowable building height in certain subdistricts.
- On **July 8, 2024**, the HCLC will consider recommending approval to the City Council on the proposed amendments to increase the maximum allowable building height in certain subdistricts.

APPLICABLE CITY OF FORT WORTH ZONING ORDINANCE PROVISIONS

4.401 Historic Preservation Overlay Districts

(c) *Identification and Designation of Cultural Resources*

3. Eligibility for Designation

2. *District.*

i. An area, which includes two or more properties that possesses a significant concentration, linkage, or continuity of buildings, **sites**, structures, or objects united historically or aesthetically by plan or physical development, may be designated as a HC District if it meets the following qualifications:

- A. Three or more of the criteria for significance; and
- B. The necessary criteria for assessing integrity; and
- C. Where a proposed HC District is composed of a single geographic area of contiguous properties, then at least 51% or more of the historic properties in the district must be contributing; or
- D. Where a proposed HC District is composed of two or more definable significant areas separated by nonsignificant areas, then the historic properties must be spatially discrete.

- ii. An existing HC District may be amended or otherwise altered to include additional properties or settings provided that such properties and settings (1) meet the criteria for HC District designation and (2) have a similar historic context and character that reasonably relates to the existing HC District, either by architectural, historical, or cultural motif.

(5) *Procedures for designation and designation removal.*

a. Step 1: nomination for designation and designation removal.

1. City council.

I. The city council may nominate an individual property or HC District for historic designation or designation removal by adopting a resolution to nominate such and directing the HPO to submit the same to the HCLC for consideration. Nominations by the city council will not require the submission of an application for designation; however, the HCLC may not consider a nomination until such time as the HPO acquires the information necessary to report on the eligibility and criteria applicable to the nomination.

II. The nomination of an individual property or HC District for historic designation or designation removal by the city council will be deemed to have been nominated on the effective date of the adopted resolution.

Original Criteria for Historic Significance (2017)

The original Stockyards Historic and Form-Based Code District was designated prior to the update of the Preservation Ordinance in 2018. At the time, the district met 8 out of 10 criteria. Staff have reevaluated the district in relation to the new criteria for significance and found that it meets 7 out of 8 criteria:

- Criterion 1: Distinctive in character, interest or value; strongly exemplifies the cultural, economic, social, ethnic or historical heritage of the City of Fort Worth, State of Texas or the United States
- Criterion 2: Is (or includes) an important example(s) of a particular architectural type or specimen in the City of Fort Worth
- Criterion 3: Has been identified as the work(s) of an important architect(s) or master builder(s) whose individual work has contributed to the development of the City of Fort Worth
- Criterion 4: Embodies elements of architectural design, detail, materials, or craftsmanship, which represent a significant architectural innovation
- Criterion 5: Bears an important and significant relationship to other distinctive structures, sites, or areas, either as an important collection of properties or architectural style or craftsmanship with few intrusions, or by contributing to the overall character of the area according to the plan based on architectural, historic or cultural motif
- Criterion 8: Is identified with a person or persons who significantly contributed to the culture and development of the City of Fort Worth, State of Texas or the United States
- Criterion 9: Represents a resource, whether natural or man-made, which greatly contributes to the character or image of a defined neighborhood or community area

Criterion 10: Is designated as a Recorded Texas Landmark or State Archeological Landmark, or is included on the National Register of Historic Places

EVALUATION OF SIGNIFICANCE

History of the Stockyards Area

The origins of Fort Worth's Stockyards dates back to 1887, when the plans for the Stockyards were first created. Operations began in 1889. In 1901, the City of Fort Worth offered \$100,000 bonus to any meat packing businesses that would set up their operations in the area, as a way to encourage growth and business. Two firms answered the call, Swift & Co. and Armour and Co., of Chicago. Thousands of jobs were created in the Stockyards as a result. The Stockyards area continued to develop in the following years and greatly contributed to the growth and development of the Near North Side commercial and residential areas. The area began to experience decline in 1962 when the Armour & Co. plant closed.

Significance of the Stockyards Area

The Stockyards provided the major impetus for the growth and early development of Fort Worth. It is one of the most significant sites in Texas, representing the importance of the cattle and livestock industry to the state. In addition, the creation of Fort Worth's Stockyards coincides with the beginnings of the cattle and livestock industries in the southwestern United States, making it a unique and important national destination. On June 29, 1976, the Stockyards was listed on the National Register of Historic Places.

The majority of structures, circulation patterns, landscape and site features, cultural resources, and the setting of the historic context within the Stockyards area were defined and constructed in the early 1900s to 1920s. There are also several examples of architecture and other cultural resources constructed in the 1930s, and a few from the 1940s through early 1960s.

The Period of Significance for the Stockyards Historic District is 1890 to 1962. However, the oldest remaining structures appear to be from 1902.

EVALUATION OF INTEGRITY

Integrity is the ability of a property to convey its significance. The designation of a property must not only be shown to have significance under Zoning Ordinance, but it also must have integrity. Within the concept of integrity for example, the National Park Service criteria recognizes seven aspects that define integrity.

Seven Aspects of Integrity

- 1. Location.**
- 2. Design.**
- 3. Setting.**
- 4. Materials.**
- 5. Workmanship**
- 6. Feeling.**
- 7. Association.**

For a district to retain integrity as a whole, the majority of the components that make up the district's historic character must possess integrity even if they are individually undistinguished. When evaluating the impact of intrusions upon the district's integrity, take into consideration the relative number, size, scale, design, and location of the components that do not contribute to the

significance (National Register Bulletin, 1995).

The proposed properties for inclusion are composed of 1950s structures as well as vacant lots and brick streets. The Stockyards contains several non-built character-defining features that include circulation patterns for pedestrians, automobiles and livestock as well as view corridors. A critical aspect of the Stockyards was the need for orderly circulation throughout the district for pedestrians, animals and vehicles (including truck and train traffic). This consisted of a network of streets, sidewalks, walkways and ramps as well as rail lines.

Streets in the commercial areas to the west of the Stockyards, were laid out in an orderly grid pattern that accommodated vehicular movement. Exchange Avenue and Packers Street are historic alignments that survive and reflect this circulation system. On West Exchange, the properties lined by sidewalks continue the historic auto and pedestrian circulation and view to the historic core. The circa 1945 gas station that has been converted to a tattoo parlor is a remnant of the truck and auto circulation patterns. While the built structures proposed for inclusion on W Exchange retain little physical integrity, their shape, location and form contribute to the context and cultural significance of the historic Stockyards by reinforcing important components of the district's setting such as view corridors and circulation patterns.

On E Exchange, the proposed properties for inclusion are some of the most street-adjacent portions of the Swift/Armour sites. The easternmost portion of E Exchange is an important part of the historic view corridor down Exchange Avenue from the rail lines which were directly accessed by the Swift and Armour Companies for the meatpacking industry. The inclusion of these properties also provides an opportunity to recognize the historic open space between the administration buildings. Brick paving features extant in this area are indicative of paving patterns in the Stockyards which were laid to provide better traction for the livestock.

Overall the inclusion of the properties add to the integrity of the district by providing additional context and resources. The inclusion of these properties will further effectuate the protections necessary for the long- term preservation of the Stockyards.

Stockyards Form-Based Code and Design Guidelines

Sec . 2.4.4. STANDARDS AND GUIDELINES FOR NON-CONTRIBUTING BUILDINGS AND NEW CONSTRUCTION

It is important that any new construction or the alteration of non-contributing properties contribute to a consistent sense of character and respect the historic context, while also conveying the evolution of the historic district. It is not the intent that new buildings imitate older styles, but that they draw upon basic elements seen historically while doing so in ways that express their own time.

Compatibility with the historic context is a key principle for the design of new construction or to the alterations of non-contributing properties. This typically focuses on buildings on the same block, on both sides of the street, and also across an alley. In some cases, a structure that is not historic may also be found in the immediate vicinity, but this does not influence considerations of compatibility.

B. Building Form

Historically most buildings in the Historic District had simple rectangular forms, which typically expressed the width of the underlying lots. Larger buildings were composed of a set of these simple forms (such as the White Elephant Saloon). This tradition should be continued.

D. Building Massing

While building forms were simple, some variation in massing existed, usually by a change in parapet height, and expression of vertical elements and other articulation methods. This variation in massing helped to establish a sense of a lower scale in this area and should be continued.

Generally, in HCO-55, a central mass may have been framed by subordinate building “modules.” This variation in massing is still apparent on the Armour Laboratory building. **This helped to establish a sense of a lower scale in this area.** This tradition should be continued.

FINDINGS / RECOMMENDATIONS

Eligibility for Designation (Current Criteria for Designation)

The proposed district meets the following City of Fort Worth criteria for historic designation:

Criterion 1: Is distinctive in character, interest or value, and exemplifies the cultural, economic, social, ethnic or historical heritage of the City of Fort Worth, State of Texas or the United States.

Criterion 2: Is an important example of a particular architectural type or specimen or embodies elements of architectural design, detail, material, or craftsmanship that represent a significant architectural innovation in Fort Worth.

Criterion 3: Has been identified as the work of an important architect or master builder whose individual work has contributed to the development of Fort Worth.

Criterion 4: Has been identified with a person or persons who significantly contributed to the culture and development of the City of Fort Worth, State of Texas, or the United States.

Criterion 5: Bears a significant relationship to other distinctive buildings, structures, sites, objects, or areas, either as an important collection of properties of architectural style or craftsmanship with few intrusions, or by contributing to the overall character of the area according to a plan based on architectural, historic, or cultural motif.

Criterion 7: Is the site of a significant historic event.

Criterion 8: Is designated as a Recorded Texas Historic Landmark, State Archeological Landmark, or an American Civil Engineering Landmark or is listed on the National Register of Historic Places.

The historical context found within a district can be defined by the political, social, cultural, and economic setting for a particular development, industry, idea or event. In order to better understand the significance of a site within the history of a district, we must look at its context-- those things which surround it in time and place and which give it its meaning.

More specifically for the purposes of this request, the National Register of Historic Places defines a historic context as:

“An organizing structure for interpreting history that groups information about historic properties which share a common theme, common geographical location, and common time period. The development of historic contexts is a foundation for decisions about

planning, identification, evaluation, registration, and treatment of historic properties, based on comparative significance.”

A historic context tells the stories that explain the how, when, and why of how the built environment developed or looks the way it does. There are many elements within a historic context that contribute to the sense of place, including but not limited to structures, sites, landscapes, views, circulation patterns, smells, sounds, and more.

The Stockyards district today still retains many of its character-defining features, such as the circulation patterns used to move livestock to the packing plants and a vibrant collection of early 20th-century commercial buildings that were erected to support the meatpacking plants. The high degree of integrity within the local Historic District is significant because it represents a remnant of an extinct industrial American form.

A review of historical data and photographs informs one’s understanding of the way in which the district retains its early character and also the degree to which the district exhibits change during its period of historic significance. This change demonstrates that the district was not “frozen” in time, but shows a history of gradual development, modification and restoration. This evolution is a key characteristic of the district.

Eastern Expansion

The eastern expansion of E Exchange Ave contains some of the most street-facing sections of the historic Armour and Swift Co sites. The inclusion of these sections is key to maintaining the historic context of the Stockyards in regards to the brick pavement, historic view corridor, the connection from the railways through the Swift/Armour sites to the greater Stockyards, and the historic open plaza space that was between the Armour and Swift administration buildings. Pedestrian access, the view from E Exchange down the Swift and Armour steps and respective sites, and the brick pavement that was lain for better traction of the livestock, are all important character defining features of the area. The inclusion of the properties will provide a more complete context for the extant buildings adjacent to the properties including the Swift Co administration building, and the only extant Armour Co building, as well as site features such as the staircase that leads down into the Stockyards Station.

Western Expansion

The Western expansion contains a circa 1945 gas station that has since been converted into a tattoo parlor and a church that was constructed circa 1950. Other properties include vacant lots on either side of Exchange with sidewalks that continue the historic pedestrian circulation patterns and views into the historic core, and the auto-oriented circulation patterns that were established by the commercial activity in the area. The inclusion of these properties will extend the Stockyards historic context to its natural ending point at the edge of W Exchange and Clinton, and provide additional context for the contributing structure located at the NW corner of Houston and Exchange Avenue. The features like sidewalks, and the scale and orientation to the street of the buildings adds to the historic context of the Stockyards historic district.

Given the importance and significance of the sites within the proposed district expansion, the request meets the requisite significance criterion because the request meets the criteria for HC District designation and the properties have a similar historic context and character that reasonably relates to the existing HC District, by historical and cultural motif.

Integrity

Based on the evidence still extant in the district, the existing and proposed properties within the

amended boundaries sufficiently retain all aspects of integrity (location, design, setting, materials, workmanship, feeling and association).

Summary

Staff have found evidence that the district with amended boundaries meets 7 of the 8 Criteria for Designation and retain the Seven Aspects of Integrity. This is consistent with the requirements of the ordinance for Historic & Cultural Landmark properties.

Proposed Height Increase

During the May HCLC meeting, Staff received a request from property owners within the expansion boundaries on W. Exchange Avenue to increase the maximum heights for the properties currently from 40' to 55' to match the other included properties of the Western section of the proposed expansion of the historic district.

Context

The historic properties located in the Stockyards District closest to the proposed expansion area on the corner of W Exchange and Houston include 300 W Exchange Avenue, 221 W Exchange Avenue and 222 W Exchange Avenue.

300 W Exchange Avenue and 222 W Exchange Avenue are both two-story brick structures that are approximately 30' tall to the parapet. The three-story brick structure at 221 W Exchange Avenue is approximately 38' to the parapet. The historic ceiling heights are likely between 10' and 12' feet with the first floor typically being taller than the upper floors.

When one is considering an appropriate maximum height for properties, it important to consider the historic and current contexts within the setting along the street. Although most of the sites are vacant today, traditionally the lots on W. Exchange Avenue have had buildings with larger masses but lower heights than the existing contributing structures at the intersection of W. Exchange Ave. and N. Houston Street. Currently, the vacant lots directly adjacent to the historic structures have a 55' maximum height. Given the new construction requirement of 14' ceiling heights and the Form-Based Code requirements to reflect traditional massing patterns, the maximum height increase on the edge lots would have little effect on the historic context. Retaining the existing height of 40' would essentially limit any new projects to three (3) stories. The current 40' height limit also reduces the ability to provide a true mixed-use development, which is consistent with traditional building uses on W. Exchange Avenue where the lower floors or historic buildings were used for businesses and the upper floors were often used for boarding or apartments. In this regard, the existing height limit of 40' is inconsistent with the *Secretary of the Interior's* Standard 1, which states that historic properties shall be used for their historic purpose or placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment. Increasing the maximum height to 55'¹/₄ stories will allow these properties to be used in a manner consistent with traditional uses in the Stockyards.

It is acknowledged that without appropriate design standards, an increase in height can lead to a subsequent increase in scale and mass of structures, particularly if multiple lots are under single ownership. The Stockyards Form-Based Code & Design Guidelines have robust standards for non-contributing buildings and new construction within the historic core of the district (Section 2.4.4). In fact, the standards in Section 2.4.4 are more robust than existing design standards for the Transition and Edge district. New construction **must be compatible** with the historic context and adjacent contributing structures in terms of mass, scale, form, articulation, materials, and other design features. These design standards will ensure that the effect of the proposed increase in height to 55' will be mitigated by the requirements to adjust

the mass and scale of any new buildings so that they are consistent with the mass, scale, and design traditional buildings along W. Exchange Avenue.

Lastly, although the neighboring residential properties on Clinton Avenue are not within the bounds of the Stockyards Form-Based Code district, it is important to consider the effect of the proposed height increase on those properties since they are within the historic context and setting along W. Exchange Avenue. The existing structures along Clinton are currently mostly 1-2 story buildings, with the larger buildings being close to 30' in height. These properties are currently zoned Urban Residential, "UR" which allows for up to four stories or 48' in height, which is taller than the existing 40' on the lots within the Code. Other properties that are included in the Stockyards Historic and Form-Based Code District further south and located next to the residential neighborhood are also zoned with a 55' maximum height. Given the existing context and maximum heights in and around the lots currently zoned SY-ENX-40, the current max height of 40' is inconsistent with the surrounding context and should be reconsidered.

Therefore, staff recommends the following motion:

That the Zoning Commission recommend approval of the proposed amendments to the Stockyards Historic and Form-Based Code & Design Guidelines and the map amendment to the Zoning Ordinance in connection with the proposed expansion of the Stockyards Historic District to include additional properties, and the proposed increase to the maximum height allowable in certain subdistricts.

SUPPLEMENTAL MATERIALS

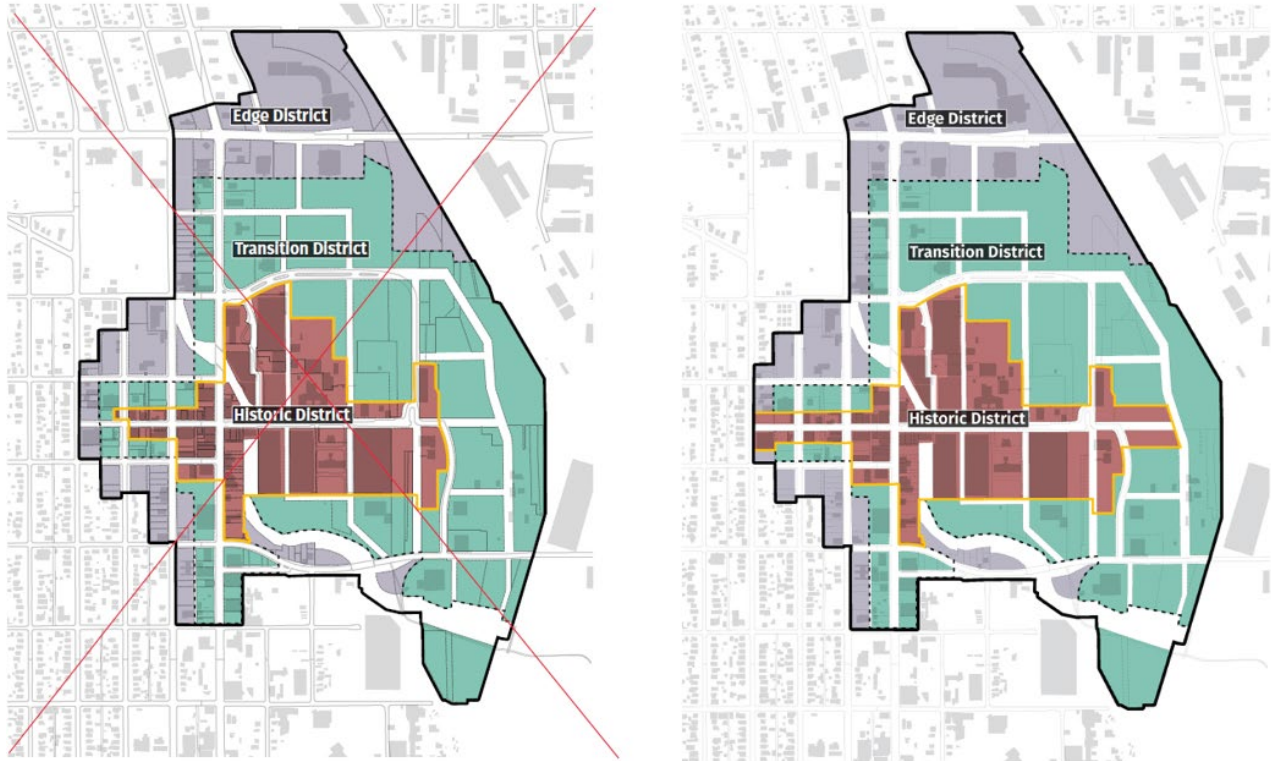
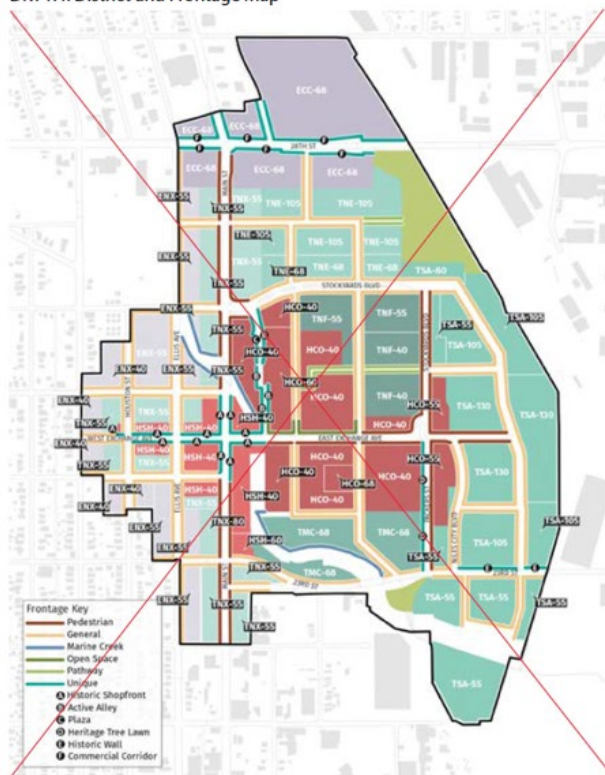


Fig. 1 – Proposed changes to Page 0-4 of the Stockyards Historic and Form-Based Code & Design Guidelines

Div. 1.4. District and Frontage Map



Div. 1.4. District and Frontage Map

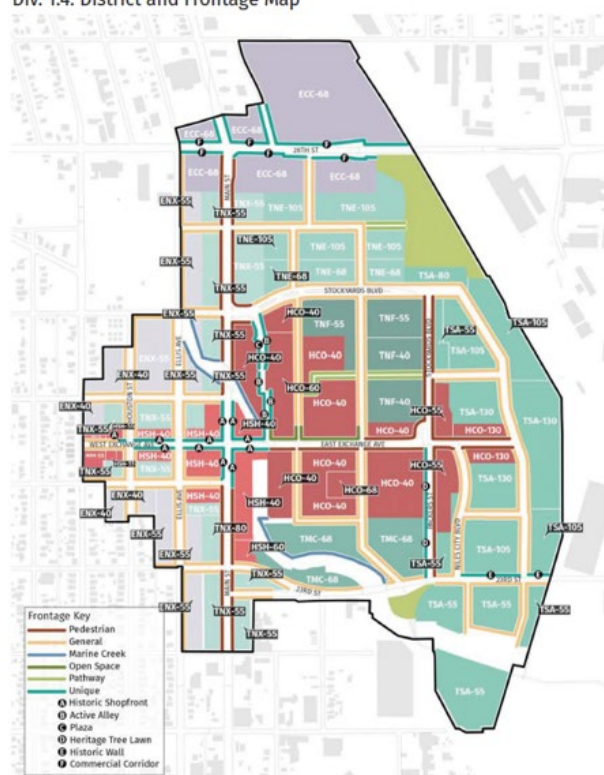


Fig. 2 – Proposed changes to Page 1-4 of the Stockyards Historic and Form-Based Code & Design Guidelines

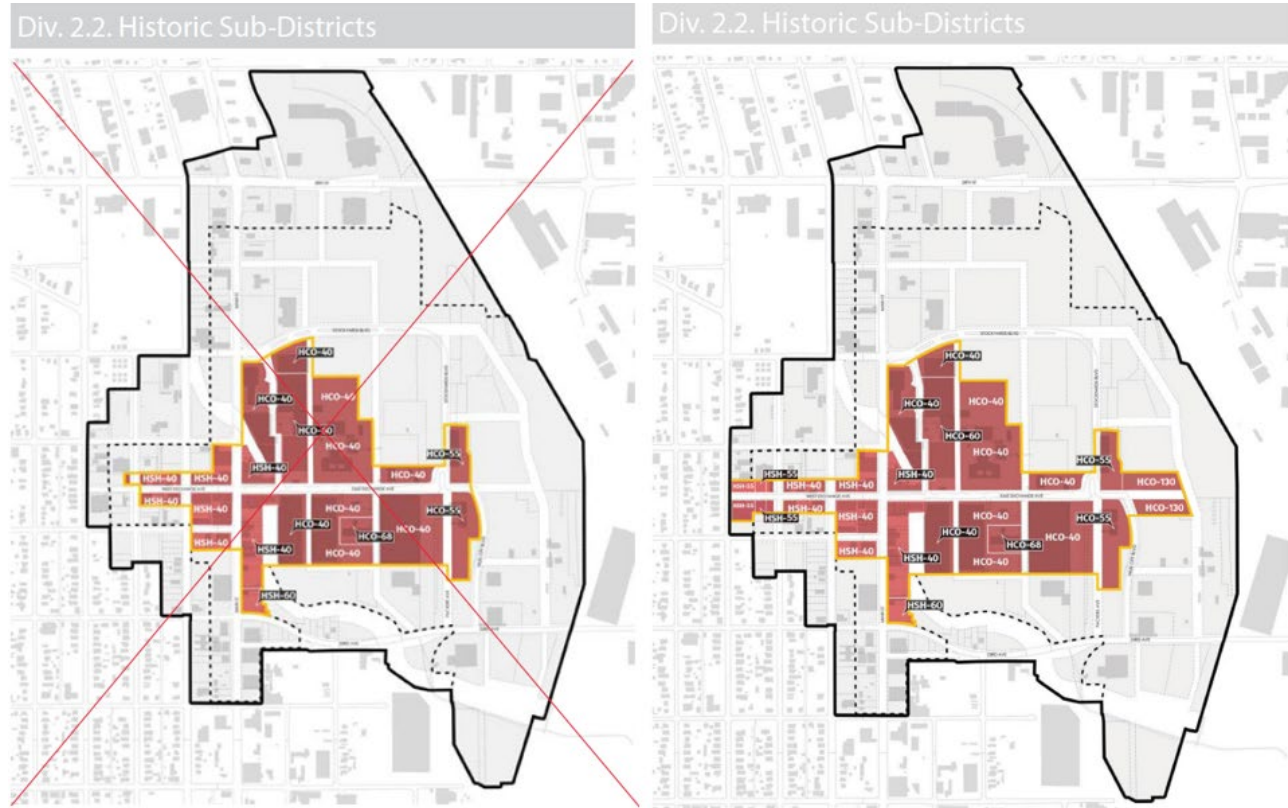


Fig. 3 – Proposed changes to Page 2-2 of the Stockyards Form-Based Code & Design Guidelines

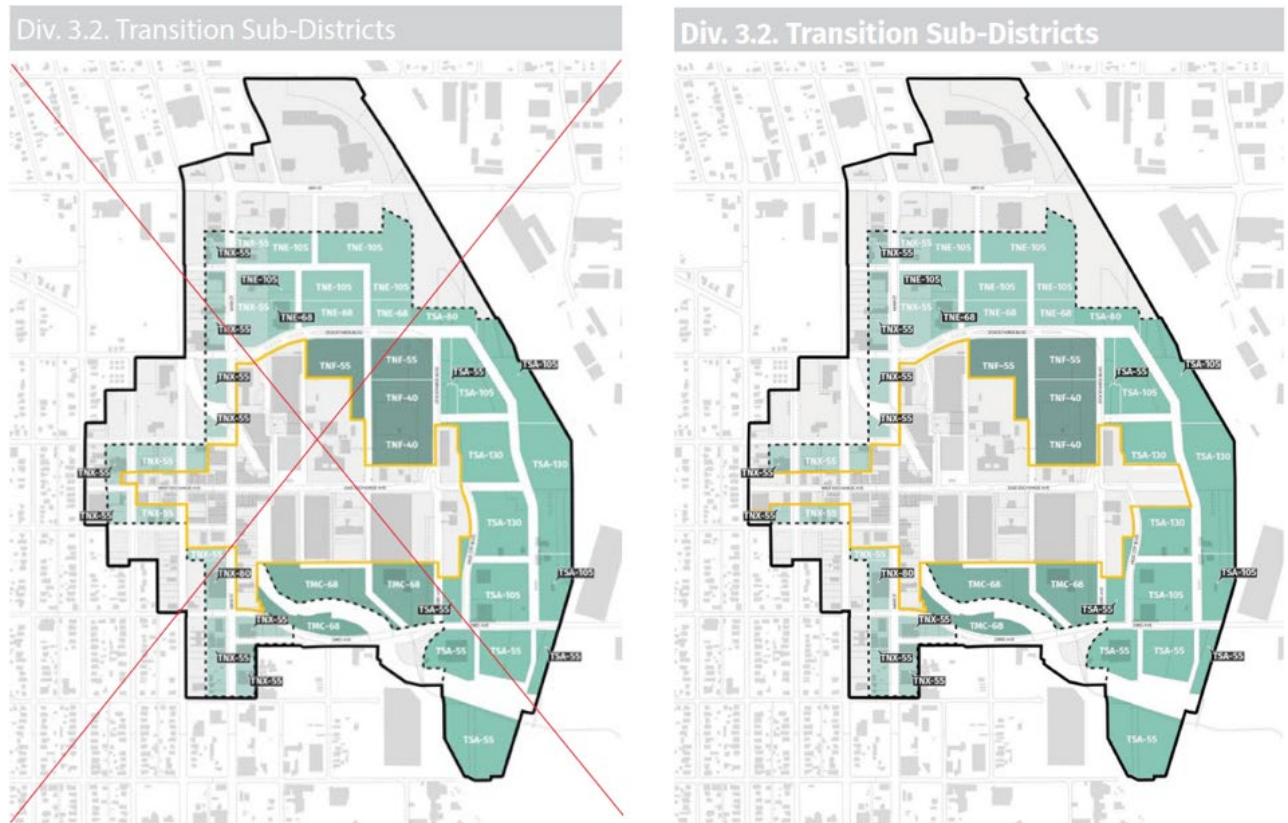


Fig. 4 - Proposed changes to Page 3-2 of the Stockyards Form-Based Code & Design Guidelines

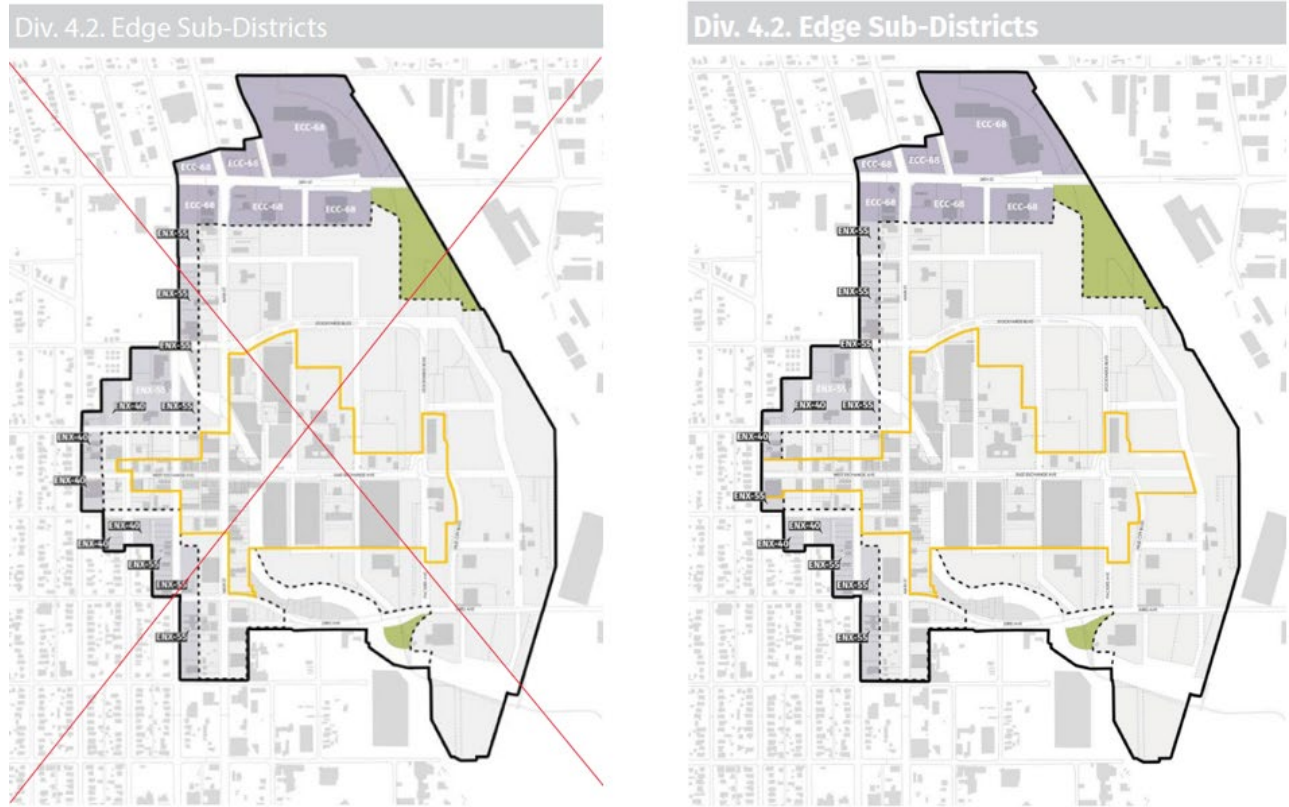


Fig. 5 - Proposed changes to Page 4-2 of the Stockyards Form-Based Code & Design Guidelines

Exhibit B.33 (See Section 4.1309) Stockyards Form-Based Code

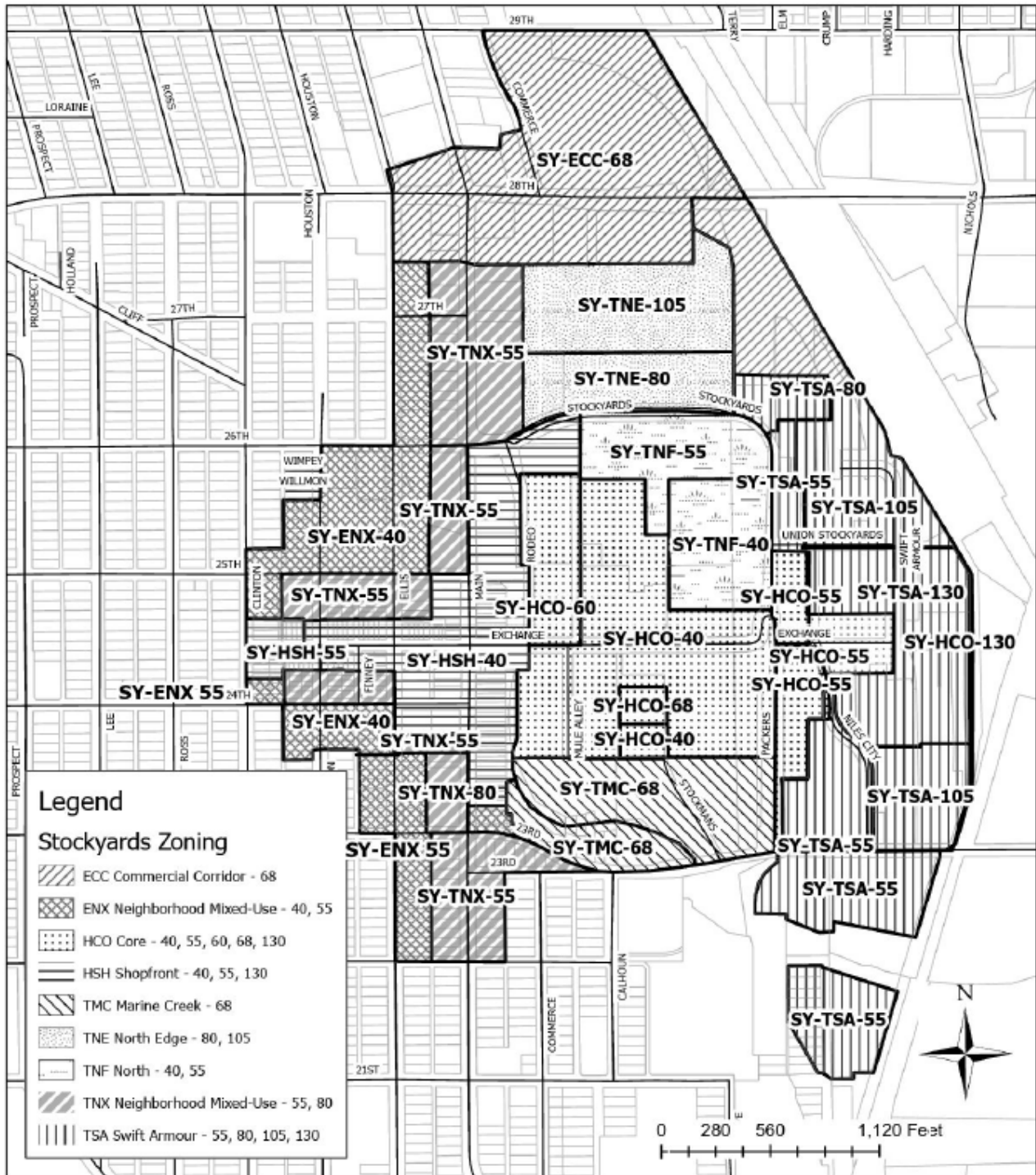
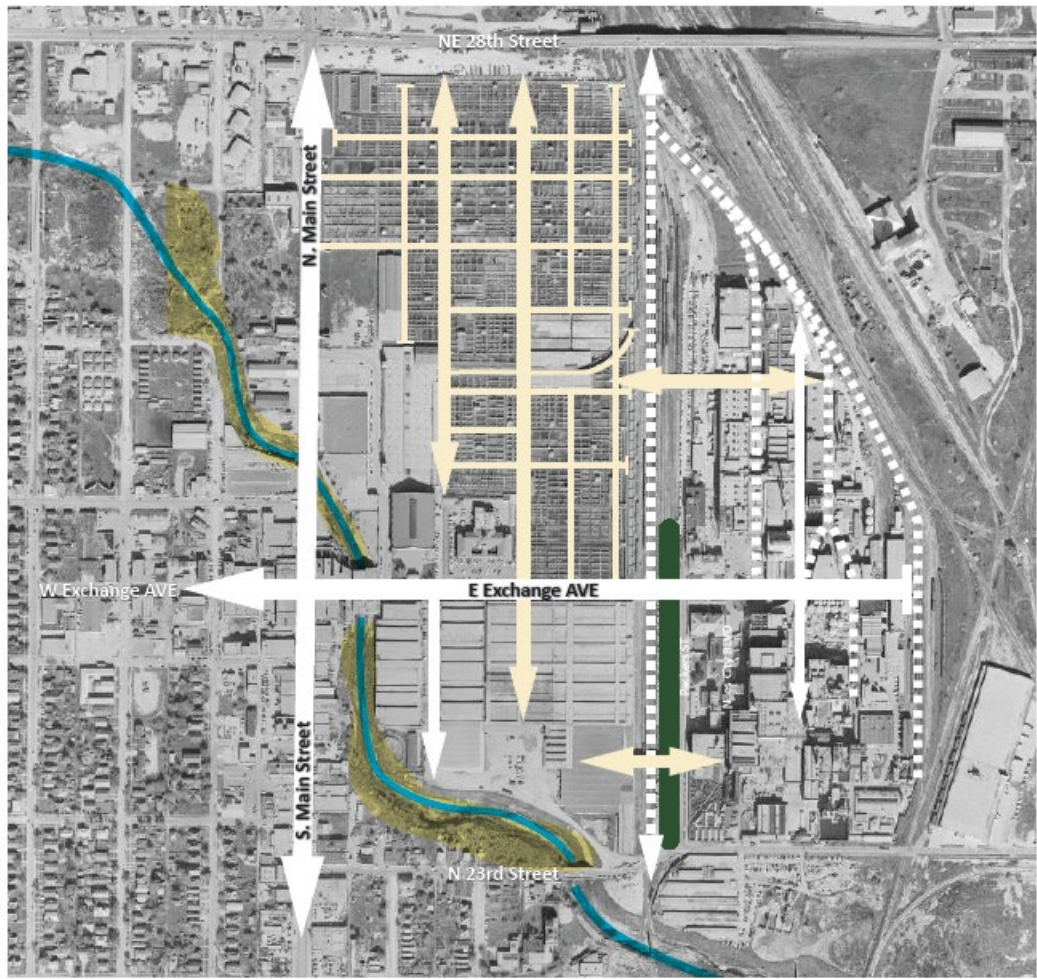


Fig. 6 - Proposed changes to map in Zoning Ordinance with proposed height increases

Circulation and Access Patterns



Aerial photo: 1957

Many key circulation routes existed historically in the Stockyards. These circulation routes should be respected by future development whenever feasible. These circulation corridors are shown in the map above.





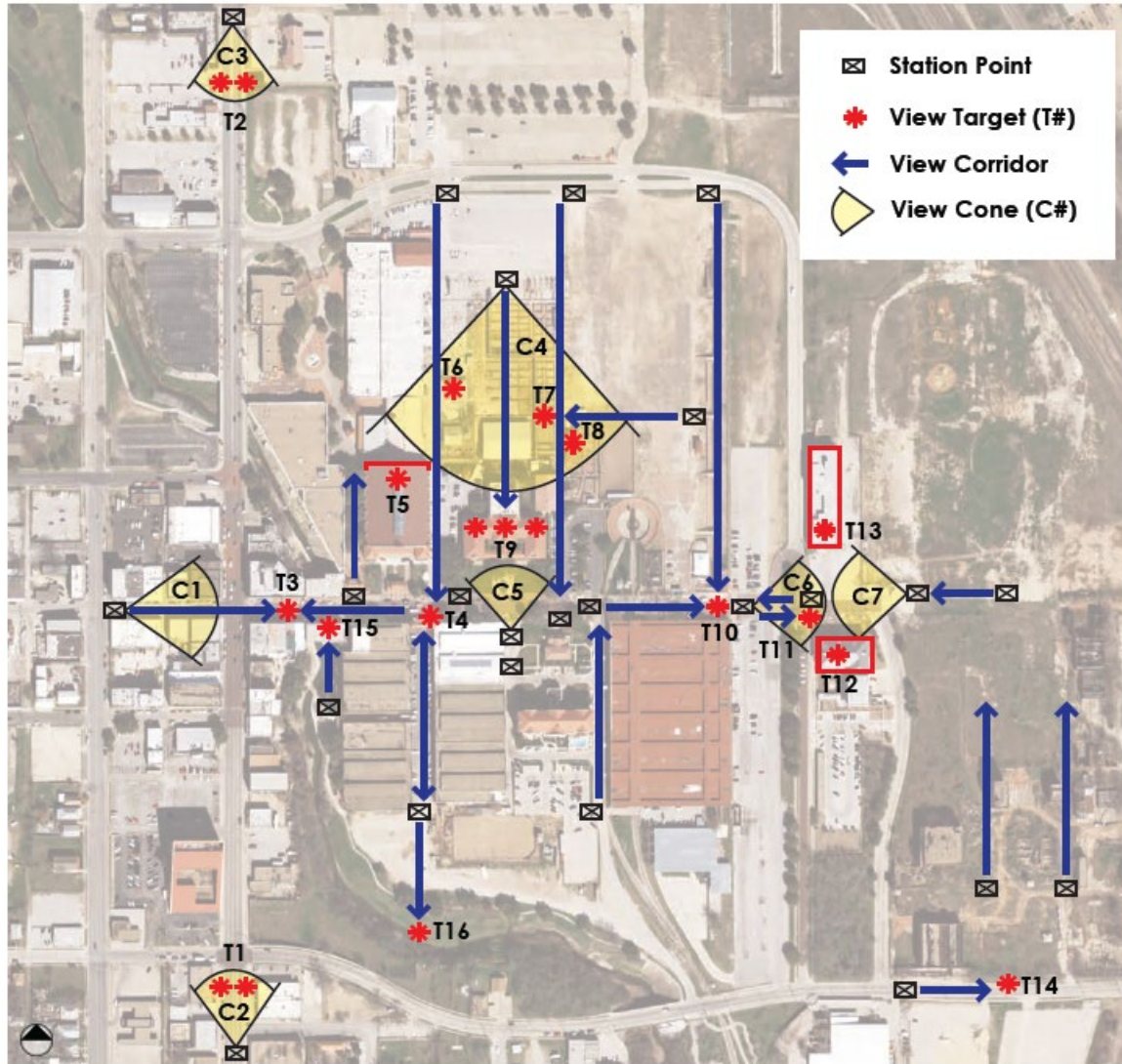
- KEY:
-  Livestock Walkways
 -  Streets
 -  Rail Lines
 -  Heritage Tree Lawn

Fig. 7 – Circulation and Access patterns



View Opportunities Map

Fig. 8 – View Opportunities Map



Fig. 9 - 300 W Exchange, contributing, approximately 30' tall.



Fig. 10 – 221 W Exchange, contributing, approximately 38' tall



Fig 11 – 222 W Exchange, contributing, approximately 30' tall.



Fig. 12 – View looking west from Finney Ave.



Fig. 13 – View looking east on W Exchange to the core.

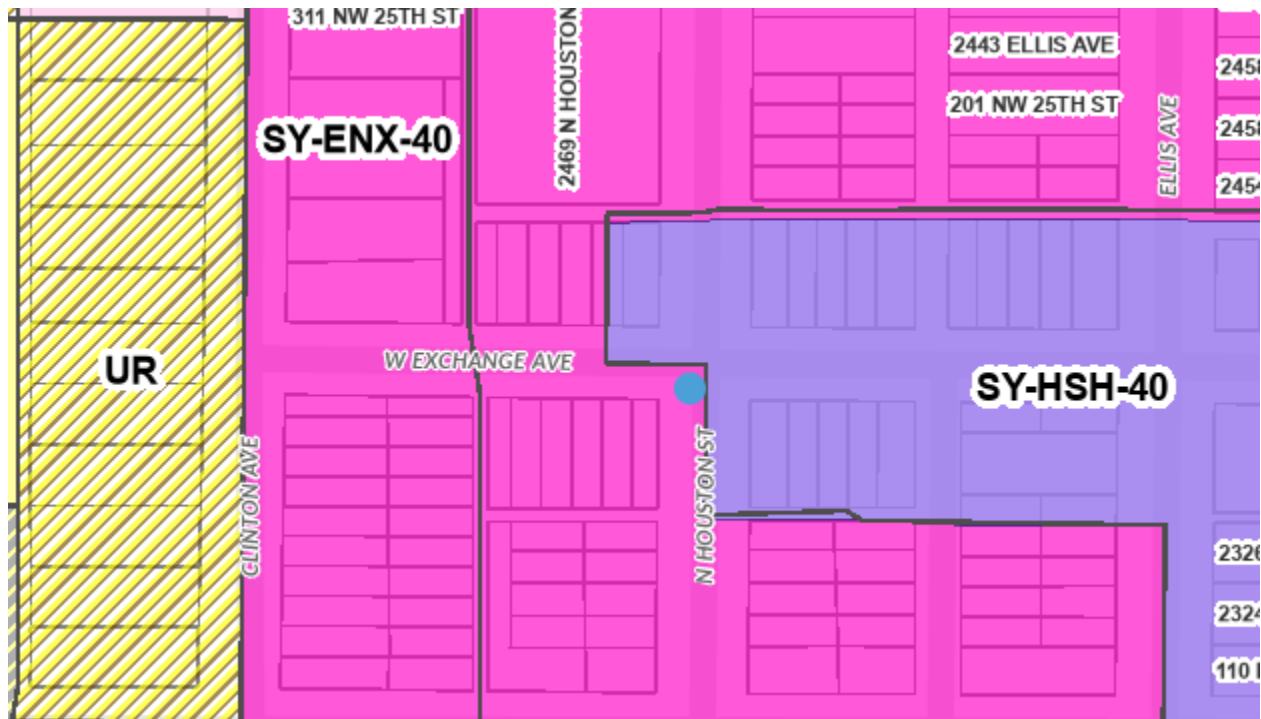


Fig. 14 – Zoning map showing properties directly across W Exchange are marked “UR”, Urban Residential. This allows up to 4 stories.

ORDINANCE NO. _____

AN ORDINANCE AMENDING THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF FORT WORTH, BEING ORDINANCE NO. 21653, AS AMENDED, CODIFIED AS APPENDIX “A” OF THE CODE OF THE CITY OF FORT WORTH (2015), BY AMENDING CHAPTER 4, “DISTRICT REGULATIONS” ARTICLE 13, “FORM BASED DISTRICTS”, SECTION 4.1309, “STOCKYARDS (“SY”) DISTRICT” TO AMEND THE “FORT WORTH STOCKYARDS FORM BASED CODE AND DESIGN GUIDELINES” TO EXPAND THE STOCKYARDS HISTORIC DISTRICT; TO INCREASE THE MAXIMUM ALLOWABLE BUILDING HEIGHT IN CERTAIN SUBDISTRICTS FROM 40’ TO 55’; TO AMEND APPENDIX B “MAPS” EXHIBIT B.33 “STOCKYARDS FORM-BASED CODE” TO REFLECT THE NEW STOCKYARD HISTORIC DISTRICT BOUNDARY; AND PROVIDING THAT THIS ORDINANCE SHALL BE CUMULATIVE; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A PENALTY CLAUSE; PROVIDING A SAVINGS CLAUSE; PROVIDING FOR PUBLICATION IN THE OFFICIAL NEWSPAPER; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, on April 5, 2016, the City Council adopted Ordinance No. 22155-04-2016, establishing the Stockyards Historic District; and

WHEREAS, on May 2, 2017, the City Council adopted Ordinance No. 22703-05-2017 establishing the Stockyards Form-Based Code District, which included as a sub-district designated the Historic and Cultural Landmarks District (“Stockyards HC District”) to effectuate the protections necessary to fulfill the purpose and intent of the Zoning Ordinance, including, but not limited to, the long-term preservation of the Stockyards as a valuable and irreplaceable historic asset to the City of Fort Worth and the nation; and

WHEREAS, the original historic district boundary adopted by Council excluded some of the historically significant structures, objects, and sites important to the Stockyards and its historic context; and

WHEREAS, on September 12, 2023, under Resolution 5799-09-2023, the City Council, nominated certain areas within the Stockyards to be included in the existing Historic and Cultural Landmarks District (“Stockyards HC District”) to further effectuate the protections necessary for the long-term preservation of the Stockyards as a valuable and irreplaceable historic asset to the City of Fort Worth and the nation, as a whole; and

WHEREAS, the Historic Preservation Officer submitted such nomination to the Historic and Cultural Landmarks Commission for consideration and the Historic and Cultural Landmarks Commission considered such nomination on May 13th, 2024 and recommended approval.

WHEREAS, affected property owners and stakeholders within the Stockyards requested that the maximum building be increased on certain properties along W. Exchange Avenue in order to encourage development that is compatible with the surrounding historic context on W. Exchange Avenue; and

WHEREAS, the Historic Preservation Officer and Development Services Staff have evaluated the request for additional height on those parcels and found the request consistent with the Guiding Principles, Statement of Significance, and design standards and guidelines within the Stockyards Form-Based and Design Guidelines and recommends approval of the height increase; and

WHEREAS, amendments to the Stockyards Form Based Code and Design Guidelines requires a recommendation from the Historic and Cultural Landmarks Commission, the Urban Design Commission, and the Zoning Commission with respect to their area of authority and the proposed amendments;

WHEREAS, the Historic Preservation Officer and Development Services staff recommends that the Historic and Cultural Landmarks Commission, the Urban Design Commission, and the Zoning Commission, with respect to their area of authority, recommend approval of this proposed ordinance, which amends the Fort Worth Stockyards Form Based Code and Design Guidelines and Appendix B Exhibit B.33 to illustrate the expansion of the Stockyards HC District and to increase the maximum allowable building height in certain subdistricts from 40' to 50'.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF FORT WORTH, TEXAS AS FOLLOWS:

SECTION 1.

That the Fort Worth Stockyards Form Based Code and Design Guidelines,” of Section 4.1309, “Stockyards (“SY”) District, Article 13, “Form Based Districts” of Chapter 4 “District Regulations”, Section 4.1309(e), “Other development standards” is hereby amended as set out in Exhibit “A,” attached and hereby incorporated into the Zoning Ordinance by reference to expand

the Stockyards Historic District, amend related graphics, and to increase the maximum building height from 40' to 55' for the following SY sub-districts: SY-ENX and SY-HSH. A copy of the Fort Worth Stockyards Form Based Code and Design Guidelines is on file in the City Secretary's Office and the Development Services Department.

SECTION 2.

Appendix B: "MAPS" of the Comprehensive Zoning Ordinance is amended to revise the maps for the Stockyards ("SY") District to amend the boundaries for SY-TSA-105 and SY-TSA-130 subdistricts, as depicted in Exhibit B.33 "SY Stockyards Form Based Code" attached to this Ordinance.

SECTION 3.

This ordinance shall be cumulative of all provisions of ordinances and of the Code of the City of Fort Worth, Texas (2015), as amended, except where the provisions of this ordinance are in direct conflict with the provisions of such ordinances and such Code, in which event conflicting provisions of such ordinances and such Code are hereby repealed.

SECTION 4.

It is hereby declared to be the intention of the City Council that the sections, paragraphs, sentences, clauses and phrases of this ordinance are severable, and, if any phrase, clause, sentence, paragraph or section of this ordinance shall be declared unconstitutional by the valid judgment or decree of any court of competent jurisdiction, such unconstitutionality shall not affect any of the remaining phrases, clauses, sentences, paragraphs and sections of this ordinance, since the same would have been enacted by the City Council without the incorporation in this ordinance of any such unconstitutional phrase, clause, sentence, paragraph or section.

SECTION 5

Any person, firm, or corporation, who violates, disobeys, omits, neglects or refuses to comply with or who resists the enforcement of any of the provisions of this ordinance shall be fined not more than Two Thousand Dollars (\$2,000.00) for each offense. Each day that a violation exists shall constitute a separate offense.

SECTION 6.

All rights and remedies of the City of Fort Worth, Texas, are expressly saved as to any and all violations of the provisions of Ordinances No. 3011, 13896, 21653 and any other ordinances affecting zoning which have accrued at the time of the effective date of this ordinance, and, as to such accrued violations and all pending litigation, both civil and criminal, whether pending in court or not, under such ordinances, same shall not be affected by this ordinance but may be prosecuted until final disposition by the courts.

SECTION 7.

The City Secretary of the City of Fort Worth, Texas, is hereby directed to publish the caption, penalty clause and effective date of this ordinance for two (2) days in the official newspaper of the City of Fort Worth, Texas, as authorized by Section 52.013, Texas Local Government Code.

SECTION 8.

All other provisions of the Zoning Ordinance of the City of Fort Worth not herein amended shall remain in full force and effect.

SECTION 9.

This ordinance shall take effect upon adoption and publication as required by law.

APPROVED AS TO FORM AND LEGALITY:

By: _____
Christopher Austria,
Senior Assistant City Attorney

Jannette S. Goodall,
City Secretary

ADOPTED: _____

EFFECTIVE: _____

FORT WORTH STOCKYARDS

FORM-BASED CODE & DESIGN GUIDELINES



ADOPTED
May 02, 2017/Rev.
December 15, 2023



PREPARED FOR:

City of Fort Worth

MAYOR AND CITY COUNCIL:

Betsy Price, Mayor

Sal Espino, District 2

W.B. Zimmerman, District 3

Cary Moon, District 4

Gyna Bivens, District 5

Jungus Jordan, District 6

Dennis Shingleton, District 7

Kelly Allen Gray, District 8

Ann Zadeh, District 9

HISTORICAL AND CULTURAL LANDMARKS

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Murray Miller, Historic Preservation Officer

ILLUSTRATIONS:

Sketches by Murray Miller

Historic photographs courtesy of
Stockyards Museum, City of Fort Worth

ASSISTANCE FROM:

North Fort Worth Historical Society

HISTORIC OVERVIEW ADAPTED FROM:

Fort Worth Stockyards Historic District National
Register Nomination (1976)
The Fort Worth Stockyards national historic
district: An illustrated history and guide
by Horace Craig

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The UDC recommends that in support of ongoing heritage tourism at the Fort Worth Stockyards, the City of Fort Worth should work cooperatively with the Economic Development Department and Events Facilities Department to pursue potential opportunities for permanent parking for vehicles of audiences attending events at the Colesium, and for transport of livestock, including trucks and trailers, to be located along the storm water easement area, as related to specific requirements for utility easements and existing infrastructure located there.

Also, the UDC recommends that City should explore all potential options to preserve and enhance opportunities for museums and other cultural facilities to maintain their presence at desirable locations within the Stockyards, through coordination with the Economic Development Department and other relevant institutions, and to identify potential incentives and programs that can promote their ongoing economic viability, so that they can continue to operate in a manner that enhances heritage tourism within the Fort Worth Stockyards.

INTRODUCTION

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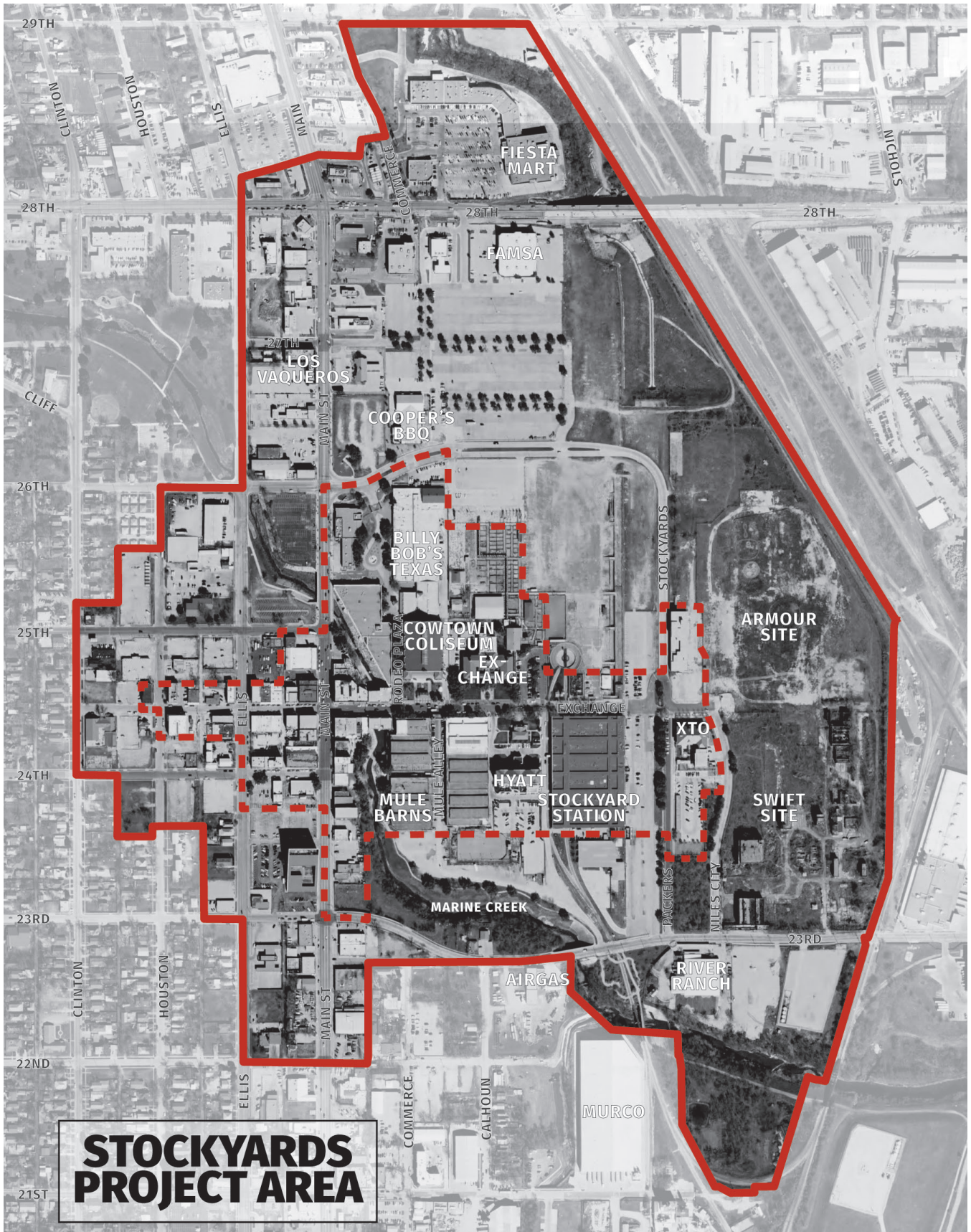


Background

The Fort Worth Stockyards was one of the largest livestock markets in the United States and a defining factor for the community. Beginning in the 1870's with the arrival of the railroad, it served as a major employment center, reaching its peak in 1944, when it processed over 5 million cattle. As the industry changed, the Fort Worth Stockyards transitioned from an important center for the meat packing and livestock industry to a visitor destination, attracting residents from the region as well as tourists from across the nation and abroad. Today, the Stockyards is challenged to set a direction for the future while honoring its working heritage. As the population of Fort Worth and North Texas continues to grow, development pressures are quickly transforming central Fort Worth. The Stockyards area is no exception.

This document (the Stockyards Form-Based Code and Design Guidelines) is intended to promote rehabilitation and compatible new construction that is sensitive to the surrounding historic context. By preserving existing buildings and guiding compatible new development, this document will also help to promote cultural, environmental and economic sustainability.

The Stockyards project area covers almost 300 acres and includes the Historic Stockyards themselves, the Marine Creek area, the Swift and Armour meatpacking sites, the North Forty area, the commercial corridors of Main Street and 28th Street, and portions of the North Side and Diamond Hill - Jarvis neighborhoods. The map (to the right) shows two separate boundaries: the boundary for the entire Stockyards area and the local historic district boundary designated by the City Council.



- Project Boundary
- - - Local Historic District

The Stockyard Districts

HISTORIC DISTRICT

The Historic and Cultural District is an extremely important resource for the City of Fort Worth. The core of the area is designated locally as a historic district and a larger area is listed in the National Register of Historic Places. The locally designated historic district is rich with buildings that serve as a link to the region’s heritage and the dramatic impact that the Stockyards had on the historic development patterns in the area. While only some of these buildings remain, their influence is still felt.

The Fort Worth Stockyards Historic District was added to the National Register of Historic Places in 1976, and locally-designated as the Fort Worth Stockyards Historic and Cultural Landmarks District in 2016.

Highlighted in red in the map on the following page, the Historic District stretches along Exchange Avenue to encompass the buildings used in the operations of the stockyards. On the west side, the Historic District stretches along Main Street to capture the commercial buildings related to the Stockyards operation. Marine Creek also acts as a natural boundary that runs through the District and separates the Stockyards from the commercial core. The Historic District has a series of implementing sub-districts that come in a variety of height patterns (see also [Div. 2.1](#)):

1. Historic Shopfront; and
2. Historic Core.

TRANSITION DISTRICT

The Transition District is intended to form a buffer around the Historic District. The objective is to promote development that is compatible with the Historic District along its periphery, while permitting a transition to buildings of larger scale farther away from the Historic District. Development also is intended to be influenced by the design traditions

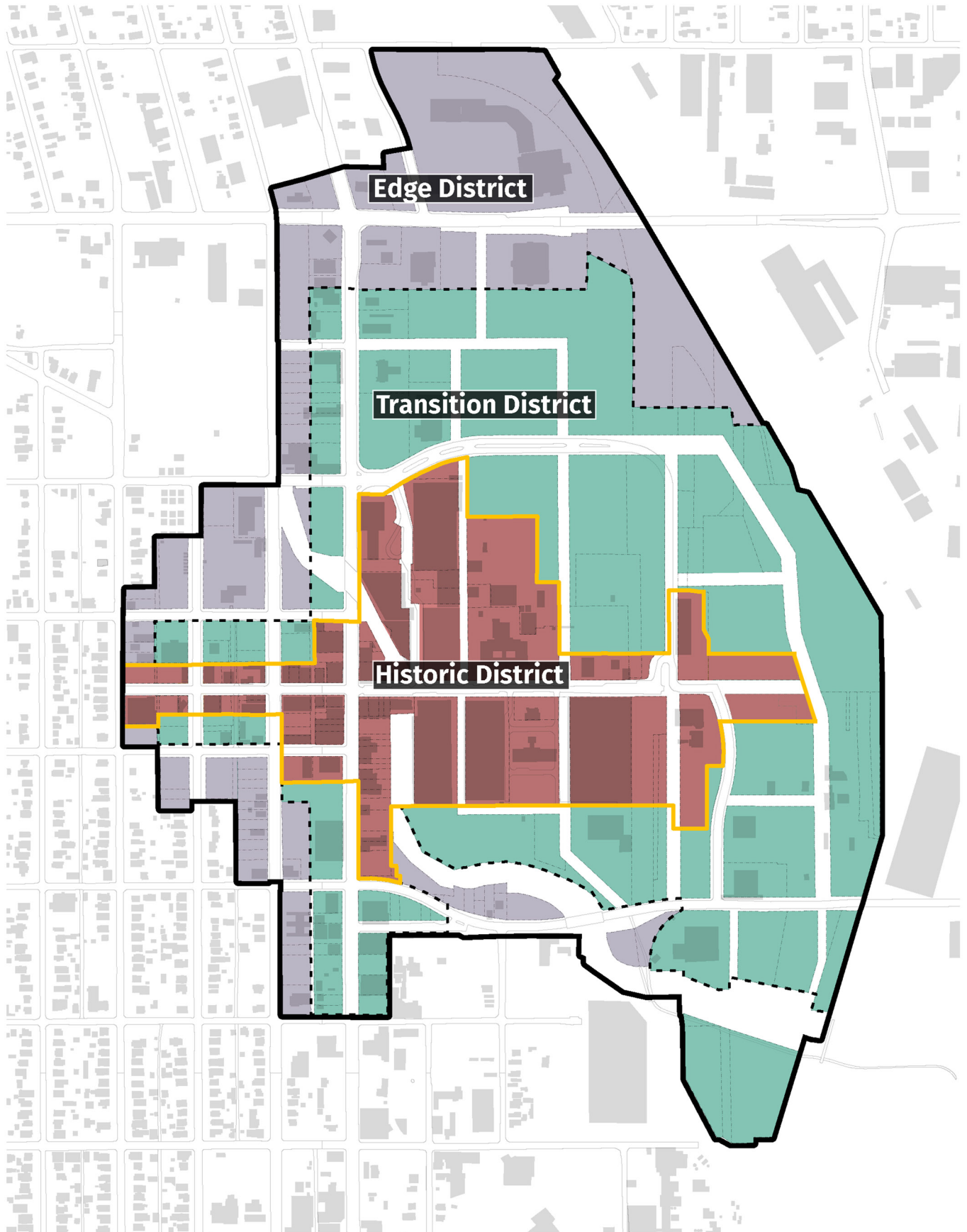
of the larger Stockyards area and the former Swift/ Armour properties, in terms of form, materials and character, but in more abstract ways than within the Historic District itself. The Transition District also has a series of implementing sub-districts that come in a variety of height patterns (see also [Div. 3.1](#)):

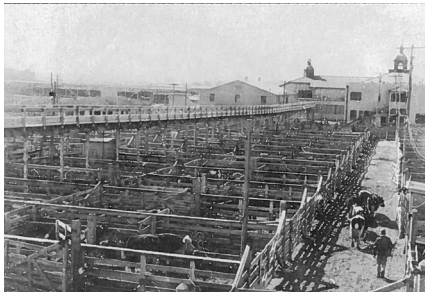
1. Transition Marine Creek;
2. Transition North Forty;
3. Transition Neighborhood Mixed Use;
4. Transition Northern Edge; and
5. Transition Swift/Armour.

EDGE DISTRICT

The Edge District is the area most removed from the Historic District. As such, greater flexibility in design is available here, in terms of form, character and materials. While this area was historically associated with the Stockyards, little evidence of this remains today and new development is anticipated here that will be less influenced by historic precedents. Therefore, greater variety in building form and materials is appropriate in the Edge District. An objective is to provide services that support the overall Stockyards area and adjacent neighborhoods. The Edge District has its own series of implementing sub-districts that come in a variety of height patterns (see also [Div. 4.1](#)):

1. Edge Neighborhood Mixed Use; and
2. Edge Commercial Corridor.





Workers drive cattle from pens behind the Livestock Exchange Building to weigh stations.



The Armour and Company office building, built in 1902. The Swift office building (ca. 1920s) is similar in style.



Events such as the 2008 Chevy Thunder Days now take place where the cattle pens once stood.

Historic Framework

The significance of the Stockyards in the history of Fort Worth is evident by the city’s nickname, “Cowtown,” and the adoption of the longhorn head as an emblem for the City of Fort Worth. From dusty cattle drives in the decades after the Civil War to the industrial processing of beef throughout the first half of the twentieth century, the bovine figured prominently in the evolution of Fort Worth from a frontier village to a modern city. The Fort Worth Stock Yards Company and vast Texas herds assured the city’s predominance as a major national livestock market. As a railroad center, Fort Worth was an excellent choice for the location of national meatpacking plants. The resulting industrialization led to exponential population and economic growth for the city.

The Stockyards district today still retains many of its character-defining features, such as the circulation patterns used to move livestock to the packing plants and a vibrant collection of early 20th-century commercial buildings that were erected to support the meatpacking plants. The high degree of integrity within the local Historic District is significant because it represents a remnant of an extinct industrial American form.

The degree to which the Historic District, as it exists today, conveys its historic character is a key consideration in determining how rigorously the design guidelines should be applied to an individual project. A review of historical data and photographs informs one’s understanding of the way in which the district retains its early character and also the degree to which the district exhibits change during its period of historic significance. This change demonstrates that the district was not “frozen” in time, but shows a history of gradual development, modification and restoration. This evolution is a key characteristic. At the same time, any future changes must take the historic context into account and preserve the key character-defining features that contribute to the significance of the district. This is essential when determining appropriateness of future alterations to historic properties and for designing compatible new construction. These key character-defining features are also important in understanding the “period of significance” for a district.

PERIOD OF SIGNIFICANCE

The key period during which the Stockyards took on historic significance is between 1902 and 1962. Features (including landscapes, buildings, pens, streets, walkways, paving, stairs and retaining walls) that date from this period contribute to the significance of the Historic District and aid in its interpretation. While development and prosperity in the cattle industry began in the area prior to 1902, namely the construction

of livestock pens and of nearby railroad tracks, the Swift and Armour companies began construction of their meat packing facilities in 1902, with business beginning in 1903. The further construction of expanded rail lines, the Coliseum and the Exchange buildings established the Fort Worth Stockyards as the major livestock market of the southwest and a key economic generator for the city. It continued to be a vital part of the city's economy through the 1950s, and some historically significant features exist from this mid-century era. The majority of the key features that contribute to the historic significance of the district, however, date from the first quarter of the twentieth century.

The Stockyards were founded in 1890, three miles north of downtown Fort Worth. Located along the historic Chisholm Trail, cattle were moved through the area on their way to railheads and markets to the north. With the advent of a local rail line, the site was ideal for cattle business. Before 1902, cattle were driven to the Stockyards, where they then were sold and loaded onto train cars and then shipped farther north to meatpacking plants. This system proved costly though, and Fort Worth courted large meat packing companies to locate near the Stockyards.

Growth in the Stockyards exploded in 1902 when the two-meatpacking giants - Armour and Swift - built their facilities just east of the core of the Stockyards. This led to exponential local economic and population growth in Fort Worth. These developments are also significant on a statewide level, as their arrival signals the beginning of modern industrialization in Texas. The Stock Exchange Building (1902) and the Coliseum (1908) were erected around that same time. The packing plants constituted an impressive massing of industry, with a fine-tuned processing system that encompassed many buildings. At its peak, the Swift plant alone occupied more than 1,000,000 square feet of floor space and employed over 4,000 employees.

World War I was a prosperous time for the Stockyards, when horse and mule sales expanded tremendously to meet the needs of the military. This is significant on a national level because Fort Worth was consistently ranked in the top-five livestock centers nationwide, which included Chicago, Omaha, Kansas City and St. Louis. The Horse and Mule Barns were built in the 1910s, and the commercial areas of Exchange Avenue and Main Street continued to grow to meet the needs of the Stockyard's employees and visitors. The commercial areas provided services, dining, entertainment and lodging.

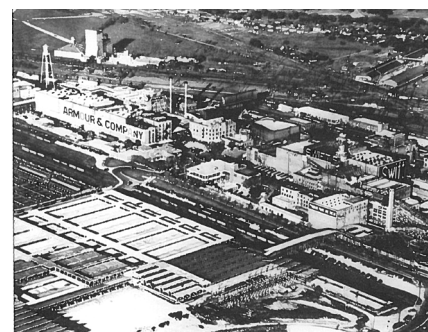
At the peak of the Stockyards' prosperity, cattle pens stretched from Exchange Avenue north to 28th Street, covering more than 100 acres. The cattle pen complex was rectilinear in form, with occasional interruptions



Southeast view of the Swift offices with packaging plant in the background (ca. early 1900s).



Southwest view of the Exchange building in the historic core of the Stockyards (ca. 1910).



Northeast aerial view of the Armour and Swift meat-packing plants (ca. 1930s).



View of the east entry tower that frames Horse and Mule Alley. The eastern Horse and Mule Barns can be seen in the background.

of rail spurs, commissary huts and hay sheds. It was oriented around a grid of walkways and animal runs, all organized along north-south and east-west axes. Notable axes included cattle runway ramps that led cattle into the packing plants, and a “subway” which ran north-south and served the same function for sheep and pigs.

As the meat packing industry became more decentralized nationally and trucking supplanted rail transportation, the meatpacking plants and Stockyards began to decline. Armour closed its complex in 1962, and Swift followed seven years later.

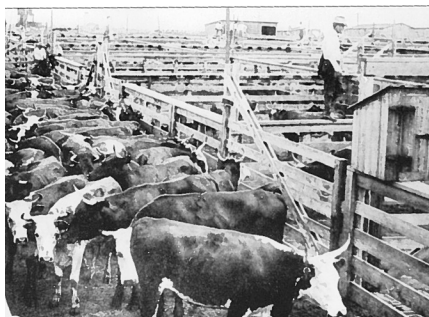
Historic photographs and insurance maps document the early development framework of the Stockyards area, including the different functional zones and site features that existed, as well as the supporting circulation systems. The following maps outline important points in the historic development of the Stockyards area and provide an understanding of some of the historic features that survive today.

HISTORIC DEVELOPMENT PATTERNS: 1911

A Sanborn fire insurance map from 1911 shows the core of the Stockyards as being well established by that time. At the center stood the Coliseum and Stock Exchange buildings. These were set back from Exchange, with large lawns in front. Just to the west of these buildings, commercial storefronts were erected, positioned at the sidewalk edge.

West Exchange (location A on the map on the following page) developed in a similar manner, with buildings of predominately masonry construction that stood between 1 and 3 stories in height. Similar buildings extended North and South along Main Street, from the intersection of Exchange and Main. Wood frame canopies were common on the commercial buildings along both streets.

To the East and North of the Stock Exchange building, cattle pens (B) extended up toward 28th Street, but some land remained vacant in the northwestern quadrant. The cattle pens were arranged in a rectilinear pattern and were framed by the “subway” (hog and sheep run) to the east. Early photographs document that the pens were constructed of wood fencing and braced with steel gusset plates. Walkways, or cattle runs, also were laid out in a grid and provided a means of moving selected groups of livestock through the network of pens. A few buildings also appear in the pens area in the Sanborn map. Among these were hay sheds, a quarantine building, scale houses and shelters for sales agents.



Cattle pen area showing wood and steel gusset fencing.

South of Exchange Avenue, the map shows only a portion of a set of hog and sheep pens. This first “module” of those pens was positioned along the sheep subway, which paralleled the rail yards farther east.

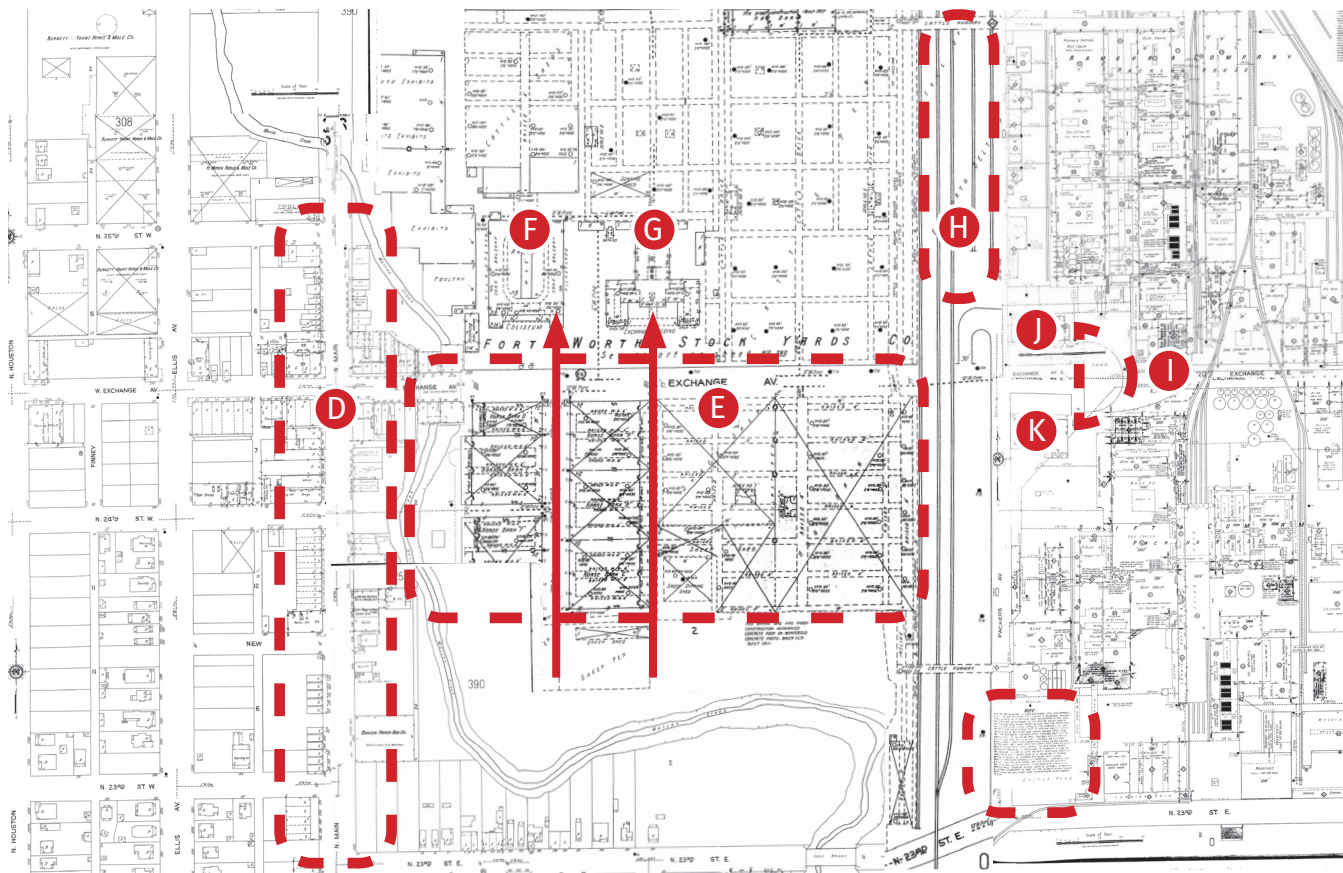
Along the east edge of the Stockyards complex stood the two-meatpacking plants. There were numerous buildings, which were laid out in a north-south orientation, creating distinctive lines of building walls with open spaces in between where rail spurs (C) ran. The greatest concentration of these buildings was at the center of these sites. The structures along the western edge were lower in scale, with more open space in between.



The entry of the Stockyards Club which once was located at the corner of Main Street and Exchange Avenue.



Sanborn Insurance Maps document primary building materials: masonry (including brick and stucco) is shown in red, while frame construction appears in yellow. Metal buildings have a blue color. This 1911 Sanborn map shows a mixture of masonry and wood frame buildings, with only one metal building by the rail yards. Note that no buildings appear for a portion of the area south of Exchange Avenue.



Sanborn Map from 1927

HISTORIC DEVELOPMENT PATTERNS: 1927

A later Sanborn Map, from 1927, shows further development: Main and Exchange were lined with more commercial buildings, all built to the edge of the sidewalks (location D on the map above). Many of these structures had traditional storefronts with recessed entries, display windows and transoms above.

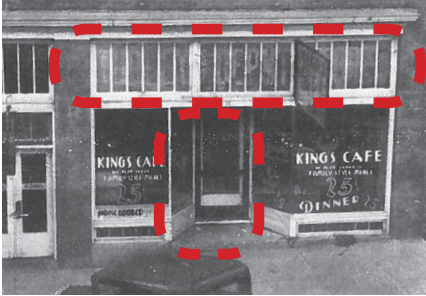
By this time, the grid of cattle pens extended all the way to 28th and also had filled in farther west to Main. Cattle sheds had been erected just north of the Coliseum, again following the grid.

The rectilinear pattern of the cattle pens area also was repeated in the layout of the Horse and Mule Barns as well as hog and sheep barns and pens (E). The maps now show a more complete set of pens along

the southern edge of Exchange. These established a clearly defined edge to the sidewalk on this side of the street.

While buildings aligned along the rectilinear system of streets, cattle runs and rail lines, this pattern changed along the edge of Marine Creek. There, buildings created more of a “sawtooth” edge, as simple rectilinear structures were set back to follow the meandering contours of the creek bank.

Key north-south sight lines existed along streets, alleys and livestock runways, some of which terminated at the Coliseum (F) and Exchange Building (G). Other sight lines existed in an east-west orientation, notably along Exchange Avenue, where views to the east terminated at the Swift/Armour stairs, with the administration buildings and the taller meatpacking structures serving as a backdrop.



Traditional Main Street storefront with recessed entry and transom.



Early hog & sheep barns and pens were roofed with a “Y” frame construction with clerestories for sunlight and air flow (E).

Early photographs also help to document building heights: In the meat packing area, buildings decreased in massing and had less site coverage toward the rail yards (H) to the west. That is, lower scaled buildings, such as the Armour (J) and Swift (K) administration buildings, appeared along the western edge of the meat packing area. This was a key feature of the historic development patterns in this area. Several open/lawn spaces (I) also existed on this west edge of the meat packing area and also contributed to its historic character.

HISTORIC DEVELOPMENT PATTERNS: 1951

By 1951, documentation shows that the cattle pens now extended all the way north to 28th, where a loading area for trucks existed. The rectilinear pattern of pens and livestock runs remained consistent throughout this area with the occasional exceptions of an individual building and a rail spur, as noted earlier (location L on the map on the following page).

The rail yards (M) created a swath of open space between the meat packing plants and the core of the Stockyards. A “wishbone” of rail spurs also was a particularly distinctive feature (N) in the meat packing area at this time.

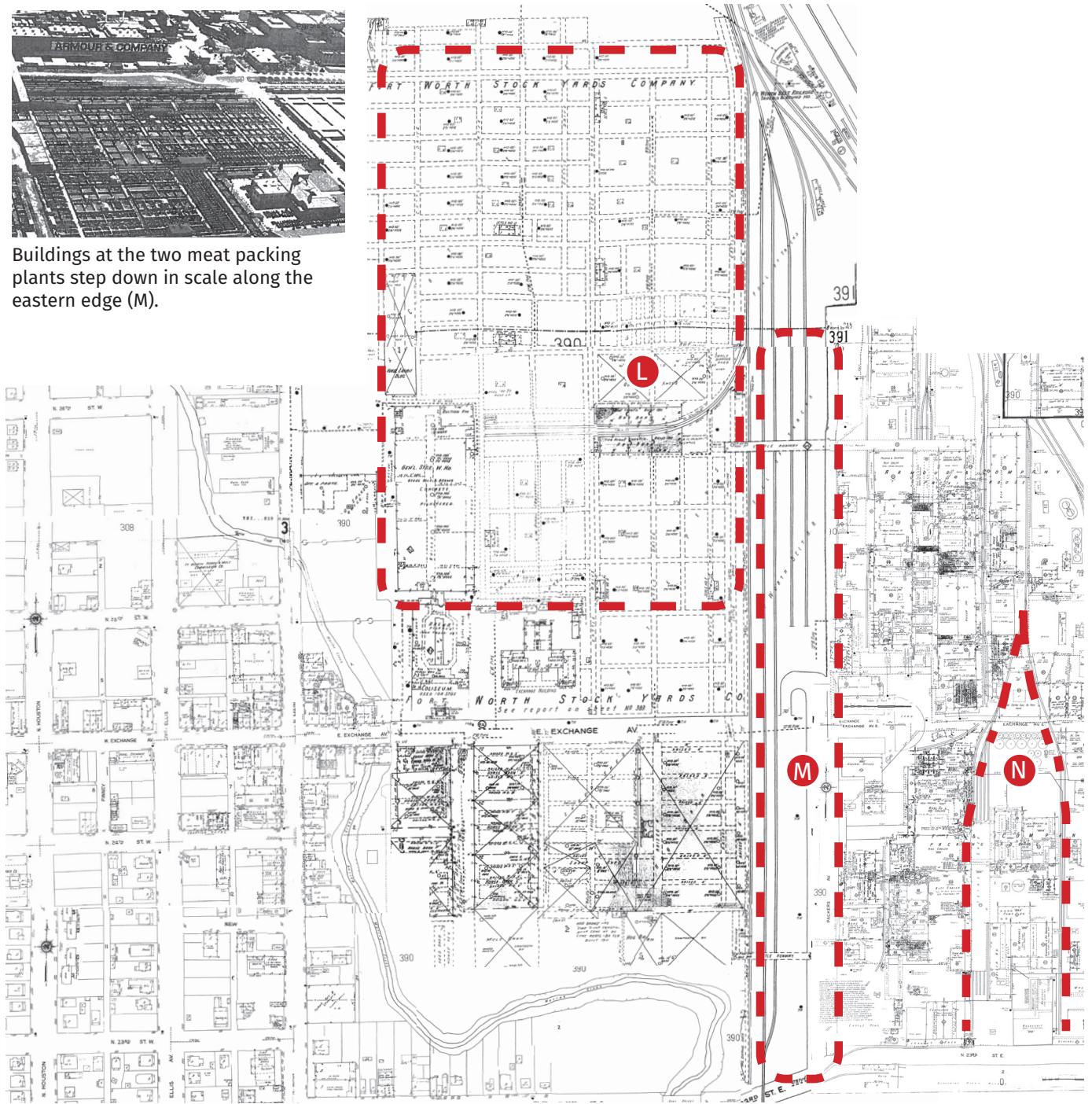
One other change is the footprint of a set of exhibit buildings that stood along the eastern edge of Marine Creek, just north of Exchange. These now had a wedge-shaped form that followed a retaining wall on part of the creek. Aerial photos show that, south of Exchange, the creek edge remained informal and tree-lined.

THE STOCKYARDS TODAY

Today, the Stockyards Historic District is highly significant because it contains industrial buildings associated with the meatpacking, remnants of scale houses and holding pens for livestock, and an outstanding collection of commercial buildings erected in response to the construction of the meatpacking plants. The commercial buildings, originally incorporated as North Fort Worth and later as Niles City, are, essentially, a central business district that provided for the business demands of this distinct area. The Historic District still contains a wealth of resources associated with several historic themes of significance, such as architecture, agriculture, commerce, and industry.

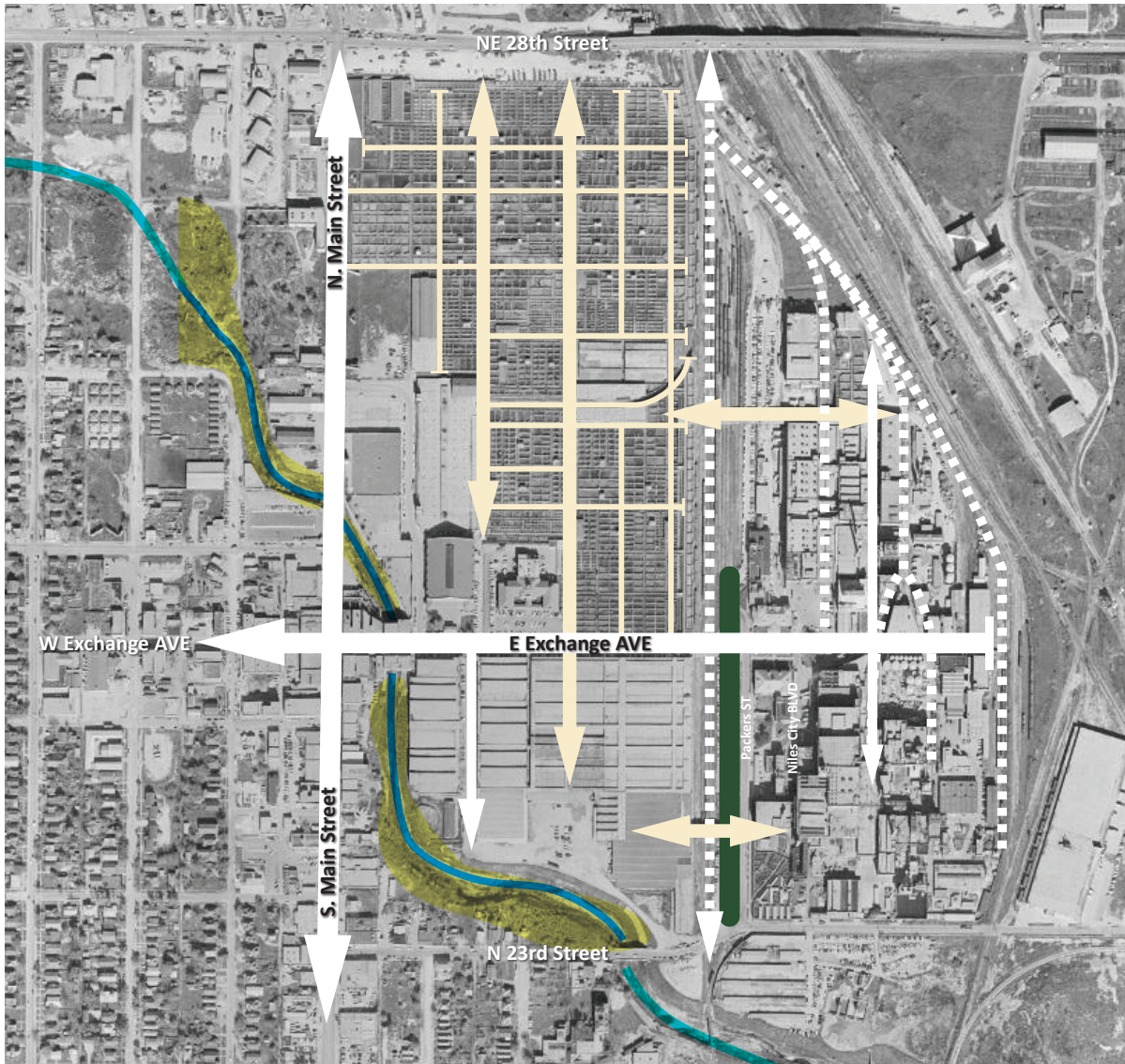


Buildings at the two meat packing plants step down in scale along the eastern edge (M).



Sanborn Map from 1951

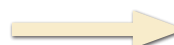


Circulation and Access Patterns



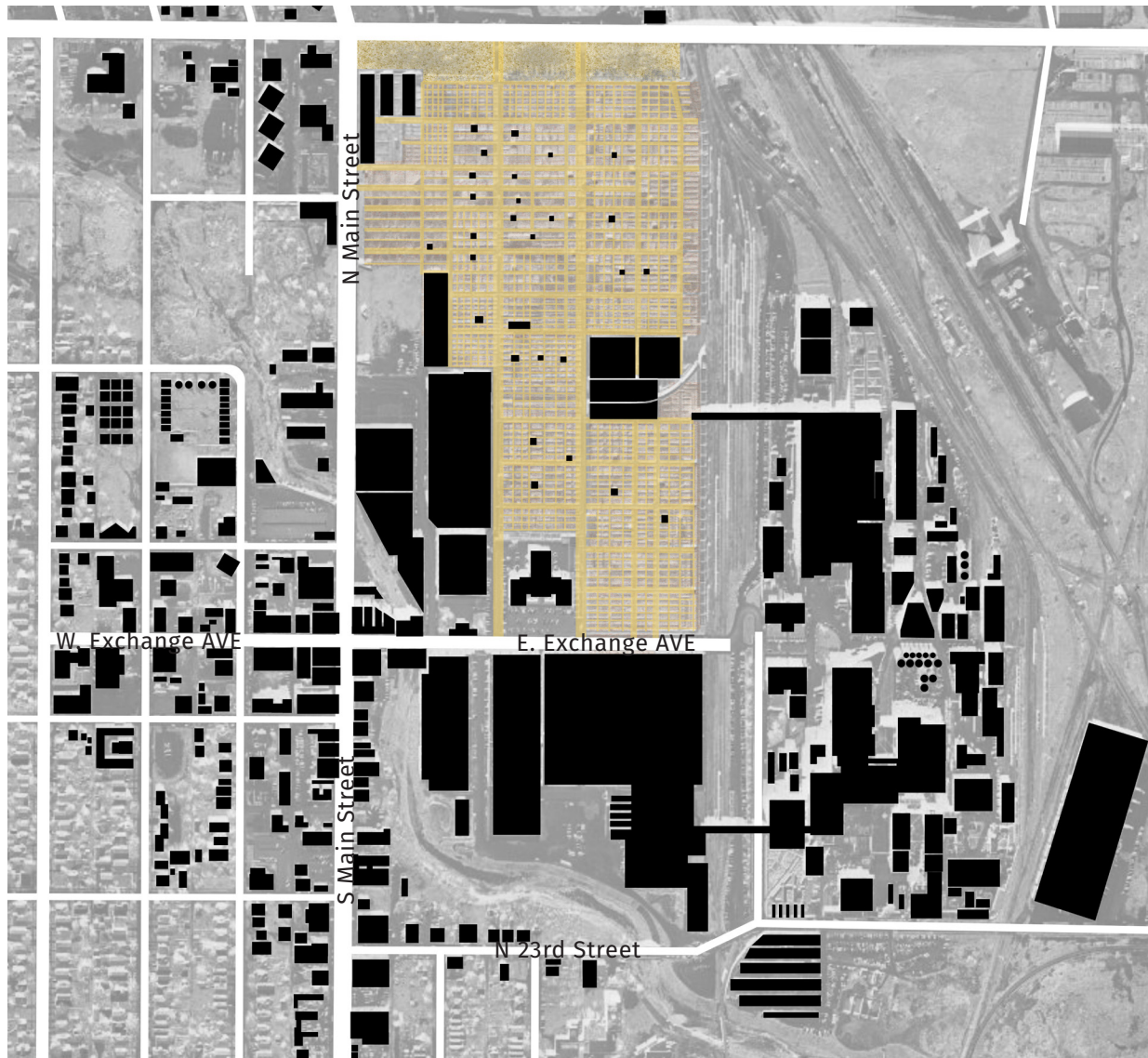
Aerial photo: 1957

Many key circulation routes existed historically in the Stockyards. These circulation routes should be respected by future development whenever feasible. These circulation corridors are shown in the map above.

KEY:

-  Livestock Walkways
-  Streets
-  Rail Lines
-  Heritage Tree Lawn

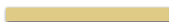


Historic Figure-Ground Patterns



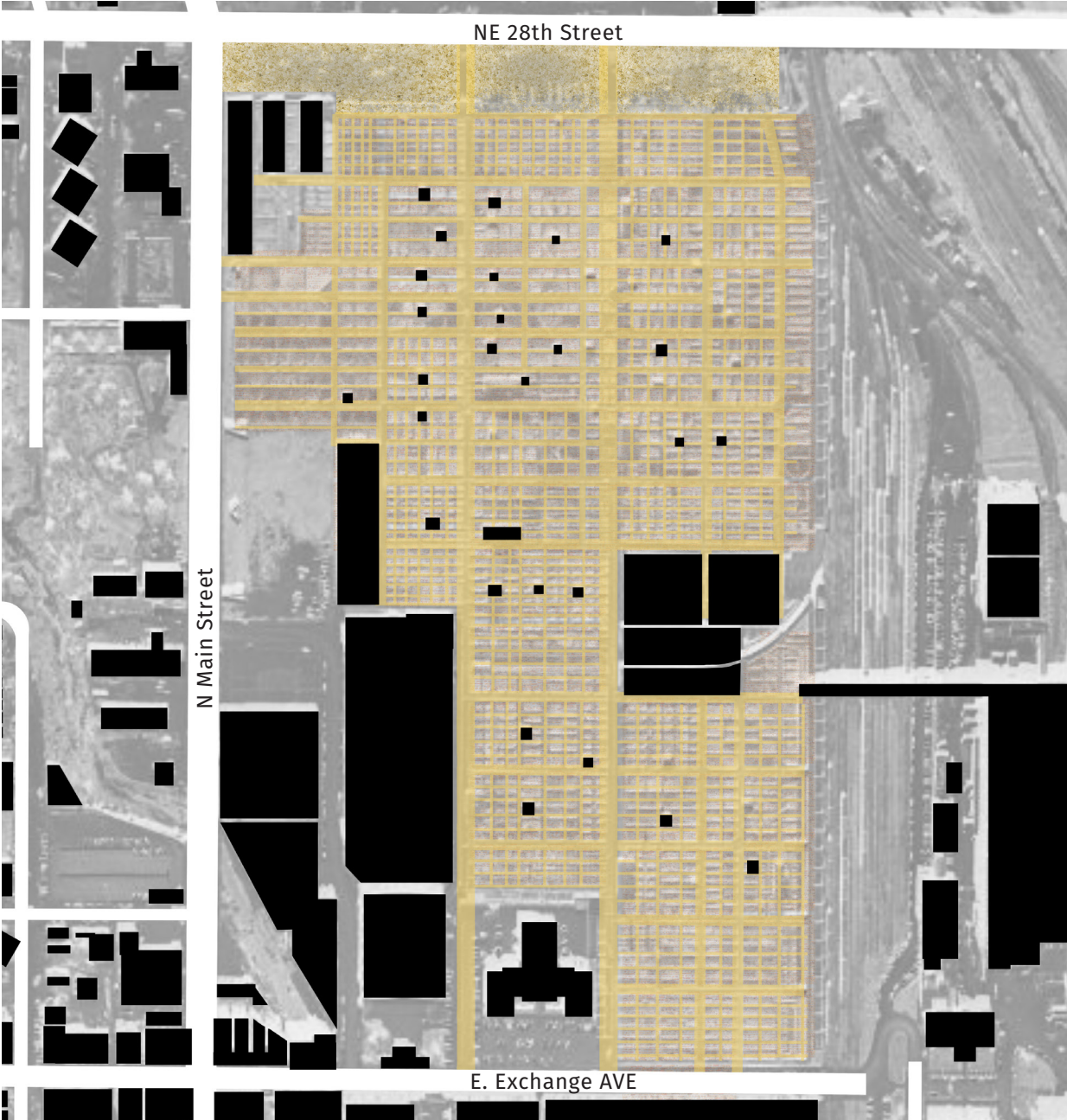
Aerial photo: 1957

In this illustration, all roof structures that existed in 1957 are shown in black. This highlights the differences in form and scale of individual buildings. Livestock walkways and open pens are shown in the map above and documents the finer-grained texture of the stockyards themselves.

KEY:

-  Livestock Walkways and Fencelines
-  Streets
-  Buildings

DETAILS OF HISTORIC FIGURE-GROUND PATTERNS



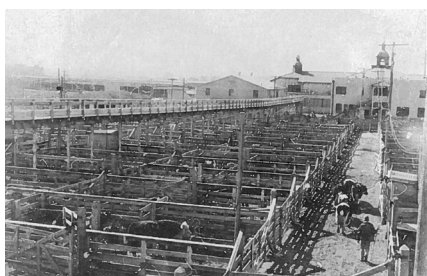
Aerial photo: 1957

In a closer view, the roofs of small structures, including scale houses and commission agent shelters, appear more clearly. These may provide inspiration for new site furnishing structures, such as vending kiosks and seating areas.

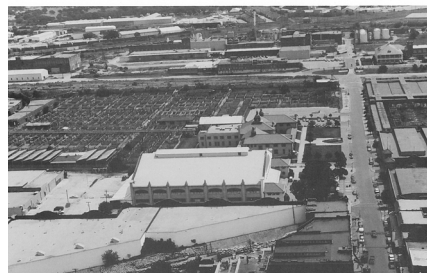
- KEY:
- Livestock Walkways and Fencelines
 - Streets
 - Buildings

Character Defining Features

This section describes some of the key features of the Stockyards Historic District that convey its significance as a major livestock center and meat producer for the United States. While some of the circulation patterns, landscapes and buildings described earlier have been altered; this section describes how those features are still relevant to the Historic District today. Other features that existed historically (and that are no longer present or that lie outside the Historic District) are described as well, because they help in understanding the significance of the features that do survive within the Historic District. Within the District, there are currently 54 architectural contributing resources. This lends a high degree of integrity to the District. This collection of resources is highly significant because it retains more historic buildings and site features than any other historic stockyards district in the United States. Note that a more detailed listing of key features in the Stockyards area may be found in a historic resources survey that was prepared by Historic Fort Worth, Inc. in 2016.



Stockyards employees lead cattle to a weigh station through the complex circulation system of pens.



Trucks and autos traveled along Exchange Avenue.



Rail spurs wound through the packing plants, allowing loading of final products onto rail cars.

CIRCULATION PATTERNS

A critical aspect of the Stockyards was the need for orderly circulation throughout the site for pedestrians, animals and vehicles (including truck and train traffic). This consisted of a network of streets, sidewalks, walkways and ramps as well as rail lines.

Livestock Circulation

The Stockyards had an efficient circulation system for livestock. It consisted of a hierarchy of runs that provided ways to move cattle to and from the pens, through scale houses, to meat packing plants and, once processed, onto trains. The arrangement of the cattle pens determined the circulation routes for much of the livestock. Sitting north of Exchange Avenue, just to the east of the Exchange Building, walkways (runs) from the pens provided direct routes to ramps that led into the packing plants. The suppressed walk, or subway, was used to transport hogs and sheep to the ramps. Vestiges of this circulation system survive, including part of the subway, some ramps and the paved walkways once were framed with cattle pens. These remnants are key features.

Truck and Auto Circulation

Historically, truck and auto circulation was confined to the perimeter of the Stockyards, save for Exchange Avenue itself. Trucks typically unloaded at the northern end of the Stockyards. Streets in the commercial areas, to the west of the Stockyards, were laid out in an orderly grid pattern that accommodated vehicular movement. Exchange Avenue and Packers Street are historic alignments that survive and reflect this circulation system.

Rail Circulation

A key advantage of the layout of the Stockyards and packing plants was that they had direct access to a railroad. Spurs wound through the packing plants, allowing loading of products onto rail cars. Remnants of rail lines and railroad beds survive in some locations and are key features.

Pedestrian Circulation

Pedestrian circulation systems also were important to the Stockyards operations. In the early days, meat packing workers often commuted by streetcar, which delivered them to the base of the Swift/Armour staircase at the end of Exchange Avenue and thus into the system of walkways that existed. Other workers and stockyards patrons arrived by car. In each case, they then entered a system of sidewalks and special paths that afforded access to events, goods and services in the area. Livestock buyers and sellers moved through the pens on elevated walkways, which facilitated inspection of the cattle.

Sidewalks along Main Street and Exchange Avenue also were key pedestrian corridors. They, along with numerous alleys, provided a rectilinear network that served cattlemen, visitors and workers. Those sidewalks and related pathways that survive contribute to the historic significance of the area.

LANDSCAPE AND SITE FEATURES

Numerous landscape and site features existed throughout the Stockyards area. These are some key features:

Formal Landscapes

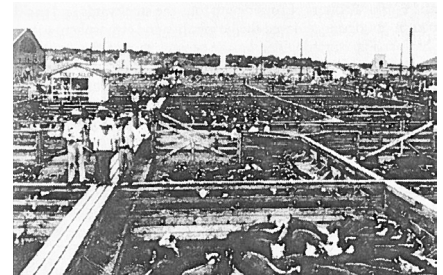
While most of the open spaces were working places, a few “formal” landscapes also existed. The most noteworthy of these were the lawns in front of the Exchange Building and the Coliseum. These were relatively simple grassy areas that were framed, in part, by low hedges and fences. While these lawns and fences have been altered since their original form, they still exist and convey some of their original character. They are significant features. Another historic landscape is the tree lawn that runs along the western edge of Packers Street.

Industrial Features and Historic Stairs

The Exchange Avenue Stairs and Armour & Swift Plaza were historic landscape features of the Packing Area. The stairs scaled a sloped embankment that also supported letters that spelled out the names “Armour” and “Swift.” An open space located between the administration buildings for Armour and Swift also was a noteworthy landscape feature. Another open space was located to the west of the meat packing plants,



The Main Street commercial area was a primary pedestrian corridor in the Stockyards Historic District.



Company representatives stand on the elevated walkways above the pens, which allowed for easy inspection of the cattle below.



The historic Swift & Co. stairway once served as the south entrance to the Swift complex. This stairway still stands along 23rd Street and is landmarked.



Raised brick thoroughfares provided footing for animals as they were moved.

INTRODUCTION | Character Defining Features

some of which was landscaped to create a formal entryway. In addition to the staircase at the end of Exchange Avenue, another staircase at 23rd Street provided access at the southern end of the Swift site. These stairs and related retaining walls survive and are key features. In addition, vestiges of the formally landscaped spaces remain as opportunities for restoration.

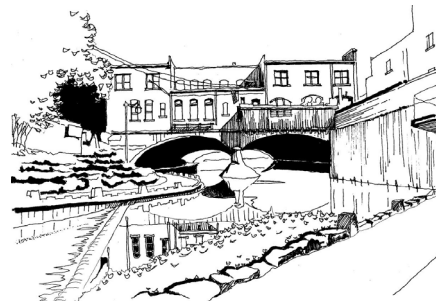
Livestock Runs, Paving and Pens

Livestock pens stood in a dense grid network west of the meat packing plants and north and east of the Coliseum and Exchange buildings. These were wood-framed fences that stood 5 to 6 feet tall. Raised walks throughout the pens allowed workers to oversee the livestock. The fencing was constructed of wood and braced with metal brackets. The pens had brick paving and the walkways connecting them did as well, using a different paving pattern, which provided better traction. Much of this brick paving survives and is a key feature. A portion of the wood frame cattle pens also survives just north of the Coliseum and is a key feature.

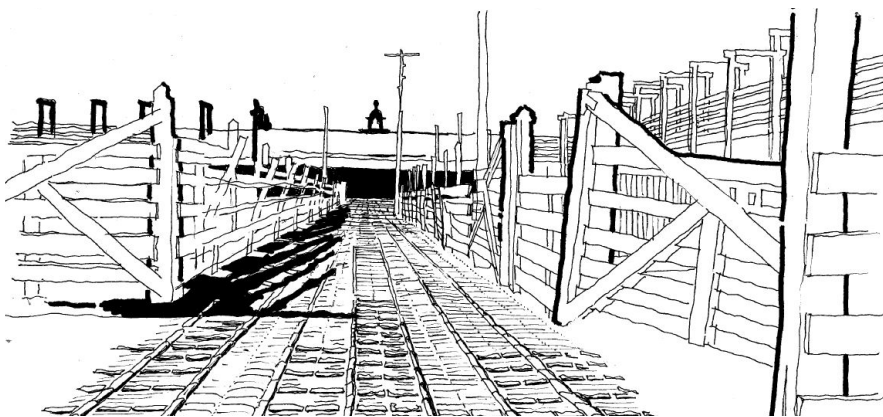
Roofed pens were located to the south of Exchange Avenue to hold sheep and pigs. These had clerestory windows. Brick paving was used for the pen floors as well as walkways here as well. A portion of these structures survives as Stockyards Station and is a key feature also.

Marine Creek

Marine Creek ran through the area, providing a source for water and creating a meandering edge for buildings and outdoor spaces that flanked it. This is a key feature and amenity for the area. Portions of the creek bank have been covered with stone that date from a more recent period. Just north of Exchange Avenue, the creek is more constrained with masonry retaining walls. Of special note is the masonry arch structure supports Exchange Avenue as it crosses the Creek. This also serves as the foundation for several buildings that span the Creek.



Marine Creek provides a natural buffer to the Stockyards and commercial area, and creates outdoor spaces for pedestrians.



The Livestock area consisted of wood-framed fences that stood five to six feet tall and had brick pavers for flooring. Paving in the cattle runs had raised edges that provided better traction.

Other Site Features

Other noteworthy site features include ornamental columns on Main Street at the northern and southern gateways to the Stockyards, as well as a gateway arch that spans Exchange Avenue just east of Main Street. These are historically significant.

BUILDINGS

These are some of the noteworthy structures that make the Fort Worth Stockyards unique.

Industrial Buildings

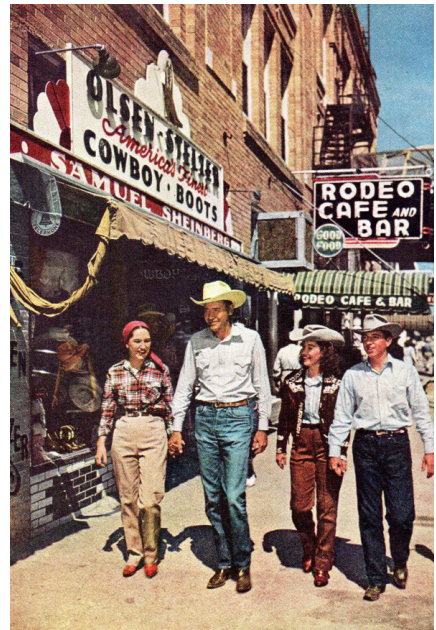
Most buildings on the east side of Packers were industrial in character. These were primarily brick structures with heights that varied from 2 to 9-stories. Raised concrete foundations and cylindrical metal towers were also present in the Packing Area. Lower scale buildings and administrative offices were located along the western edge of the packing area while the height and intensity of the buildings increased to the east. Although few of these buildings survive, the Exchange Avenue Stairs/Armour & Swift Plaza, the Swift & Co. General Offices and the Armour Company-Blood Serum Albumin Plant still survive and contribute to the Historic District.

Commercial Buildings

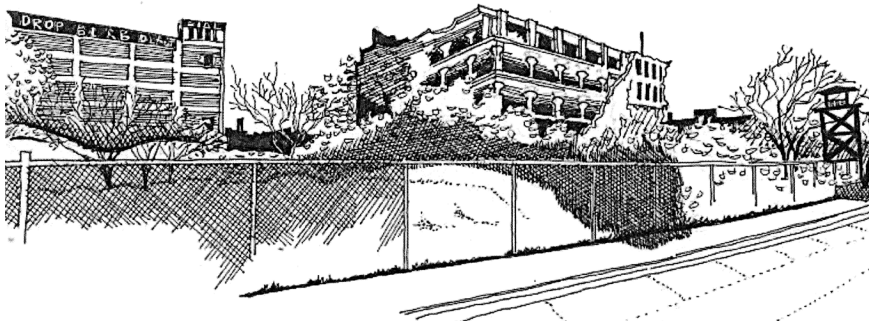
The commercial area, which centered on Exchange and Main, consisted predominately of 1 and 2-story brick buildings. Stores and other businesses were located on the street level, while offices and residences were in the upper floors. Many of the historic commercial buildings survive and are key features of the Historic District.



Industrial meat processing buildings form the backdrop of the 2-story office of Swift and Company.



Traditionally, hotels, bars and restaurants had storefronts at the street level.



The meat packing area was the central location for the Stockyards workforce and consisted of buildings between 2 and 9 stories.

Exchange Building

The Livestock Exchange Building was built in 1902 and is at the center of the historic district. Designed in the Mission style, this structure is an early example of a design that was first introduced in California in the 1890s. The Exchange Building is the oldest building in the district that is still in use. Built in a U-shape out of stuccoed brick, the building's main facade has two projecting hip roofed end pavilions displaying at the center "Alamo" style parapets with Palladian windows. The building is further defined by small octagonal cupolas, a curvilinear parapet and a T-shaped, arcaded gallery.

Coliseum Building

Adjacent to the Exchange Building is the 1908 Coliseum, built to display the livestock on sale. Ten years after its construction, the first indoor rodeo was held here. The Fort Worth Fat Stock Show was also a popular annual event and was held in this building until after World War II. This rectangular structure is flanked by two, one-story hipped roof wings, a connecting arcade gallery across the front and a second-story with several small windows and an arched opening. The original façade is obscured by an arcaded ticket booth entry that was added at a later date.

Two, large neighboring buildings also are associated with the stock shows and livestock trading. A triangular-shaped building to the west of the Coliseum once served as exhibit barns and another rectangular building to the north is the old auction barn. These also are historically significant as well.

Agricultural or Livestock Buildings

South of Exchange Avenue, across from the Exchange and Coliseum buildings stand the Horse and Mule Barns. The original barns, built before World War I, were destroyed by fire and the present buildings were constructed in 1912. They face onto a shared paved walkway, "Mule Alley". The entrance to this walkway from Exchange Avenue is marked by a pair of two-story towers, each with a round arched openings at the base and three small round arched openings on the second level. The towers are connected by a pitched, tile roof. Each barn entry is identified by a Mission-style parapet. This ensemble of structures, spaces and towers is a key landmark in the district.

Further east along Exchange Avenue stands the Stockyards Station, which originally was a part of the hog and sheep barns and pens. This structure is noteworthy for its concrete structural system and clerestory windows. It retains much of its historic brick paving material and is a contributor to the historic district.



The Livestock Exchange Building was built in 1902 and is at the center of the historic district. Designed in the Mission style, this structure is an early example of the design that was first introduced in California in the 1890s.



Adjacent to the Exchange Building is the 1908 Coliseum, built to display livestock on sale.



The Coliseum and Exchange Buildings sit side by side on the north side of Exchange Avenue. A green lawn and rail fence are key features.



The entrance to the Horse and Mule Barns is marked by two two-story towers, each with round arched openings at the base and three small round arched openings on the second level.

View Opportunities

Many noteworthy views exist throughout the Stockyards area that enrich the experience of visitors, residents and employees. They offer opportunities to be used for more formally-organized interpretation programs, which could include historical markers and other “station points” to be used in walking tours and other heritage tourism events and activities.

Some of the key view opportunities are indicated on the View Opportunities Map on the following page. Many key view opportunities lie along public streets, while others are in places that may be included in new development projects. New plazas, courtyards, decks and other active outdoor use areas could be located to take advantage of these view opportunities and to aid in interpreting the heritage of the Stockyards. These view opportunities should be incorporated into public and private sector improvements to the extent feasible.

Station Points

The map identifies “station points” as places where an observer may stand to experience a specific view. These are identified with an “x” framed in a box. Station points are found along Exchange Avenue and Main Street and also along lines within the stockyards that once were defined by cattle runs and other walkways.

View Points

The object of a specific view is identified with a red asterisk.

View Cones

Other views are “cones,” which take in a wider expanse of features and landmarks. These are identified with a yellow fan-shaped symbol on the map.

View Corridors

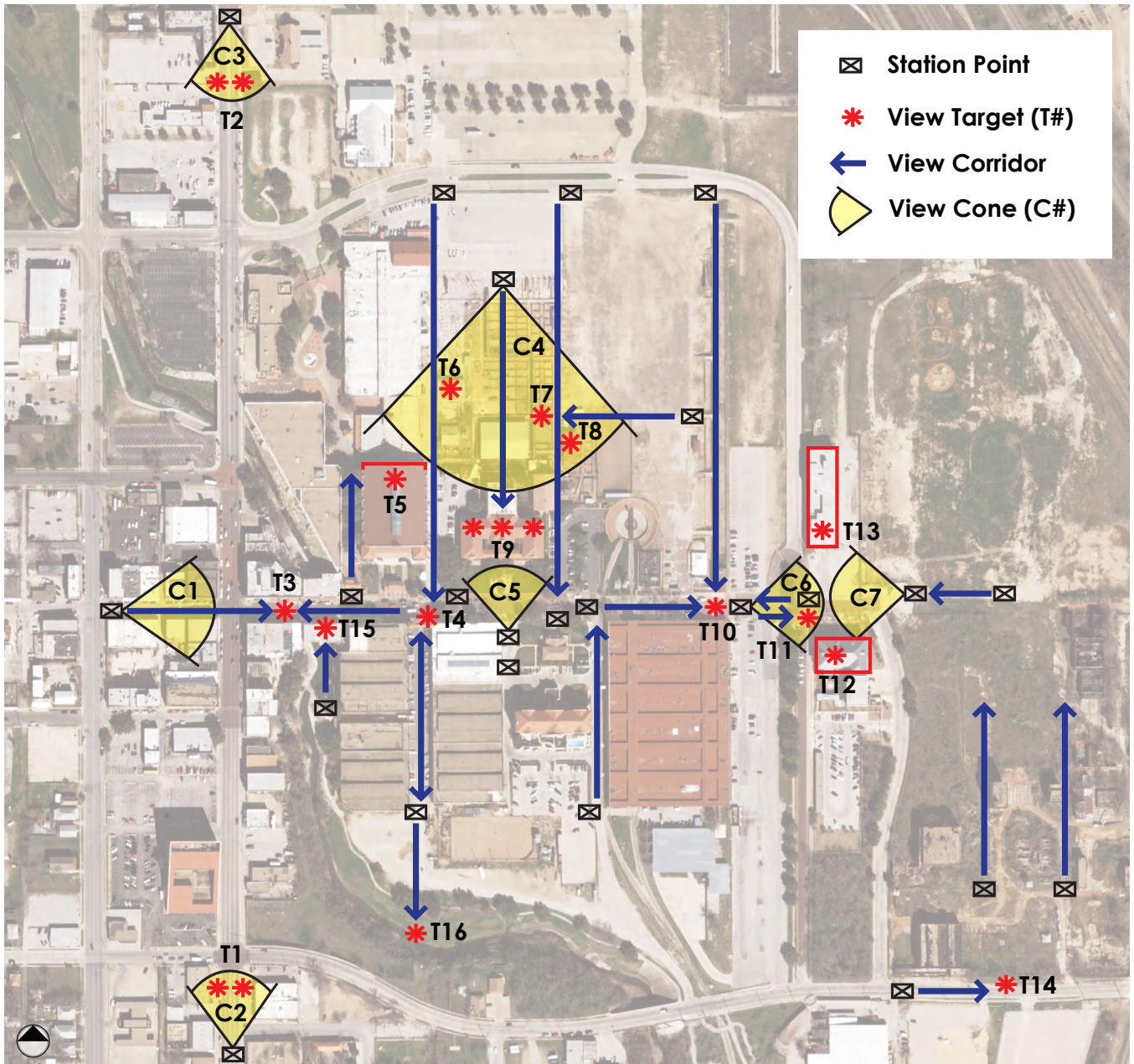
View corridors are the sight lines from station points to specific view targets. These are identified with blue arrows on the map.

VIEW TARGETS

- T1. South entry piers on Main Street
- T2. North entry piers on Main Street
- T3. Stockyards arch on Exchange Avenue
- T4. Archway to Mule Alley
- T5. Towers (cupolas) on the Coliseum
- T6. Scale house #1
- T7. Cattle run
- T8. Scale house #2
- T9. Towers on the Exchange Building
- T10. View to sheep and hog sheds (Stockyards Station)
- T11. Armour/Swift stairs
- T12. Swift Administration building
- T13. Armour Laboratory & Storage building
- T14. Swift south entry stairs
- T15. Arches of Main Street buildings/bridge
- T16. View to Marine Creek from Mule Alley

View Cones

- C1. View looking east along Exchange Avenue to historic commercial building and to the Stockyards gateway arch beyond
- C2. View of south entry piers and flanking historic commercial buildings
- C3. View of north entry piers and Billy Bob’s beyond
- C4. View of the historic structures in the core of the historic stockyards district with downtown Fort Worth in the distance
- C5. View from Exchange Avenue to the towers (cupolas) on the Exchange Building
- C6. View from Exchange Avenue to the Armor/Swift stairs and historic meat packing buildings
- C7. View along historic eastern end of Exchange Avenue to the Armor/Swift stairs, Exchange Avenue and the gateway arch



View Opportunities Map



Views from within View Cone 4 (C4), looking south towards the Coliseum and Exchange Building.

HOW TO USE THIS DOCUMENT

1. Determine Your District

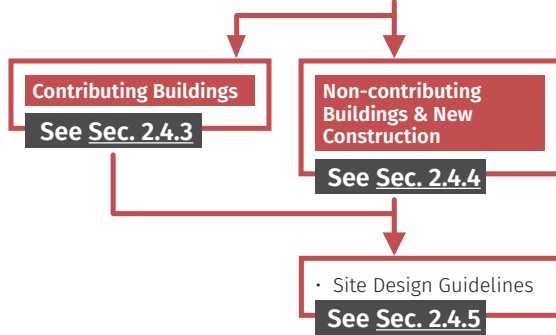
2. District Standards

- Lot Size
- Building Setbacks
- Building Height
- Roof Form
- Building Form
- Articulation

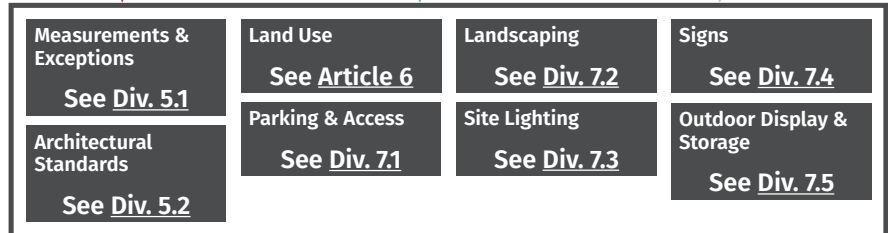
3. Frontage Standards

- Build-to Zones
- Front Setback
- Parking Setbacks
- Transparency
- Story Height
- Pedestrian Access
- Building Elements

4. Design Guidelines

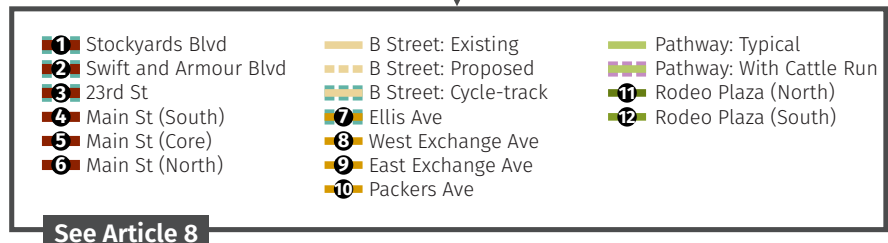


5. Other Rules

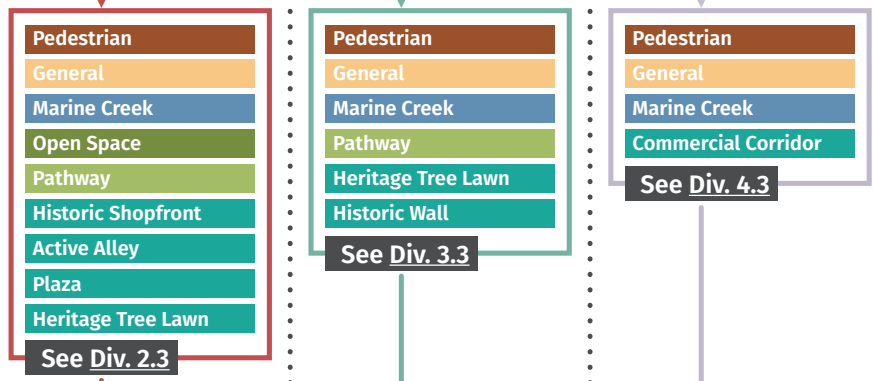
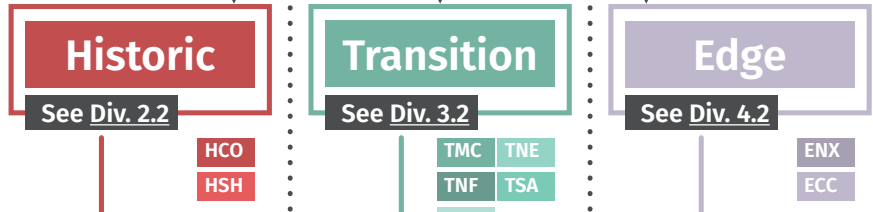


6. Streets

- Applicability
- Dimensional Standards
- Future Streets & Pathways
- Street & Pathways Types



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Div. 1.1. Legal Requirements

Sec. 1.1.1. Title

This document is the “Stockyards Form-Based Code and Design Guidelines,” and is referred to or cited throughout this document as this "Code."

Sec. 1.1.2. Effective Date

This Code was adopted on May 02, 2017 and became effective on August 24, 2017.

Sec. 1.1.3. Purpose

- A. This Code was prepared to provide development standards for the Stockyards area, a mixed-use growth area within the City of Fort Worth.
- B. This Code provides the means to guide implementation of the citizen-endorsed concepts of the Stockyards Charrette Report dated September 22, 2016.
- C. The Stockyards Charrette Report describes a series of character areas that have been refined to provide the basis for development standards in this area. One of the key concepts is that the level of design review and the specificity of development standards should reflect the need to:
 - 1. Protect the local historic district;
 - 2. Respond to the historic context and patterns when developing new buildings and sites in the transition areas; and
 - 3. Treat the edge areas in a manner similar to other similar locations in the City.
- D. This Code helps to foster predictable results and a high-quality public realm by prescribing the physical form of buildings and other site elements and addressing the relationship between buildings and the public realm, the form and mass of buildings in relation to one another, and the scale and types of streets and blocks.

Sec. 1.1.4. Intent

- A. This Code is intended to balance historic preservation and development by:
 - 1. Ensuring continuation of the authenticity of the Stockyards as a part of the National Register of Historic Places (listed in 1976), and as the Fort Worth Stockyards Historic and Cultural Landmarks District (a local Historic District designated in 2016).
 - 2. Applying development standards and design guidelines to promote rehabilitation and redevelopment that is sensitive to the surrounding historic context.
 - 3. Preserving existing buildings and guiding compatible redevelopment to help promote cultural, environmental and economic sustainability.
 - 4. Acknowledging circulation patterns, landscapes and site features, and buildings and structures that existed during earlier periods of significance on the site, in order to allow interpretation of these older patterns in the future as the area grows.
- B. This Code is intended to achieve design excellence in the built environment by:
 - 1. Providing building and site design standards that address the public aspects of private development and how building form, placement, and uses contribute to the quality of the public realm.
 - 2. Providing parking and access standards that appropriately balance pedestrian and vehicular needs and result in safe pedestrian environments of the highest quality.
 - 3. Promoting innovative landscape and building design that advance the function and beauty of Fort Worth, while respecting the historic character of the Stockyards area.

- C. This Code is intended to guide Fort Worth's prosperous and sustainable future by providing clear development standards and processes that result in predictable, efficient and coordinated review processes.

Sec. 1.1.5. Applicability

This Code applies to all property as shown in [Div. 1.4](#) and the City of Fort Worth Official Zoning Map.

Sec. 1.1.6. Conflicting Provisions

- A. Where the City of Fort Worth Zoning Ordinance conflicts with a standard set out in this Code, the standard in this Code controls.
- B. Illustrations, photographs and graphics are included in this Code to illustrate the intent and requirements of the text. In the case of a conflict between the text of this Code and any illustrations, photographs and graphics, the text of this Code governs.

Div. 1.2. Districts

Sec. 1.2.1. Naming Convention

Each sub-district uses the following naming convention:

- A. First two letters = Stockyards Form-Based District
- B. Third letter = Character Area
 - 1. H = Historic
 - 2. T = Transition
 - 3. E = Edge
- C. Forth and fifth letters = Form and Use
- D. Final Number = Maximum Height in Feet
- E. EXAMPLE: SY-HSH-40
Stockyards-Historic Shopfront-40 feet max height

Sec. 1.2.2. Districts Established

The following sub-districts are established and are shown on the map in [Div. 1.4](#).

A. Historic Districts

- 1. SY-HSH: Shopfront-40, -68
- 2. SY-HCO: Core-40, -55, -60, -68, -130

B. Transition Districts

- 1. SY-TMC: Marine Creek-68
- 2. SY-TNF: North Forty-40, -55
- 3. SY-TNX: Neighborhood Mixed Use-55, -80
- 4. SY-TNE: Northern Edge-68, -105
- 5. SY-TSA: Swift/Armour-55, -80, -105, -130

C. Edge Districts

- 1. SY-ENX: Neighborhood Mixed Use-40, -55
- 2. SY-ECC: Commercial Corridor-68

Div. 1.3. Frontages

Sec. 1.3.1. Description

Frontages link a desired development pattern with specific form requirements that mandate the type of development desired along the street edge.

Sec. 1.3.2. Frontages Established

The following Frontages are established and are shown on the map in [Div. 1.4](#).

A. Historic Frontages

- 1. Pedestrian
- 2. General
- 3. Marine Creek
- 4. Open Space
- 5. Pathway
- 6. Historic Shopfront
- 7. Active Alley
- 8. Plaza
- 9. Heritage Tree Lawn

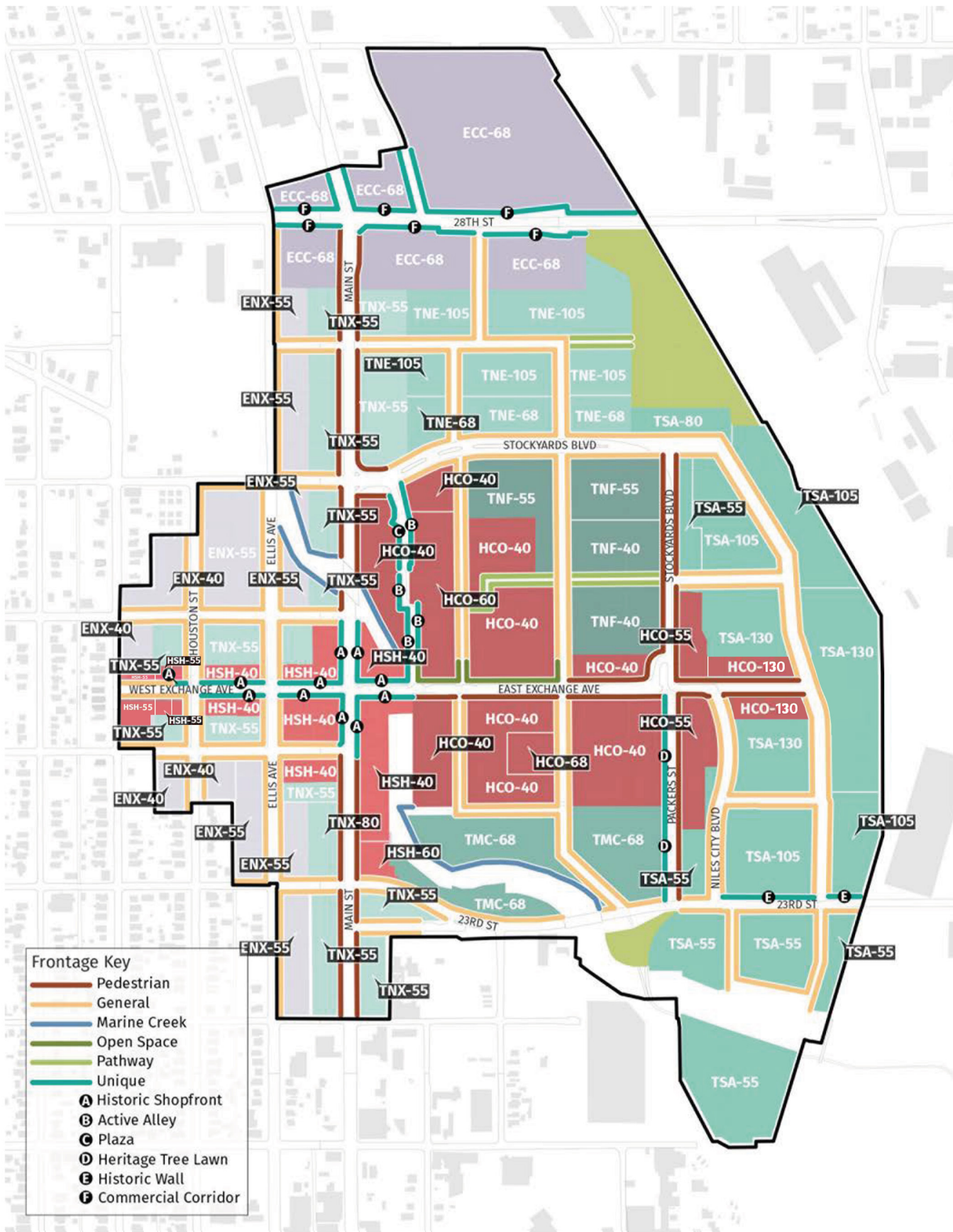
B. Transition Frontages

- 1. Pedestrian
- 2. General
- 3. Marine Creek
- 4. Pathway
- 5. Heritage Tree Lawn
- 6. Historic Wall

C. Edge Frontages

- 1. Pedestrian
- 2. General
- 3. Marine Creek
- 4. Commercial Corridor

Div. 1.4. District and Frontage Map



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Div. 2.1. Description

The locally designated Fort Worth Stockyards Historic and Cultural Landmarks District constitutes the heart of the Stockyards area and its preservation is a high priority. Four sub-districts fit within the Historic District. These are defined to recognize different contexts, each with distinctive development patterns and historic resources. Each sub-district is designed to respond to those conditions and promote preservation of the historic significance of each of those individual contexts as well as of the Historic District as a whole.

The objective is to promote the rehabilitation of historic resources and to assure that new construction is compatible with the significance of the place.

There are several key principles of the Historic District. First is to assure preservation of historic structures including accommodating appropriate restoration, rehabilitation and reuse of existing buildings. All new construction or expansion is also assured to be low in scale and compatible in character with the existing historic fabric. And lastly, to accommodate enhancement of historically significant open spaces, including Rodeo Plaza and Mule Alley while preserving their integrity. The Historic District includes the following sub-districts:*

- 1. SY-HSH: Shopfront-40, -68
- 2. SY-HCO: Core-40, -55, -60, -68, -130

**The number represents the maximum height allowed in feet for that sub-district.*

This Article includes development standards ([Div. 2.2](#) and [Div. 2.3](#)) that are mandatory and apply to all properties throughout the Historic District unless modified by the Historic and Cultural Landmark Commission, per § 4.401, Historic Preservation Overlay District, of the Code of Ordinances. All projects must meet the criteria for issuance of a Certificate of Appropriateness as provided in that section, and also must meet the applicable Historic Guidelines in [Div. 2.4](#) of this document as determined by the Historic Preservation Officer and/or the Historic and Cultural Landmark Commission.

The historic guidelines for the Historic District work in concert with the standards to help protect the historic character of the area. The standards apply to all properties throughout the Historic District. However, the Historic and Cultural Landmark Commission may recommend a modification from some of the standards as part of the Certificate of Appropriateness approval process, when doing so would assure compliance with the relevant historic guidelines.



SEC. 2.2.1. SHOPFRONT (SY-HSH)



Intent

The Historic Shopfront District (SY-HSH) is defined by a context of historic commercial buildings. An objective of the SY-HSH District is to maintain the historic development patterns of the traditional commercial storefront structures by allowing buildings that will be compatible with the historic context, while doing so in ways that express their own time. This includes locating new building fronts to align at the sidewalk edge with a high percentage of display windows that permit views of activities inside and that enhance the area as a visually interesting place for pedestrians.

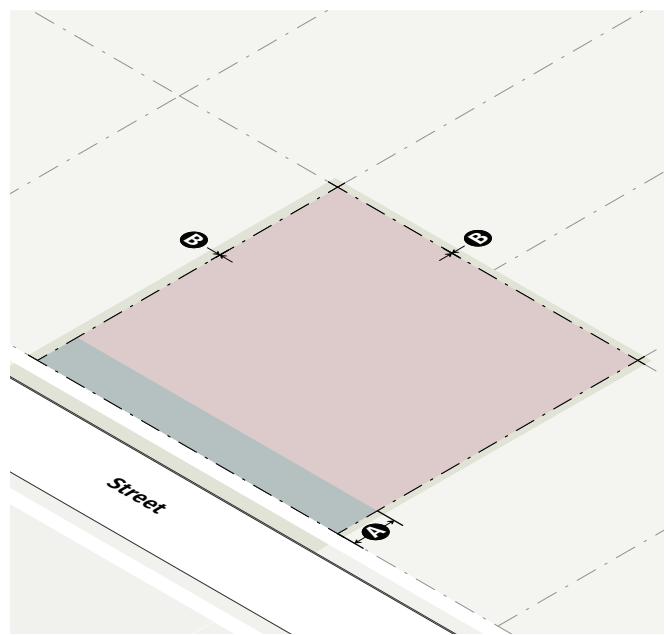
Applicable Districts

SY-HSH-40, SY-HSH-60

Use

Allowed uses See [Div. 6.1](#)

A. BUILDING PLACEMENT



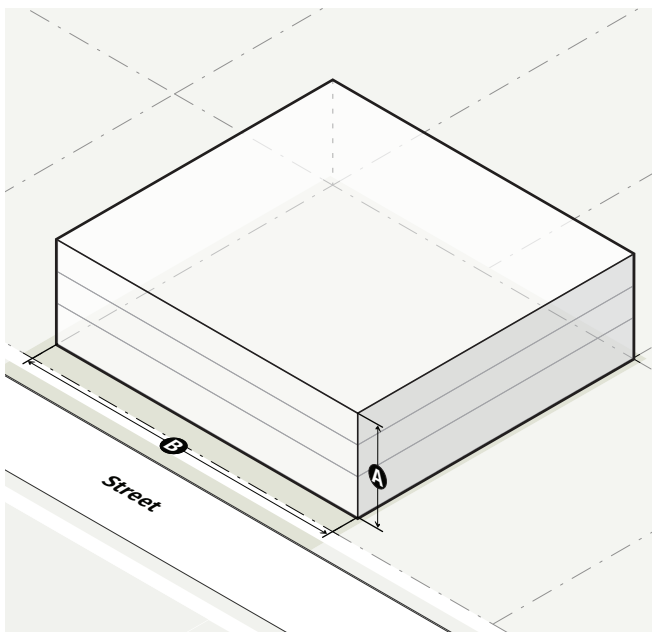
Lot

Area	n/a
Width	n/a

Building Setbacks

A Front	see Frontage
B Common lot line	0' min
Alley	5' min

B. BULK AND MASS



Building Height

A Maximum height	
SY-HSH-40	40' max
SY-HSH-68	68' max
B Minimum height	2 stories of occupiable space

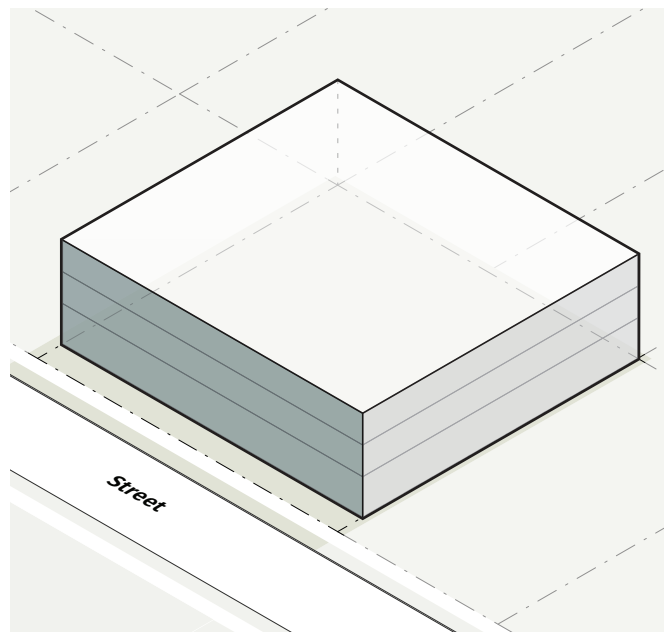
Roof Form see [Sec. 5.2.1](#)

Flat	Allowed
Traditional parapet	Allowed
Barrel vault	Not allowed
Gable: medium pitch	Not allowed
Gable: steep pitch	Not allowed
Hipped	Not allowed

Building Form see [Sec. 5.2.2](#)

C Street-facing building length	150' max
Rectilinear building	Required
Angled, curved building	Not allowed

C. FRONTAGE



Applicable Frontages

see [Div. 2.3](#)

Pedestrian	◇
General	◇
Marine Creek	--
Open Space	--
Pathway	--
Active Alley	--
Historic Shopfront	◇
Heritage Tree Lawn	--

Building Materials see [Sec. 5.2.4](#)

SEC. 2.2.2. CORE (SY-HCO)



Intent

The Historic Core District (SY-HCO) contains some of the most significant historic resources in the Historic District. Preservation of the integrity of these resources individually, and maintaining the sense of their relationship to each other, are of the highest priority. New development is intended to draw upon historic design precedents. These include the mass, scale, shape, roof form and palette of materials used. New development is intended to build on these traditions, while doing so in contemporary ways that express the evolving nature of the Historic District.

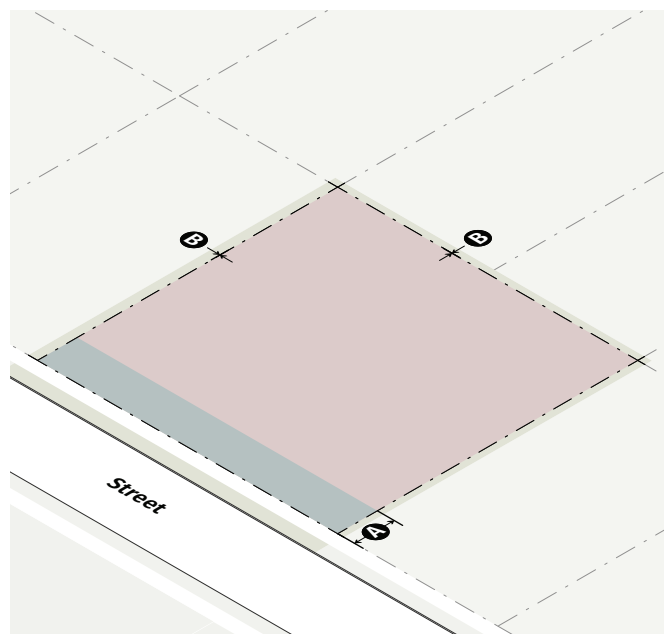
Applicable Districts

SY-HCO-40, SY-HCO-55, SY-HCO-60, SY-HCO-68, SY-HCO-130

Use

Allowed uses see [Div. 6.1](#)

A. BUILDING PLACEMENT



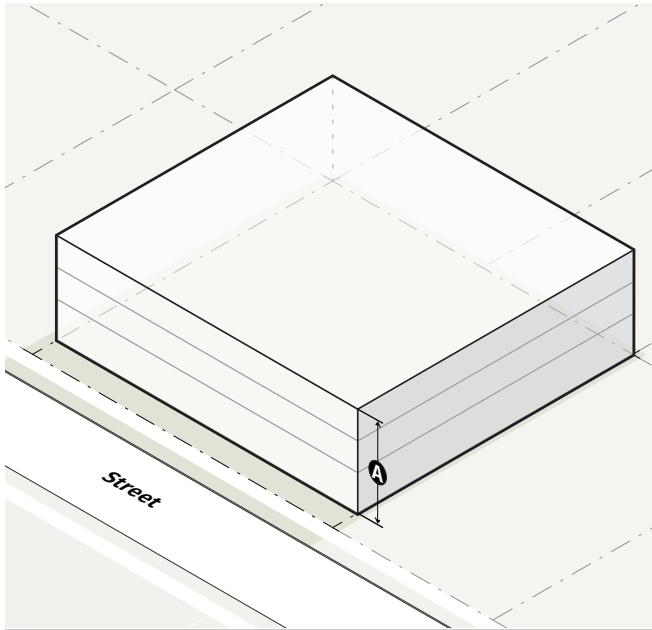
Lot

Area	n/a
Width	n/a

Building Setbacks

A Front	see Frontage
B Common lot line	0' min
Alley	5' min

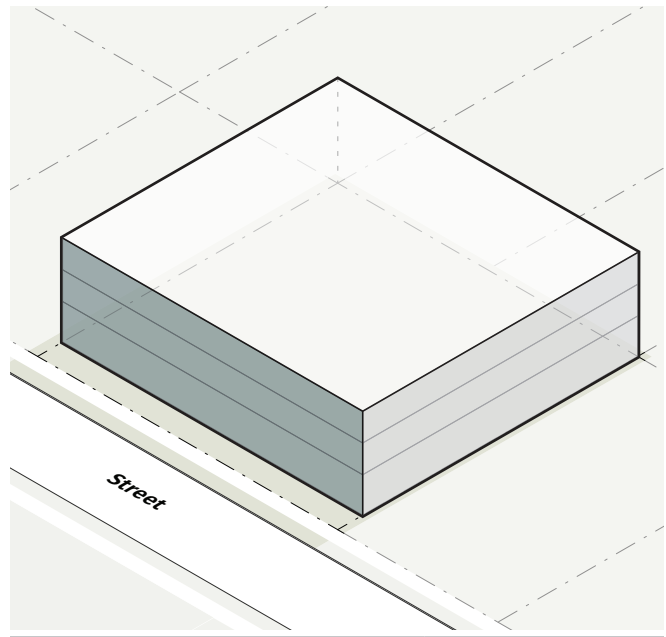
B. BULK AND MASS



Building Height

A Maximum height	
SY-HCO-40	40' max
SY-HCO-55	55' max
SY-HCO-60	
Total building height	60' max
Wall plate height	40' max
SY-HCO-68	68' max
SY-HCO-130	130' max
B Minimum height	n/a
Roof Form	see Sec. 5.2.1
Flat	Allowed
Traditional parapet	Allowed
Barrel vault	Not allowed
Gable: medium pitch	Allowed
Gable: steep pitch	Not allowed
Hipped	Allowed
Building Form	see Sec. 5.2.2
Street-facing building length	n/a
Rectilinear building	Required
Angled, curved building	Not allowed

C. FRONTAGE



Applicable Frontages

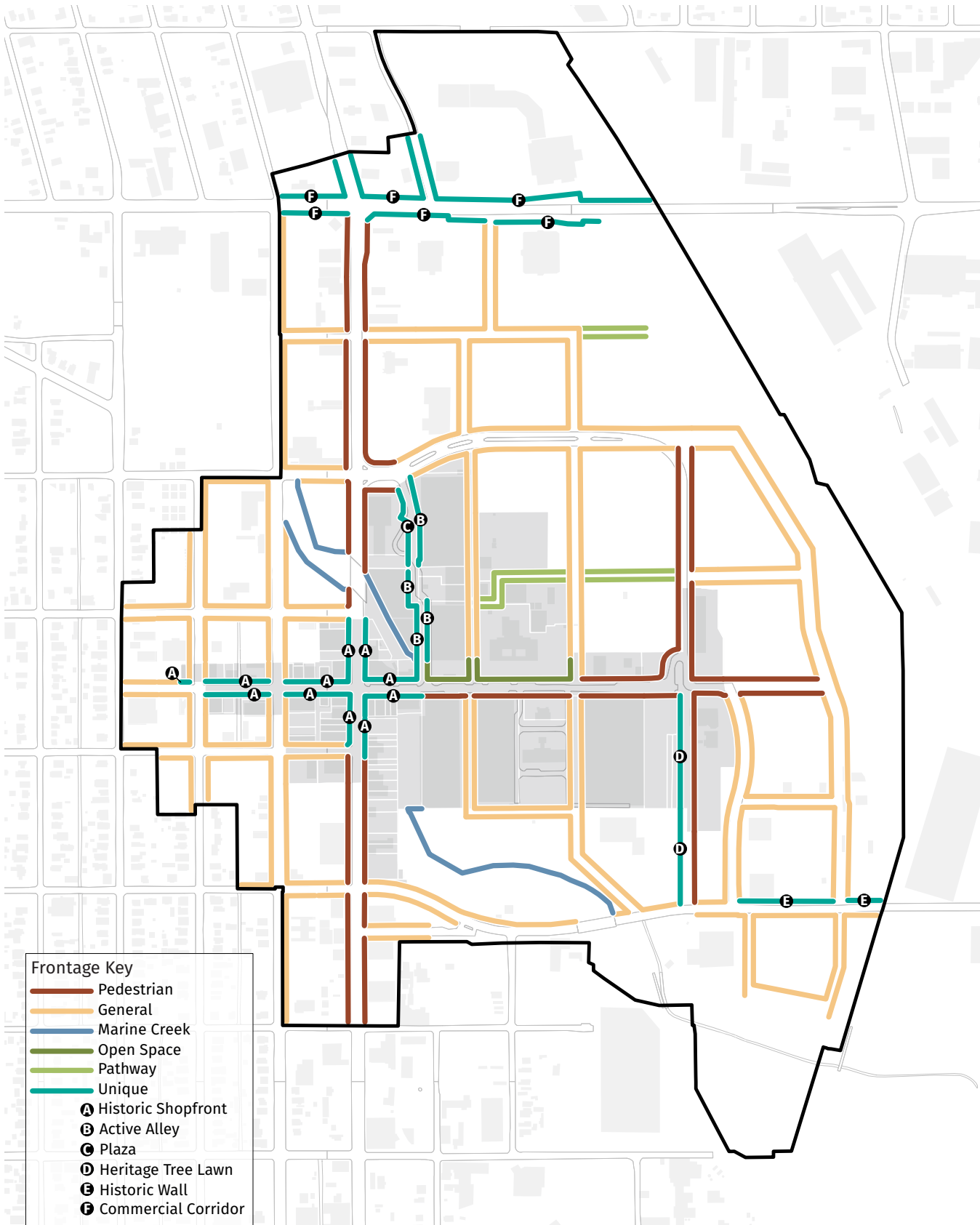
see [Div. 2.3](#)

Pedestrian	◇
General	◇
Marine Creek	◇
Open Space	◇
Historic Shopfront	--
Pathway	◇
Active Alley	◇
vPlaza	◇
Heritage Tree Lawn	◇

Building Materials

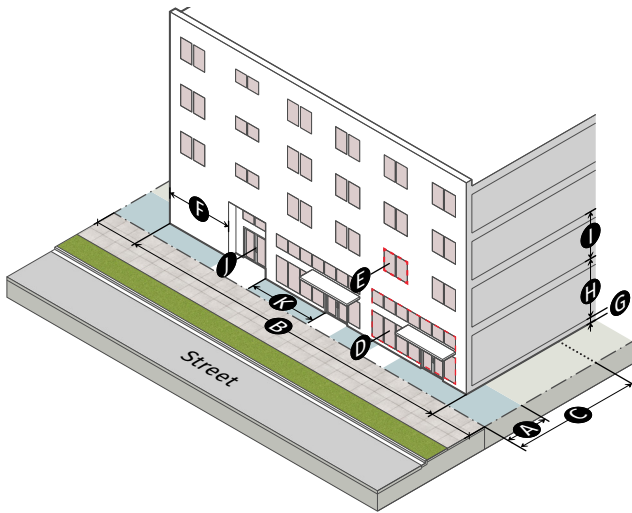
see [Sec. 5.2.4](#)

Div. 2.3. Frontages

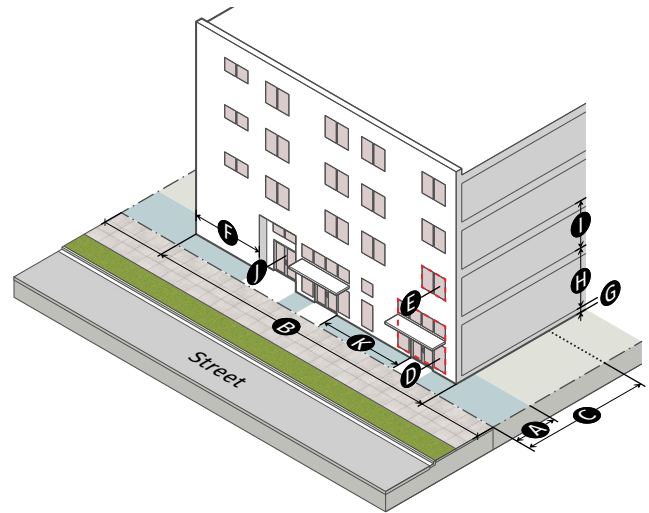


- Frontage Key**
- Pedestrian
 - General
 - Marine Creek
 - Open Space
 - Pathway
 - Unique
 - A** Historic Shopfront
 - B** Active Alley
 - C** Plaza
 - D** Heritage Tree Lawn
 - E** Historic Wall
 - F** Commercial Corridor

SEC. 2.3.1. PEDESTRIAN



SEC. 2.3.2. GENERAL



Setbacks

A Build-to zone	10' max
B % of building facade in build-to zone	80% min
C Parking setback	30' min

Transparency

D Ground story	70% min
E Upper story	20% min
F Blank wall area	20' max

Story Height

G Ground floor elevation	0' min/2' max
H Ground story	14' min
I Upper story	9' min

Pedestrian Access

J Entrance facing street	Required
K Entrance spacing along street	50' max

Building Elements Sec. 5.1.4

Awning/canopy	◇
Balcony	◇
Forecourt	--
Gallery	◇
Porch	--
Stoop	--

Setbacks

A Build-to zone	10' max
B % of building facade in build-to zone	70% min
C Parking setback	30' min

Transparency

D Ground story	50% min
E Upper story	20% min
F Blank wall area	30' max

Story Height

G Ground floor elevation	0' min/2' max
H Ground story	12' min
I Upper story	9' min

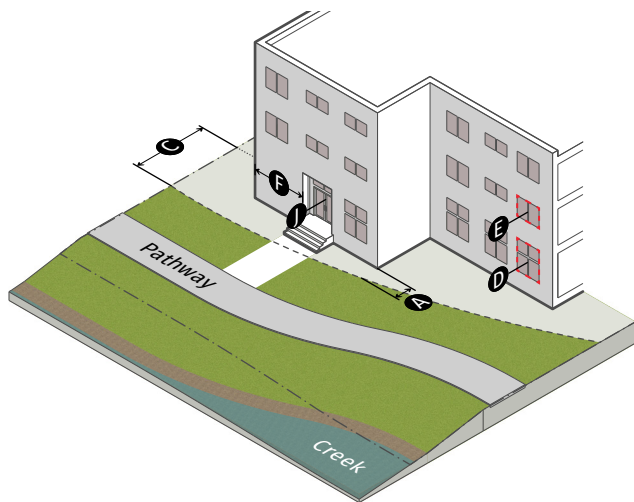
Pedestrian Access

J Entrance facing street	Required
K Entrance spacing along street	75' max

Building Elements Sec. 5.1.4

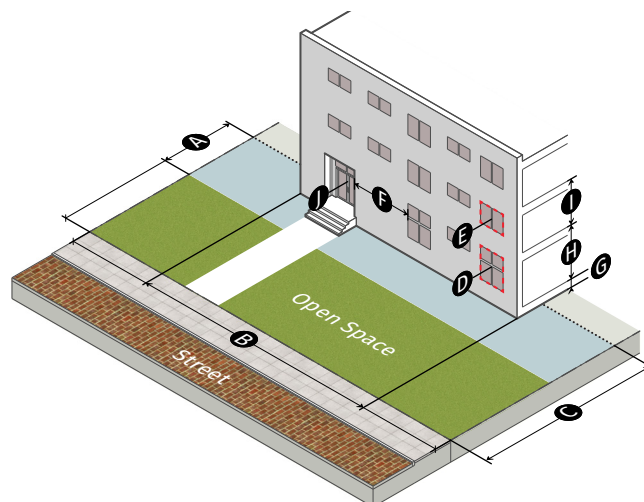
Awning/canopy	◇
Balcony	◇
Forecourt	--
Gallery	◇
Porch	--
Stoop	◇

SEC. 2.3.3. MARINE CREEK



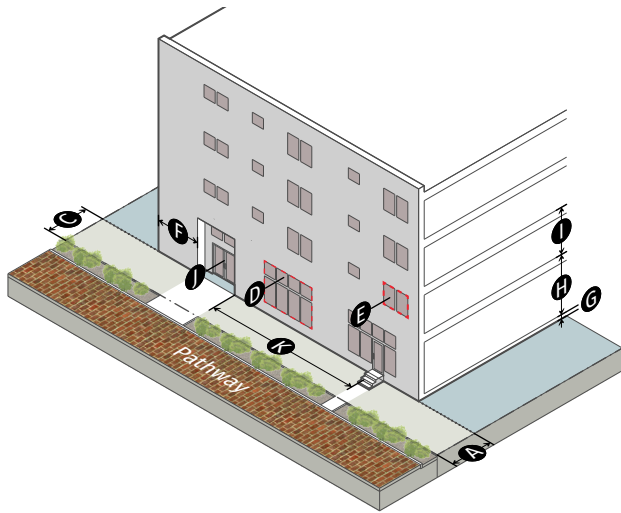
Setbacks	
A	Front (measured from the Marine Creek Floodway and Beautification Easement Line) 0' min
B	% of building facade in build-to zone n/a
C	Parking setback 30' min
Transparency	
D	Ground story 20% min
E	Upper story 20% min
F	Blank wall area 50' max
Story Height	
G	Ground floor elevation n/a
H	Ground story n/a
I	Upper story n/a
Pedestrian Access	
J	Entrance facing Creek Required
K	Entrance spacing along Creek n/a
Building Elements Sec. 5.1.4	
Awning/canopy	◇
Balcony	◇
Forecourt	◇
Gallery	◇
Porch	◇
Stoop	◇

SEC. 2.3.4. OPEN SPACE



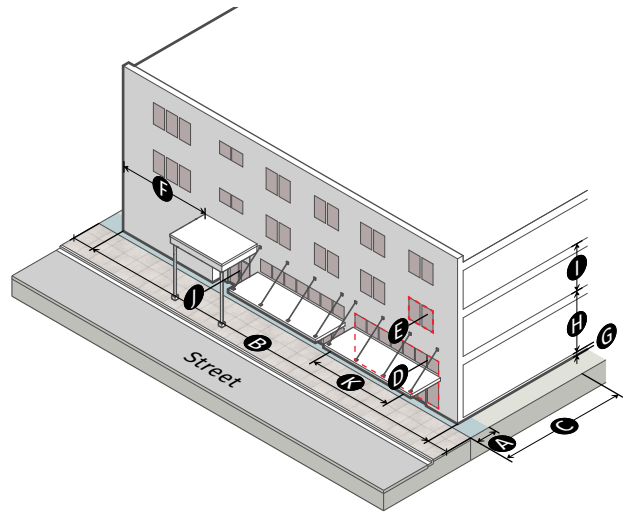
Setbacks	
A	Build-to zone 100' min/120' max
B	% of building facade in build-to zone 60% min
C	Parking setback 120' min
Transparency	
D	Ground story 20% min
E	Upper story 20% min
F	Blank wall area 50' max (ground story only)
Story Height	
G	Ground floor elevation 2' min/4' max
H	Ground story 12' min
I	Upper story 9' min
Pedestrian Access	
J	Entrance facing open space Required
K	Entrance spacing along open space n/a
Building Elements Sec. 5.1.4	
Awning/canopy	◇
Balcony	◇
Forecourt	--
Gallery	◇
Porch	◇
Stoop	◇

SEC. 2.3.5. PATHWAY



Setbacks	
A Front	5' min
B % of building facade in build-to zone	n/a
C Parking setback	5' min
Transparency	
D Ground story	50% min
E Upper story	20% min
F Blank wall area	30' max
Story Height	
G Ground floor elevation	0' min/2' max
H Ground story	12' min
I Upper story	9' min
Pedestrian Access	
J Entrance facing street	Required
K Entrance spacing along pathway	100' max
Building Elements	
	<u>Sec. 5.1.4</u>
Awning/canopy	◇
Balcony	◇
Forecourt	◇
Gallery	◇
Porch	--
Stoop	◇

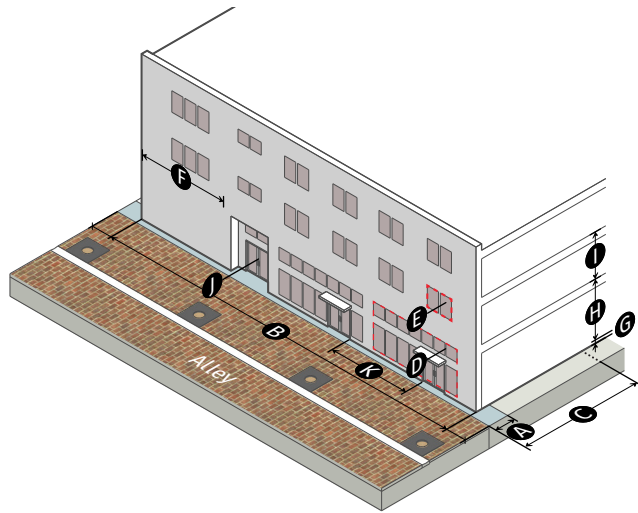
SEC. 2.3.6. HISTORIC SHOPFRONT



Setbacks	
A Build-to zone	5' max
B % of building facade in build-to zone	90% min
C Parking setback	30' min
Transparency	
D Ground story	70% min
E Upper story	20% min
F Blank wall area	20' max
Story Height	
G Ground floor elevation	0' min/2' max
H Ground story	14' min
I Upper story	9' min
Pedestrian Access	
J Entrance facing street	Required
K Entrance spacing along street	50' max
Building Elements	
	<u>Sec. 5.1.4</u>
Awning/canopy*	◇
Balcony	◇
Forecourt	--
Gallery*	◇
Porch	--
Stoop	◇

*Awning/canopy or gallery required

SEC. 2.3.7. ACTIVE ALLEY



Setbacks

A Build-to zone	5' max
B % of building facade in build-to zone	90% min
C Parking setback	30' min

Transparency

D Ground story	70% min
E Upper story	20% min
F Blank wall area	20' max

Story Height

G Ground floor elevation	0' min/2' max
H Ground story	14' min
I Upper story	9' min

Pedestrian Access

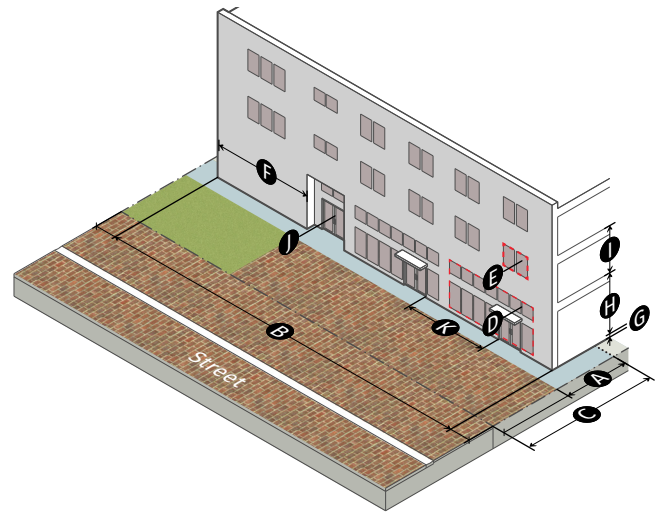
J Entrance facing alley	Required
K Entrance spacing along alley	50' max

Building Elements

Sec. 5.1.4

Awning/canopy	◇
Balcony	◇
Forecourt	--
Gallery	◇
Porch	--
Stoop	◇

SEC. 2.3.8. PLAZA



Setbacks

A Build-to zone	50' min/120' max
B % of building facade in build-to zone	70% min
C Parking setback	120' min

Transparency

D Ground story	60% min
E Upper story	20% min
F Blank wall area	40' max

Story Height

G Ground floor elevation	0' min/2' max
H Ground story	14' min
I Upper story	9' min

Pedestrian Access

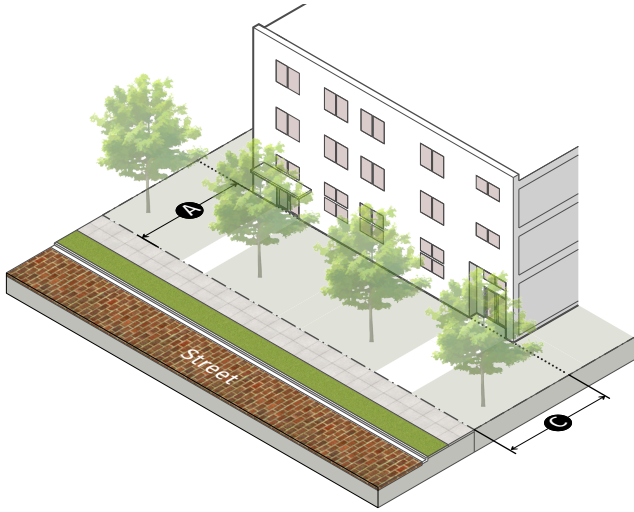
J Entrance facing plaza	Required
K Entrance spacing along plaza	100' max

Building Elements

Sec. 5.1.4

Awning/canopy	◇
Balcony	◇
Forecourt	--
Gallery	◇
Porch	--
Stoop	◇

SEC. 2.3.9. HERITAGE TREE LAWN



Setbacks

A Front (min)	30' min
B % of building facade in build-to zone	n/a
C Parking setback	30' min

Transparency

D Ground story	n/a
E Upper story	n/a
F Blank wall area	n/a

Story Height

G Ground floor elevation	n/a
H Ground story	n/a
I Upper story	n/a

Pedestrian Access

J Entrance facing street	n/a
K Entrance spacing along street	n/a

Building Elements Sec. 5.1.4

Awning/canopy	--
Balcony	--
Forecourt	--
Gallery	--
Porch	--
Stoop	--

Div. 2.4. Historic Design Guidelines

This Division presents design guidelines for the Historic District. It includes a listing of key historic preservation principles for the District (Sec. 2.4.2), standards and guidelines for Contributing Buildings (Sec. 2.4.3), standards and guidelines for Non-Contributing Buildings and New Construction (Sec. 2.4.4) and standards and guidelines for Site Design (Sec. 2.4.5). Photographs and drawings included that illustrate how design principles and guidelines should be exemplified in specific development projects.

SEC. 2.4.1. STATEMENT OF SIGNIFICANCE

SUMMARY OF SIGNIFICANCE

The Fort Worth Stockyards Local Historic District is one of the most significant sites in Texas representing the importance of the cattle and livestock industry to the state and is significant under Criteria 1, 2, 3, 4, 5, 6, 8, 9, and 10 of Chapter 4, Article 4 of the City of Fort Worth Zoning Ordinance.

The establishment of the Fort Worth Stockyards coincides with the beginnings of the cattle and livestock industries in the southwest (Criteria 1, 6, 9). After the founding of the Armour and Swift packing plants at this location in 1902, the new activity assured Fort Worth's ascendancy as the major livestock market of the southwest. The Stockyards also provided the major impetus for the growth and early development of Fort Worth. As the city's first industry, the stockyards and later packing plants transformed Fort Worth from a small frontier community into a major Texas metropolis.

DESCRIPTION OF THE HISTORIC PLACE

The Fort Worth Stockyards Local Historic District is located in Tarrant County in northeast Texas. It is characterized by commercial, agricultural, industrial, and landmark buildings and features, as well as a unique circulatory framework, constructed from the late 20th century to the mid-21st century (Criteria 2, 3, 4, 5, 8).

The district is located north of downtown Fort Worth and is centered on the major axis created by the intersection of Main Street and Exchange Avenue. The boundaries of the district run north to the intersection of Main St. and 26th St.; run east along property lines to encompass some of the original cattle pens and livestock



The Stockyards Coliseum

framework; turn south down Packers Avenue and Niles City Boulevard; then west along the southern portion of the Horse & Mule Barns property lines to Main Street; and finally running north and west to encompass the commercial structures that border Main St., Exchange Ave., NW 24th Street, and NW 25th Street. The district is surrounded by non-historic mixed-use development to the north; historic residential neighborhoods to the west; historic mixed-use, residential, and industrial to the South; and non-historic industrial to the east.

Today, the Stockyards Local Historic District contains 70 buildings, 54 of which are contributing, and a collection of character-defining settings from the period of significance of the district (1902 to 1962).¹

DISTINCT CHARACTER

Although only a small portion of the original Armour & Swift Meatpacking Plants remains today, the buildings that remain reflect the traditional industrial style, consisting of primarily brick structures with heights that vary from 2 to 9 stories. Lower scale buildings that served as a transition to the commercial core of the district were located on the western edge of the industrial area, while the height and intensity increased to the east.

Landmark buildings within the district include the Exchange and Coliseum, generally built in the Mission Revival style from 1902-1925, and set back from the street so as to delineate their importance from their more agricultural and industrial neighbors (Criteria 2, 4). However, there are some landmark buildings such as the Horse & Mule Barns that are reflect the Mission Revival style but adhere directly to the street, much in the same way that the commercial buildings do.

The commercial buildings within Fort Worth Stockyards Local Historic District, constructed primarily between 1902 and 1925, consist predominately of 1 and 2-story brick buildings that share party walls, maximize lot frontage, and have no street setback. Several of these buildings were designed by notable local architects and constructed by a local master builder, such as the Stockyards Hotel that was designed by E. Stanley Field and Wiley G. Clarkson (Criteria 3, 8). The unique circulatory framework consists of a gridded network of streets, walkways, and ramps that were designed to efficiently move animals, vehicles, and people through the district (Criteria 5). It is composed of a hierarchy of runs that provided ways to move cattle to and from the pens, through scale houses, to meat packing plants and, once processed, onto trains.

¹ The Fort Worth Stockyards Historic District was listed on the National Register on June 29th, 1976 (Criteria 10). This district boundary is much larger than the Local Historic District boundary. The smaller Local Historic District boundary removes properties from within the original National Register boundaries that lost integrity or have been demolished from 1976 to 2017.



This example of a recently rehabilitated building shows a contemporary entry to the historic facade.



The arrangement of the cattle pens determined the circulation routes for much of the livestock. Sitting north of Exchange Avenue, just to the east of the Exchange Building, elevated and suppressed walkways (runs) from the pens provided direct routes to ramps that led into the packing plants. Vestiges of this circulation system survive, including part of the subway, some ramps and the paved walkways once were framed with cattle pens. These remnants are key features unique to the Stockyards Local Historic District that cannot be found anywhere else in the city.

CHARACTER DEFINING FEATURES

There are numerous character defining features that characterize the Stockyards today. The following list is not intended to be exhaustive.

Livestock

- » The character of livestock odors
- » Bovine sounds
- » Sightings of livestock (esp. the longhorn cattle)

Livestock Structures and Circulation

- » Design, scale, location, materials and construction of rectilinear livestock pens and fencing
- » Roofed sheep and pig pens with clerestory windows
- » Cattle runway ramps and sheep/pig “subway”
- » Remnants of scale houses and holding pens for livestock
- » Raised-brick thoroughfares, brick paving pen floors and walkways
- » Raised walks throughout the pens

Built Form

- » Traditional/Early 20th Century commercial character and scale of N. Main Street and Exchange Avenue
- » Scale of Exchange Avenue and N. Main Street, consisting of 1 and 2 story brick buildings

Armour & Swift Site

- » Armour & Swift stairs
- » Topographic character defining the Armour & Swift site
- » Remains of the Armour & Swift meatpacking plants
- » Retaining walls from the period of significance
- » Historic tree land along west edge of Packers Street

Marine Creek

- » Marine Creek, including its landform, meandering contours of creek bank, waterway, and the composite setting
- » informal tree-lined creek edge
- » “Sawtooth” edge of built form along Marine Creek
- » Masonry arch structure that supports Exchange Avenue and the setting created by landform and flanking built form

Traditional Use and Development

- » Incremental development
- » Built form urban grain
- » Continued use by the livestock and agricultural industry

Views and Vistas

- » Views C1-C7 identified in View Opportunities of the Form-Based Code & Design Guidelines
- » The iconic image produced by curvilinear parapets and octagonal cupolas of the Stock Exchange Building against the sky
- » The iconic image produced by the two-story towers that mark the entrance to the Horse & Mule Barns against the sky
- » Conjunctive views of the Coliseum and the Stock Exchange Building
- » Livestock runway vista terminating at the Coliseum and Stock Exchange Building

Settings, Forecourts and Backdrops

- » Setting and forecourt of the Stock Exchange Building
- » Marine Creek backdrop to the Horse & Mule Barns
- » Traditional streetscape backdrop to the Fort Worth Stockyards over-street sign

Circulation

- » Hierarchy of Exchange Avenue and N. Main Street as character-defining pedestrian streets
- » Packers Street, traditionally used for vehicular movement
- » Remnant rail lines/circulation corridors

SEC. 2.4.2. HISTORIC PRESERVATION PRINCIPLES

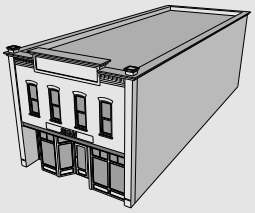
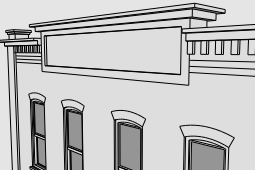
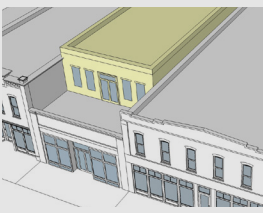
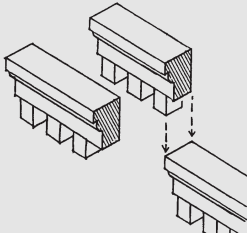
Historic preservation is well established in the Historic District where many individual property owners have worked to preserve its cultural resources. While community goals and economic conditions may change over time, preserving the heritage of the Stockyards remains a primary goal of the community.

This section presents an overview of historic preservation principles that apply to the Historic District. It also provides guidance on how to plan a preservation project, determine architectural styles and choose the appropriate treatment for a historic property.

The material in this section will be applied when determining the appropriateness of changes to historic properties in the Historic District.

A. Planning a Preservation Project

When planning a preservation project, it is important to first determine the historic significance of the property and the degree to which it retains its integrity as a historic property. Next, a specific approach to the overall treatment of the property should be established. This may include preserving the building in its current state, while making appropriate repairs, or incorporating new, compatible changes. It is then important to determine how surviving historic features will be treated. This may include preserving those features that remain intact, repairing those that are deteriorated and replacing others.

STEPS FOR PLANNING A PRESERVATION PROJECT		Seven Aspects of Integrity
Step 1: Why is the building significant?		
	Building significance. Understanding the history of a building is important to any preservation project. Where it is available, survey information should be consulted to help identify the building’s age, style and its key character-defining features. This will help determine to what degree the property should be preserved as it is, or where there may be opportunities for compatible alterations to occur.	
Step 2: What is the condition of the building and its KEY character-defining features?		
	Integrity. The condition of a building and its features contribute to the overall significance of the building. A building with historic integrity has a sufficient percentage of character-defining features, and key features remain intact. These key elements allow a building to be recognized as a product of its time.	
Step 3: What is the desired project?		
	Program requirements. Are any functional improvements needed for the desired building use? Or is preservation of character-defining features the objective? If restoring features is the focus, then other alternative design approaches may not be necessary, but if some functional improvements are needed, then compatible alterations and/or additions may be the approach.	
Step 4: What is the Strategy?		
	Strategy. A preservation project may include a range of activities, such as maintenance of existing features, repair of deteriorated materials, the replacement of missing features and construction of a new addition. While the term “preservation” is used broadly to mean keeping a historic property’s character-defining features, it is also used in a more specific, technical form to mean keeping a resource in good condition. This, and other related terms, are important to understand because they are all used when planning work on a historic property.	

Seven Aspects of Integrity

In evaluating the historic significance of features that survive in the Historic District, there are 7 “aspects of integrity” that should be applied. These are based on those used in the National Register of Historic Places. The 7 aspects are:

Location

Location is the place where the historic property was constructed or the place where the historic event took place.

Design

Design is the composition of elements that constitute the form, plan, space, structure, and style of a property.

Setting

Setting is the physical environment of a historic property that illustrates the character of the place.

Materials

Materials are the physical elements combined in a particular pattern or configuration to form a historic property.

Workmanship

Workmanship is the physical evidence of the crafts of a particular culture or people during any given period of history.

Feeling

Feeling is the quality that a historic property has in evoking the aesthetic or historic sense of a past period of time.

Association

Association is the direct link between a property and the event or person for which the property is significant.

B. Historic Architectural Styles

The following architectural styles have been identified by the Texas Historical Commission through historic surveys that were completed for the existing historic buildings in the Historic District:

Key Character-Defining Features

Roofs

- Flat with parapets
- Shed overhangs with modillions

Heights

- One to two-stories

Building Materials

- Stucco or plaster
- Clay roof tiles

Detailing

- Curvilinear-shaped gable
- Arcades
- String courses
- Round arched windows and entries

Other Features

- Cast-iron balconies
- Arched transom lights (usually covered)
- Shed roof porch/canopy with plain wood post supports

MISSION REVIVAL (ca. 1800-1930)

Easily recognized by the curvilinear-shaped gable wall or the low parapet wall rising above the roofline, the Mission Revival style is characterized by smooth stuccoed or plastered walls with modest ornamentation. The roof is usually tile, and semicircular arched openings form windows, entries and arcades. The curvilinear-shaped roofline distinguishes the Mission from the similar Mediterranean style.



Mission Revival

Key Character-Defining Features

Roofs

- Flat roof with parapet

Heights

- One to four-stories

Building Materials

- Brick
- Simple to ornate pilasters

Detailing

- Storefront system
- Punched upper story window openings typically double-hung with ornate surrounds
- Ornate detailing at cornice

Other Features

- Primary entry
- Awning or canopy

EARLY 20TH CENTURY – VERNACULAR COMMERCIAL STOREFRONT (ca. 1900-1940)

Early twentieth century commercial buildings are generally one to four-stories, with flat or slightly pitched roofs. Often constructed of red, blond or light colored brick, these buildings have very little ornamentation other than some decorative brick work along the cornice or parapet. In some cases, 20th century commercial buildings exhibit some detailing from 19th century commercial buildings.



Early 20th Century Commercial Storefront

ART MODERNE (ca. 1920-1940)

This modernistic style received its first major impetus in 1922 when the Chicago Tribune held a world-wide competition for a headquarters building in Chicago. Although first prize went to a Gothic design, the second prize went to an Art Deco design by a young Finnish architect, Eliel Saarinen. His design was widely publicized and the style quickly became the latest architectural fashion.

This late 19th – Early 20th Century Vernacular style building received Art Moderne facade treatments over time. Buildings of this style exhibit smooth facades with decorative horizontal bands, steel plate glass storefronts and horizontal canopies that may have been altered from their original form.



Art Moderne

Key Character-Defining Features

Roofs

- Flat roof
- No eaves

Heights

- One or multiple stories

Building Materials

- Stucco
- Brick
- Steel

Detailing

- Smooth wall surface
- Horizontal banding
- Asymmetrical facade

Other Features

- Glass block
- Window bands

Key Character-Defining Features

Roofs

- Flat with parapet

Heights

- Two to three-stories

Building Materials

- Masonry
- Brick

Detailing

- Stepped front
- Broken cornice line
- Geometric forms

Other Features

- Symmetrical
- Raised foundations
- Architectural sculptures
- Polychromatic materials
- Vertical emphasis

ART DECO (ca. 1930-1940S)

Art Deco is characterized by an angular, linear composition, stepped or set-back facade and polychromatic materials. Geometric forms are the most common stylistic expressions. Stepped cornice lines, low relief geometrical designs, spandrel panels, architectural sculptures, polychromatic materials and a vertical emphasis are also characteristic of this style. Decorative facade elements include chevrons, zigzags and stylized floral and geometric motifs.



Art Deco

Key Character-Defining Features

Roofs

- Flat

Heights

- Multiple stories

Building Materials

- Brick
- Concrete
- Local materials

Detailing

- Smooth untextured surfaces
- Cantilevers
- Bands of windows
- Casement windows
- Flat roof

Other Features

- Solid planes
- Simple building forms
- Lack of ornamentation

INTERNATIONAL (ca. 1930-1950S)

The International style is known for its smooth, unadorned surfaces, flat roofs, bands of flush windows and asymmetrical composition. Commercial and industrial buildings designed in this style are built with strong horizontal elements usually alternating between bands of windows and solid planes. Instead of using color, this style emphasizes light and shadow.



International

C. Choosing a Strategy

When planning work on a historic property, the option that requires the least intervention is always preferred to best maintain its integrity. The options below are listed in order of preference, followed by information on other work categories that are not generally appropriate for historic structures.



Restoration often involves individual building features such as this restored cornice.

APPROPRIATE TREATMENTS

The following is a list of appropriate treatments for historic properties in the Historic District.

Preservation as treatment for a historic property, is the act or process of applying measures to sustain the existing form, integrity and material of a building. Some work focuses on keeping a property in good working condition by repairing features as soon as deterioration becomes apparent, using procedures that retain the original character and finish of the features. Property owners are strongly encouraged to maintain properties in good condition.



Remodeling the storefront of a historic building (Fort Collins, CO) to accommodate an auto repair shop is inappropriate. Storefronts were removed to make way for a garage. (Compare with the image below.)

Restoration is the act or process of accurately depicting the form, features and character of a property as it appeared in a particular time period. It may require the removal of features from outside the period of significance.

Rehabilitation is the process of returning a property to a state that makes a contemporary use possible while still preserving those portions or features of the property which are significant to its historical, architectural and cultural values. Rehabilitation may include a change in use of the building or constructing an addition to the original structure. This term is the broadest of the appropriate treatments and is often used in the guidelines with the understanding that it may also involve other appropriate treatments.



The removal of the inappropriate garage door and the rehabilitation of this commercial building successfully returns the property to the state that preserves the building's historic integrity.

Reconstruction is the act or process of depicting, by means of new construction, the form, features and detailing of a non-surviving site, landscape, building, structure or object for the purpose of replicating its appearance at a specific time and in its historic location.

Combining Treatments. While these terms are used interchangeably in informal conversation, the more precise meanings are used when describing the overall strategy for a historic property.

Preferred Sequence of Work

The following treatment options appear in order of preference. When making a selection, follow the sequence outlined below.

Step #1: Preserve

If a historic feature is intact and in good condition, preserve it with regular maintenance to sustain the integrity of the structure.



Step #2: Repair

If a historic feature is deteriorated or damaged, repair it to its original condition.



Step #3: Replace

If it is not feasible to repair a historic feature, then replace it in kind (i.e., materials, detail and finish). Replace only that portion which is beyond repair.



Step #4: Reconstruct

If all or part of a historic feature is missing, reconstruct it from appropriate evidence, such as historical photographs, or features on similar adjacent properties.



Step #5: Add Compatible Features

If a new feature (one that did not exist previously) or an addition is necessary, its design should minimize the impact on a historic structure. It is also important to distinguish new features on a historic structure from original historic elements, and to avoid adding features to primary building facades.

For many improvement projects in the Historic District, a rehabilitation approach will be the overall strategy. However, specific building components may warrant different treatment methods. For example, a surviving cornice may be preserved, a storefront base that has been altered may be restored, and a missing kickplate below a display window may be reconstructed.

PREFERRED SEQUENCE OF WORK

When planning work on a historic property, those actions that require the least intervention are always preferred. The options described to the left are listed in order of preference. Options that are not generally appropriate for historic structures are described below.

INAPPROPRIATE ACTIONS

The following are not appropriate for historically significant properties in the Historic District.

Remodeling is the process of changing the historic design of a building. The appearance is altered by removing original details and by adding new features that are out of character with the original design. Remodeling of a historic structure is inappropriate.

Deconstruction is the process of dismantling a building such that the individual material components and architectural details remain intact. This may be employed when a building is relocated or when the materials are to be reused in other building projects. Deconstruction may be a “last resort” alternative to conventional demolition in certain circumstances.



Many historic features, including the window openings and storefront, have been substantially altered on this property.

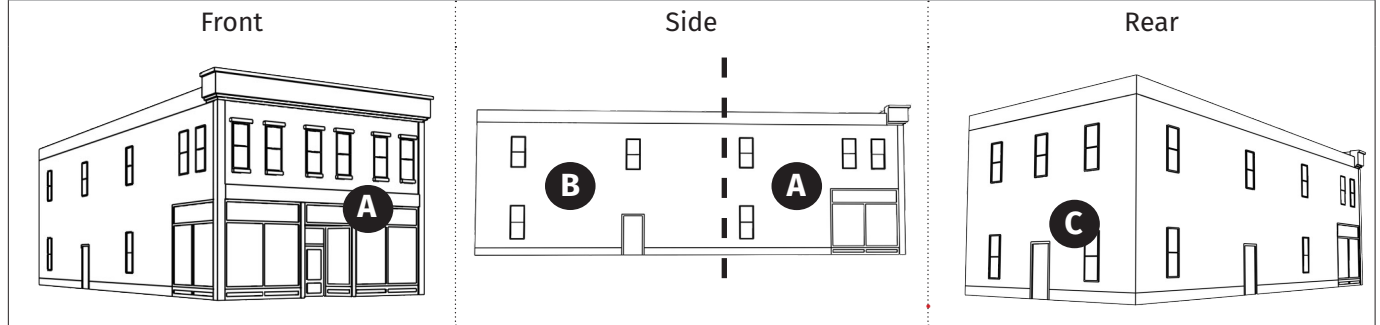


This building retains a high degree of historic integrity and the historic condition is fully intact. Recent restoration work is in keeping with the character.

D. Setting Priorities for Preservation

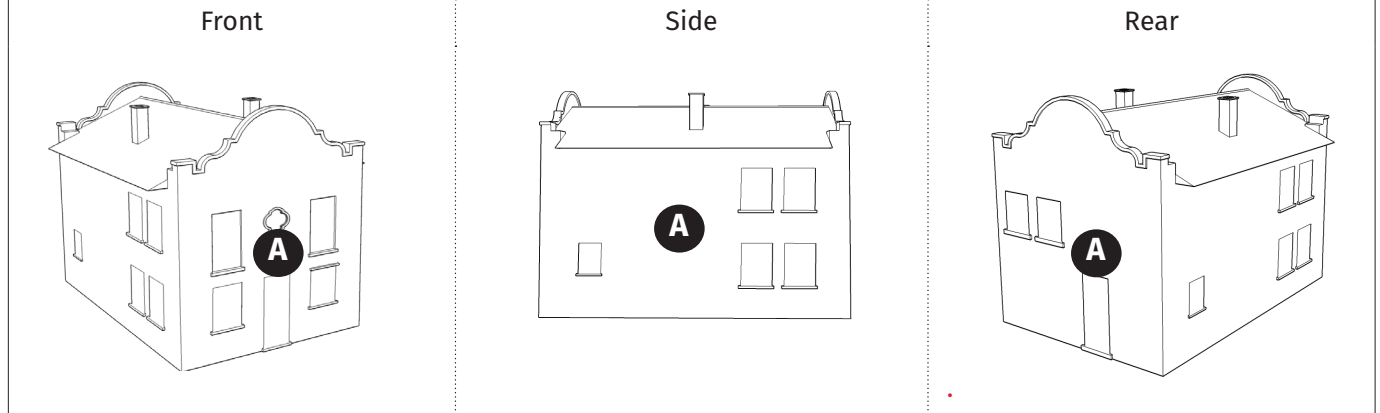
Location A: Highly sensitive	Location B: Less sensitive	Location C: Least sensitive
<ul style="list-style-type: none"> • Preservation of features in place is the priority. • This is especially important at the street level and in locations where the feature is highly visible. 	<ul style="list-style-type: none"> • Preservation of features in place also is a priority but a compatible alteration may be considered. 	<ul style="list-style-type: none"> • Preservation of features is recommended but more flexibility in making alterations may be available.

CONSIDERING A VERNACULAR COMMERCIAL BUILDING:



For many of the “contributing” commercial storefronts on historic resources in the Historic District, the front wall is where many key, character-defining features will be located. Alterations are rarely appropriate. Many side walls are also important to preserve, particularly where they are highly visible from the street or other public way. By contrast, portions of a side wall that are not as visible may be less sensitive to change. A rear wall is usually the least sensitive, and alteration may occur more easily without causing negative effects to the historic significance of the property. This concept of evaluating the different faces of a building to locate the appropriate places for alterations is illustrated in the sketches below.

CONSIDERING A DISTINCTIVE LANDMARK BUILDING:



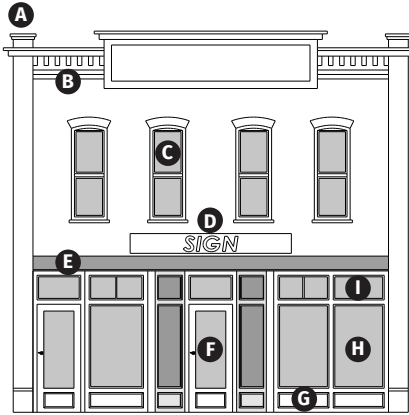
Several historic resources in the district are of “landmark” quality, in terms of their significance. The Coliseum, Stock Exchange building, Stockyards Station and the Horse and Mule Barns are noteworthy examples. Historically, these properties have been experienced “in the round,” with all sides conveying functional and design aspects that contribute to their historic significance. Alterations to these buildings must be considered carefully for that reason. While some modest alterations may be considered, they should occur in ways that minimize impacts on key features in all locations.

PLANNING WORK ON A HISTORIC COMMERCIAL BUILDING

What is the best approach for work on a historic commercial building that has already experienced some alterations? A range of options may be available depending upon certain facts. First, determine the historic character.

Intact Historic Structure

- A** Pilasters with brick cap and base
- B** Ornamental brick cornice
- C** Upper story windows, double hung with brick arches
- D** Sign panel above molding
- E** Lintel

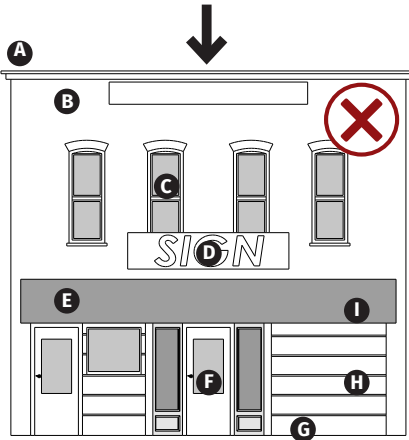


- F** Wood panel door
- G** Wood paneled bulkhead
- H** Display Window
- I** Transom Window

Next, assess the existing conditions:

Altered Historic Structure

- A** Pilasters removed
- B** Ornamental cornice removed
- C** Upper story windows intact
- D** Sign obscures window details
- E** Molding covered

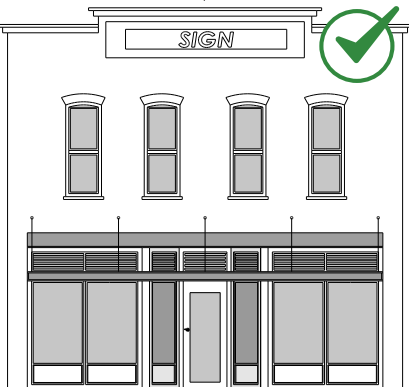


- F** Original door missing
- G** Bulkhead missing
- H** Display windows altered
- I** Transom window covered



Historic Reconstruction

- Surviving features preserved and restored
- Missing cornice and pilasters reconstructed
- Storefront elements reconstructed



Contemporary Rehabilitation

- New cornice reflects the form of the original
- Upper windows preserved
- Contemporary finished metal storefront in scale with original
- Canopy installed



Simplified Rehabilitation

- Simplified interpretation of the cornice
- Upper windows preserved
- Contemporary finished metal storefront in scale with original

SEC. 2.4.3. STANDARDS AND GUIDELINES FOR CONTRIBUTING BUILDINGS

This section provides design guidelines for the treatment of historic properties (contributors and landmarks) in the Historic District. It focuses on the preservation of key character-defining features of each individual contributing property as well as preservation of the district as a whole. The design guidelines in this section do not apply to new construction or to alterations of non-contributing properties. These topics are discussed [Sec. 2.4.4.](#)

A. Character-Defining Features

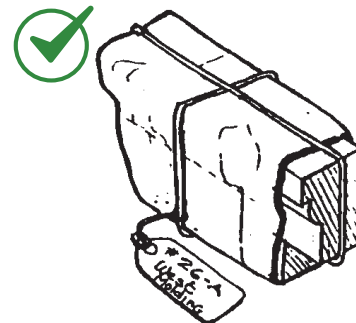
Character-defining features help convey the historic and architectural significance of historic properties and vary by architectural style. Some character-defining features are distinctive details. The form, height and massing also are key character-defining features. The design standards and guidelines address treatment of these features. The method of preservation that requires the least intervention is always preferred.

1. Maintain key character-defining features.

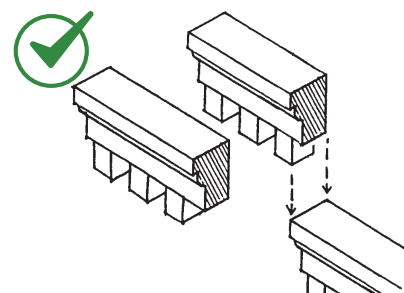
- a. Key character-defining features include:
 - i. Ornamentation and architectural details
 - ii. Building materials
 - iii. Windows and doors
 - iv. Cornices and eaves
 - v. Parapets
- b. Retain and treat exterior features and examples of skilled craftsmanship with sensitivity.
- c. Employ preventive maintenance measures such as rust removal, caulking and repainting to keep features in good condition.

2. Repair, rather than replace, a key character-defining feature if it is damaged.

- a. Do not remove or alter distinctive character-defining features that are in good condition or that can be repaired.
- b. Document the location of a character-defining feature that must be removed in order to be repaired so it may be repositioned accurately.
- c. Patch, piece-in, splice, consolidate or otherwise upgrade deteriorated features using recognized preservation methods.
- d. Minimize damage to historic character-defining features when repairs are necessary.
- e. Protect other character-defining features that are adjacent to the area being worked on.



Document the location of a historic feature that must be removed and repaired so it may be repositioned accurately.



Patch, piece-in, splice, consolidate or otherwise upgrade deteriorated features using recognized preservation methods.

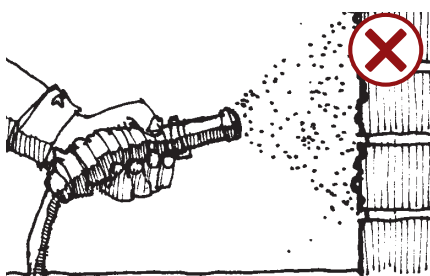


Simplicity in building form or material can be a key character-defining feature.



Retain and treat exterior features and examples of skilled craftsmanship with sensitivity.

3. Reconstruct a key character-defining feature accurately if it cannot be repaired.
 - a. Use a design that is substantiated by physical or pictorial evidence to avoid creating a misrepresentation of the building's history.
 - b. Use the same kind of material as the original to the extent feasible. An alternative material may be considered if it:
 - i. Has proven durability
 - ii. Has a size, shape, texture and finish that conveys the visual appearance of the historic feature
 - iii. Is located in a place that is remote from view or direct physical contact
 - iv. Do not add details that were not part of the historic structure. For example, decorative millwork should not be added to a building if it was not a historic feature, as it would convey a false history.



Do not use harsh cleaning methods, which can inhibit the function and/or appearance of the historic material, (such as sandblasting, which can damage its protective coating).



Protect and maintain historic stucco.

B. Materials and Finishes

Historic materials should be preserved in place. If the material is damaged, limited replacement to match the original should be employed. Historic building materials should never be covered or subjected to harsh cleaning treatments. Preserving historic building materials and limiting replacement to only pieces which are deteriorated beyond repair also reduces the demand for, and environmental impacts from, the production of new materials and therefore supports sustainability objectives.



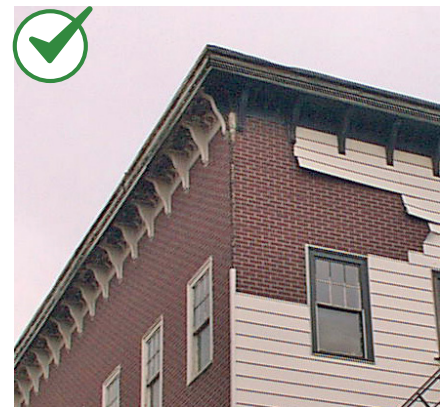
SEE SEC. 5.2.4 FOR BUILDING MATERIAL STANDARDS

1. Maintain historic building materials.
 - a. Preserve historic building materials from deterioration.
 - b. Maintain historic material finishes, including painted signs.
 - c. Do not remove historic materials that are in good condition.
 - d. Use a low pressure water wash if cleaning is permitted. Chemical cleaning may be considered if a test patch does not have a negative effect on the historic fabric (the test patch should be reviewed by the City's preservation department).
 - e. Do not use abrasive cleaning methods, which can inhibit the function and/or appearance of the historic material, (such as sandblasting, which can damage protective coatings and have an adverse effect).

- 2. **Preserve the visibility of historic materials.**
 - a. Consider removing later covering materials that have not achieved historic significance.
 - b. Once a non-historic material is removed, repair the historic, underlying material.
 - c. Do not cover or obscure historic building materials.
 - d. Do not add another layer of new material if a property already has a non-historic building material covering the historic material.
- 3. **Repair historic building materials when needed.**
 - a. Repair deteriorated building materials by patching, piecing-in, consolidating, or otherwise reinforcing the material.
 - b. Replace only those portions that are deteriorated and beyond reasonable repair.
- 4. **Replace historic building materials in kind if repair is not feasible.**
 - a. Use the same material as the historic one to replace damaged building materials.
 - b. Replace only the amount of material that is beyond repair.
 - c. Use only replacement materials that are similar in scale, finish and character to the historic material.
 - d. Use only replacement materials with proven durability.
 - e. Do not replace building materials with alternative or imitation materials unless no other option is available.



Removal of covering material exposes historic building fabric.



Consider removing later covering materials that have not achieved historic significance.



Before: Historic material covered



After: Historic material revealed



Preserve historic materials.

PRESERVING HISTORIC MATERIALS:

Primary historic building materials used in the Stockyards include masonry (brick, mortar, stone, concrete), stucco, wood and metal. Such materials should be preserved whenever possible. Appropriate treatments to protect specific materials from deterioration include:

Masonry

- Maintain the natural uncovered water-protective layer (patina).
- Do not paint (this can seal in moisture, which may cause extensive damage over time).
- Repoint deteriorated masonry mortar joints with mortar that matches the strength, composition, color and texture of the original. Note, some new mortars can damage original masonry (have mortar professionally tested to determine composition). Also, duplicate the mortar joints in width and profile.
- Maintain masonry caps to insure proper drainage.

Stucco

- Keep surfaces clean with a low-pressure water wash.
- Apply stucco in suitable weather conditions.
- Use compatible stucco for repairs. Consult a historic masonry specialist to determine appropriate product type and color.

Wood

- Maintain paint and other protective coatings to retard deterioration and ultraviolet damage.
- Provide proper drainage and ventilation.
- Use compatible paints. Some latex paints will not bond well to earlier oil-based paints without a primer coat.

Metal

- Maintain protective coatings, such as paint, on exposed metals.
- Provide proper drainage.

All Materials

- Epoxies and resins may be considered for wood repair and special masonry repair components also may be used.
- Use a low pressure water wash if cleaning is appropriate. Chemical cleaning may be considered if a test patch is first reviewed and negative effects are not found.
- Do not use harsh cleaning methods, such as sandblasting, which can damage historic materials, changing their appearance.

For More Information:

The following National Park Service preservation briefs at www.nps.gov provide additional information on the treatment of historic materials:

Preservation Brief 1: Assessing Cleaning and Water-Repellent Treatments for Historic Masonry Buildings

Preservation Brief 2: Repointing Mortar Joints in Historic Masonry Buildings

Preservation Brief 16: The Use of Substitute Materials on Historic Building Exteriors

Preservation Brief 22: The Preservation and Repair of Historic Stucco



Preserve original materials.

Using Non-Historic Materials on a Historic Structure:

The design guidelines sometimes refer to the use of non-original materials when describing the appropriate treatment of historic building features and components such as moldings, windows, siding and other architectural details.

A non-original material is one which is different from that used originally for a specific application. Such materials may also be called “substitute”, “replacement”, “synthetic” or “imitation” materials, and can include:

- Vinyl siding or fencing
- PVC decking or fencing
- Aluminum siding
- Hardie Plank siding
- Cementitious fiber siding
- Spray-on coatings
- Synthetic stucco
- Panelized brick
- Other non-original materials



Fiber cement siding

Non-original materials may also include those used to replace historic architectural features such as a resin-cast cornice used in place of a stamped metal cornice. In other cases, an original material may be traditional when used for other applications, but new for the particular detail being considered. Using wood to replace an original stamped-metal cornice is an example.

Non-original materials may be considered by the Historic and Cultural Landmarks Commission on a case-by-case basis as replacement materials or for use on a new addition or new building in a historic district. The City will consider factors including:

Potential Impact on Historic Significance. Removing original material diminishes the integrity of a historic property by reducing the percentage of building fabric that remains from the period of historic significance. Retaining the original material is always preferred. If this is not feasible, non-original materials may be considered. When used, a non-original material should convey the character, including durability, detail and finish, of the original to the greatest extent feasible.

Appearance. A non-original material should have a similar profile, texture and finish as the original material. Some synthetic siding has an exaggerated, rusticated finish that is an inaccurate representation of the original clapboard, and many vinyl products have a sheen that is out of character with that of painted wood and metal. These are inappropriate.

Durability. A non-original material should have proven durability in similar applications. While some new materials are very sturdy, others may degrade quickly and can be difficult to repair.

Location. Up close, it is easier to identify some non-original materials due to differences in texture, finish and feel. Tapping on a hollow plastic column or fence does not convey the same experience as the original. For this reason, locations that are more remote are better.

Cost. Some non-original materials are promoted because their initial costs appear to be less than repairing or replacing the original. When the other qualities of appearance and durability are proven, then the less expensive option may be appropriate. However, long-term, “life cycle” costs should also be weighed. Sometimes, the up-front saving is deceptive.

Environmental Impacts. The potential environmental impacts of non-original materials should also be considered including impacts associated with manufacture, transport, installation and ability to recycle.

Interaction with Historic Building Materials. Some non-original materials may interact negatively with historic materials. For example, some metals may corrode and stain original materials and some window and siding materials may expand and contract with temperature changes in ways.



Fiber cement siding



Repair, rather than replace, frames and sashes.



Preserve and repair historic windows.



Do not reduce a historic opening to accommodate a smaller window.



Preserve historic windows.

C. Windows

Original windows help convey the significance of historic structures, and should be preserved. They can be repaired by re-glazing, patching and splicing elements such as muntins, the frame, sill and casing. Repair and weatherization measures also are often more energy efficient, and less expensive, than replacement. If a historic window cannot be repaired, a new replacement window should be in character with the historic building.

1. Preserve and repair historic windows.

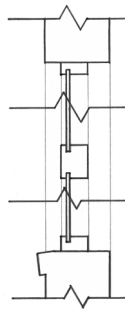
- a. Preserve historic window features including the frame, sash, muntins, mullions, glazing, sills, heads, jambs, moldings, operation and groupings of windows.
- b. Repair and maintain windows regularly, including trim, glazing putty and glass panes.
- c. Repair, rather than replace, frames and sashes.

2. Replace a historic window in-kind if repair is not possible.

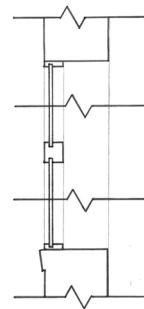
- a. Replace with the same material.
- b. Match the appearance of the historic window design (i.e., if the historic is double-hung, use a double-hung replacement window).
- c. Maintain the historic size, shape and number of panes.
- d. Match the profile of the sash, muntin and its components to the historic window, including the depth of the sash, which may step back to the plane of the glass in several increments.
- e. Use clear window glazing that conveys the visual appearance of historic glazing (transparent low-e glass is preferred).
- f. Do not use vinyl and unfinished metals as window replacement materials.
- g. Do not use metallic or reflective window glazing.



Original Sash Profile



Inappropriate Replacement



These sketches show a section through two windows; the original and a proposed replacement. The proposed replacement window is inappropriate since it does not match the profile of the original window.

h. Do not reduce a historic opening to accommodate a smaller window or increase it to accommodate a larger window.

3. Use special care when replacing a window in a key character-defining location.

- a. Give special attention to matching the historic design and materials of windows located on the primary facade.
- b. Match the historic design and positioning of the window within the opening when replacing a window.

4. Restore a historic window opening that has been altered.

- a. Restore a historic window opening that previously existed.
- b. Place a new window to fit within the historic opening.

5. When necessary, locate and design a new window opening to preserve the overall rhythm and arrangement of windows.

- a. Locate a new window opening to match the general arrangement of historic windows in a building wall.
- b. Design a new window opening to match historic window proportions on the same facade.
- c. The new window should complement the historic windows, but should be designed to be different.



Restore a historic window opening that has been altered.



Give special attention to matching the historic design and materials of windows located on the facade.



Use special care when replacing a window on a primary facade.



Restore a historic window opening that has been altered. For example, this opening has been blocked. Restoring the window is best practice in this situation.

Benefits of Wood Window Retrofits:

Sensitive stewardship of the existing building stock significantly reduces environmental impacts. Re-using a building and its original wood windows preserves the energy and resources invested in its construction, reduces demand on landfill space and eliminates the need for producing new construction materials. Manufacturing of many new building materials uses substantial levels of energy. This can be reduced significantly if historic structures and its wood windows are retained rather than demolished.

Many historic building materials, such as a building's wood windows have long life cycles, which contribute to their sustainability. They were built for longevity in a manner that also allows for repairs. Some replacement features for historic buildings, such as synthetic window materials, advertise they are low in maintenance, inexpensive and durable etc., when in fact they have a significantly shorter life span than historic wood windows, are difficult to repair and are incompatible with historic building materials.

An older window is often falsely accused of being a major source of heat loss, when other parts of a building are typically the major sources. For example, as much as 50% of the energy lost from a house is from air infiltration through the attic, uninsulated walls, and around the windows and door cavities, not through the glass in a window itself. Repairing, weather-stripping and insulating an original window is typically more efficient and much less expensive than new windows, as well as sound preservation practice. Retrofits also extend the life of existing windows, avoid production of new materials, reduce waste and preserve a building's character. Retrofits have proven to be cost effective over the long-term in national studies.

Substantial amounts of information are available that document the energy saving benefits of retaining and repairing a historic window, rather than replacing it.

The following National Trust for Historic Preservation article at www.preservationnation.org provides additional information on the treatment of historic materials: **Saving Windows, Saving Money.**



Operable double-hung windows enhance the energy efficiency of a building.

6. Enhance the energy efficiency of historic windows and doors.

- a. Make the best use of historic windows; keep them in good repair and seal all the leaks.
- b. Maintain the glazing compound regularly. Remove old putty with care.
- c. Place a storm window internally to avoid a negative impact on the external appearance.
- d. Use storm windows designed to match the historic window frame if placed externally.

D. Doors

The design, materials and location of historic doors and entries help establish the significance of a historic structure and should be preserved. When a new door is needed, it should be in character with the building.

1. **Preserve a historic primary entrance.**
 - a. Preserve historic and decorative features including door frames, sills, heads, jambs, moldings, detailing, transoms and flanking sidelights.
 - b. Do not alter the historic size and shape of a historic door opening.
 - c. Do not change the historic location of a door opening on a primary facade.
 - d. Do not add a new door opening on a primary facade.
 - e. Do not enclose transoms or sidelights.
2. **Repair or replace a damaged door to maintain its general historic appearance.**
 - a. Use materials that are similar to that of the historic door.
 - b. When replacing a historic door on a primary facade, use a design that is similar to the historic one.
3. **When replacing a historic door on a non-primary facade, use a design that is in character with the building.**
 - a. Locate and design a new door and entry to preserve the historic composition of the wall.
 - b. Locate a new door in a secondary location and be consistent with the historic architectural style of the structure.
 - c. Design a new door or entry to match historic door proportions.



Design a new door or entry to match historic door proportions.



Maintain a historic primary entrance.



Preserve historic and decorative features including door frames, sills, heads, jambs, moldings, detailing, transoms and flanking sidelights.



Preserve historic doors and their openings.



Use replacement roof materials that are similar in scale, texture, finish and color to traditional roof materials.



Maintain and repair roof detailing.



Do not alter a parapet on a highly visible facade.

E. Roofs

The form, shape and materials of an original roof help define the character of a historic structure and should be preserved. Where necessary, a new roof element, such as a dormer, may be added in a secondary location if it remains subordinate and in character with the design of the original structure.

1. **Preserve the original roof line and shape on a historic structure.**
 - a. Maintain the perceived line and orientation of the roof as seen from the street.
 - b. Avoid altering the angle of a historic roof.
 - c. Maintain the perceived roof line of flat-roofed buildings.
2. **Maintain and repair original roof materials.**
 - a. Retain and repair roof detailing, including gutters and downspouts.
 - b. Avoid removing historic roofing material that is in good condition or that can be repaired.
3. **Use replacement roof materials that are similar in scale, texture, finish and color to traditional roof materials.**
 - a. Replacing with the same material is preferred.
 - b. Consider the architectural style of the structure when an alternative material must be used.
 - c. Use a color similar to the original, or of the material as it would appear in weathered condition.
 - d. When an original roof material must be replaced, use a new material that is similar in scale, texture, finish and color.



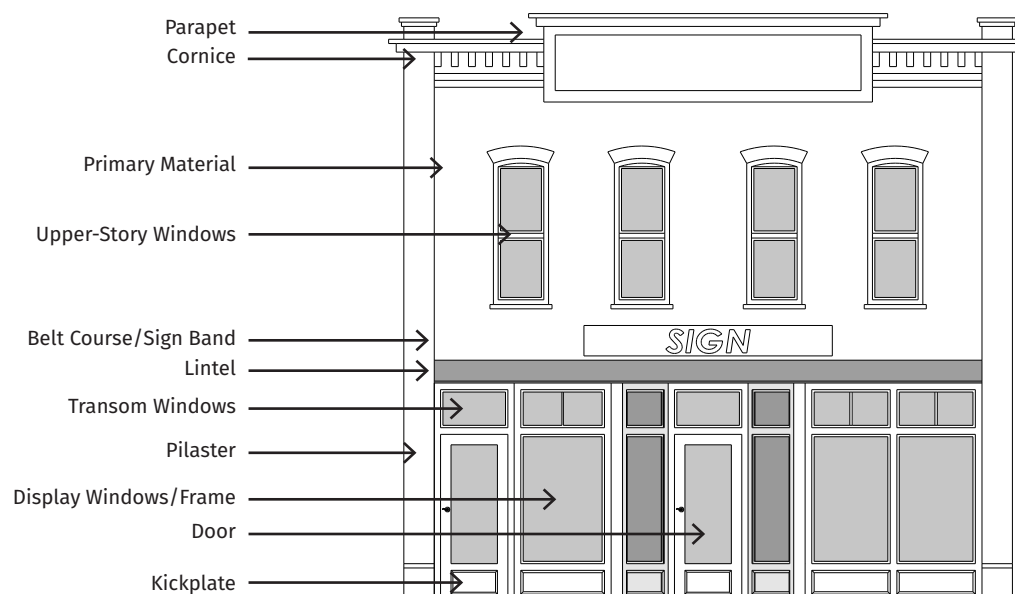
Maintain the original roof line and shape on a historic structure. The roof of the Stockyards Station building (the historic sheep and hog pen area) is a distinctive feature that should be preserved.

F. Historic Commercial Storefronts

The storefront is a key defining feature of a historic commercial building and should be preserved. It is usually framed by masonry side walls and a horizontal molding or lintel above the storefront windows. Transoms over display windows are distinctive features. A store entrance is usually recessed behind the plane of the facade and a molding or lintel separates the storefront from upper floors. These guidelines are focused on the HSH-districts where commercial storefronts are typical. Preserving significant historic storefronts and reconstructing altered or missing storefront features is a key goal. Researching archival materials such as historic photos and building plans can be helpful in understanding the role of the storefront and its relationship to the street.

1. Preserve these character-defining features of a commercial facade:

- a. **Parapet:** The portion of the building wall that extends above a flat roof surface.
- b. **Cornice:** A decorative band at the top of the building.
- c. **Primary Material:** Includes brick, stucco and wood, for example.
- d. **Upper-Story Windows:** Windows located above the street level often have a vertical orientation.
- e. **Sign Band:** A flat band running above the transoms to allow for the placement of signs.
- f. **Lintel:** A horizontal structural member that supports a load over an opening; usually made of wood, stone or steel; may be exposed or obscured by wall covering
- g. **Transom:** The upper portion of the display window, separated by a frame.
- h. **Pilaster:** A rectangular column attached to a wall; quite frequently decoratively treated so as to repeat a classical column with a base, shaft and capital.
- i. **Display Windows:** The main portion of glass on the storefront, where goods and services are displayed.
- j. **Door:** Usually set back from the sidewalk in a protected recess.
- k. **Kickplate:** Found beneath the display window.
- l. **Awning/Canopy:** A sheltering attachment to the facade (not shown).



Preserve these character-defining features of a commercial facade.

HISTORIC STOREFRONT REHABILITATION



Before: Wood paneling obscures historic storefronts.



After: Original storefronts revealed.



Before: Original materials obscured.



After: Historic storefront elements are exposed, following removal of non-historic stucco and other material.

2. Preserve a historic commercial storefront.
 - a. Preserve the storefront glass if it is intact.
 - b. Repair historic storefront elements by patching, splicing, consolidating or otherwise reinforcing the historic materials.
 - c. Do not alter the size and shape of a historic storefront opening.
 - d. Do not use reflective, opaque or tinted glass.
3. If a storefront is altered, restoring it to the original design is preferred.
 - a. Remove more recent coverings that obscure original features.
 - b. If evidence of the original design is missing, use a simplified interpretation of similar storefronts in a rehabilitation approach.
 - c. The new design should convey the character of a typical storefront, including the transparency of display windows.
 - d. Historic photographs of commercial buildings in the Stockyards area are available and should be used when determining the original character of a storefront design.
4. Reconstruct a missing storefront feature to match the historic design.
 - a. Use traditional materials such as masonry and wood.
 - b. If using historic material is not possible, use a compatible substitute that is similar in scale, finish and character to the historic material, and that has proven durability in the local climate.
 - c. Reference historical documentation to guide the design of a replacement feature; or design a simplified version of a similar element seen on nearby historic properties, if no documentation is available.
 - d. Expose historic storefront elements that have been covered by modern siding or other materials.

HISTORIC STOREFRONT REHABILITATION



Before: moderately altered historic building



After: rehabilitation of historic building with reconstructed cornice, new windows and simplified interpretation of historic storefronts.

5. A simplified or contemporary interpretation of a traditional storefront may be considered where the historic storefront is missing and no evidence of it exists.
 - a. A new design that uses traditional features of a storefront is appropriate.
 - b. The new design should continue to convey the design character and materials of typical commercial storefronts. This includes the transparent character of the display windows.

6. Preserve the original shape of the transom glass in a historic storefront.
 - a. Transoms, the upper glass band of traditional storefronts, introduced light into the depths of the building, saving on light costs. These bands should not be removed or enclosed.
 - b. The shape of the transom is important to the proportion of the storefront, and it should be preserved in its historic configuration.
 - c. If the original glass is missing, installing new glass is preferred. However, if the transom must be blocked out, be certain to retain the original proportions and framing divisions. One option might be to use it as a sign panel or decorative band.

7. Preserve an original kickplate.
 - a. The kickplate, located below the display window, adds interesting detail to the streetscape and should be preserved.
 - b. If the original kickplate is covered with another material, consider exposing the original design.



A simplified or contemporary interpretation of a traditional storefront may be considered where the historic storefront is missing and no evidence of it exists.



A compatible interpretation of a traditional storefront is appropriate where the original is missing.



If the original transom glass is missing, installing new glass is preferred. If a transom must be blocked out, be certain to retain the original proportions and framing divisions.



Preserve an original kickplate.

8. If the original kickplate is missing, develop a sympathetic replacement design.
 - a. Wood is an appropriate material for replacements on most styles. However, non-original materials may also be considered when appropriately used with the building style.
9. Preserve the character of a historic cornice or parapet.
 - a. Most historic commercial buildings have cornices to cap their facades. Their repetition along the street contributes to the visual continuity of the district.
 - b. Reconstruct a missing cornice when historic evidence is available.
 - i. Use historic photographs to determine design details of the original cornice.
 - ii. A replacement should match the original in overall size and profile.
 - iii. The substitution of another old cornice for the original may be considered, provided the substitute is similar to the original.
10. Do not alter a parapet or cornice on a highly visible facade.
 - a. Inspect parapets on a regular basis. They are exposed to the weather more than other parts of the building, so watch for deterioration such as missing mortar or excessive moisture retention.
 - b. Avoid waterproofing treatments which can interfere with the parapet's natural ability to dry out quickly when it gets wet.
 - c. Adding coping to a parapet in order to protect masonry is appropriate.
11. Design a simplified interpretation of a historic cornice if evidence of the original is missing.
 - a. Appropriate materials include brick, stamped metal, wood and some durable synthetics.
 - b. Simple sheet metal is inappropriate.

G. Awnings, Canopies and Galleries

Awnings, canopies and galleries shelter walkways and shade windows. They are important features of many historic buildings. Awnings are typically made of fabric whereas canopies and galleries are rigid frames, usually composed of wood and metal. Traditionally, awnings, canopies and galleries were noteworthy features of many buildings and their continued use is encouraged. They are typically simple in detail, color and design. Operable awnings also help regulate internal climatic conditions.

In the early years, galleries were used on the original wood frame buildings. They had sloping shed roofs, which were supported on milled, finished wood posts. As masonry buildings were erected, flat, horizontal canopies were installed. These usually were supported by metal rods or chains from each building face, but galleries continued to have posts, either of finished wood or even metal. Fabric awnings also were used. These were tailored to fit the openings they were intended to shelter. A traditional, square shop front window had a square fabric awning, while an arched opening had a curving fabric form. This tradition of fitting the shape of an awning to fit the character of the building and its opening should be continued with any new designs. Note that some wood canopies and galleries that exist today have “rustic” unfinished characteristics that are not historically accurate.



SEE SEC. 5.1.4 FOR AWNING, CANOPY AND GALLERY STANDARDS

1. **Preserve a historic awning, canopy or gallery where it exists.**
 - a. Repair, rather than replace, an awning, canopy or gallery when feasible.
2. **Reconstruct a missing awning, canopy or gallery based on evidence of its existence.**
 - a. Consider removing a more recently installed canopy or gallery that does not have historic significance and that is out of character with the period of historic significance. For example, a “rustic” wood canopy or gallery is not historically significant.
3. **Design a new canopy or gallery to be in character with the building and the Historic District.**
 - a. A flat canopy or gallery form is appropriate. A shallow sloped form may be used where historic documentation substantiates that it once existed.
 - b. A canopy or gallery should have a metal roof structure.



Use a simple flat-topped gallery if the opening is square.



Appropriate canopy supporting mechanisms are wall mounted brackets, cable suspended columns or chains consistent with the style of the building.



Preserve a historic gallery where it exists.



Do not install curved form awnings on a rectangular opening or use colors that are not compatible with the structure.



A “rustic” wood canopy is not historically significant.

- c. Mount a canopy or gallery to accentuate character-defining features of the building, such as the line of transom windows above street level display windows. Avoid covering or obscuring significant architectural features.
- d. Appropriate supporting mechanisms are wall mounted brackets, chains or columns consistent with the style of the building.
- e. Internal illumination of an awning is inappropriate.
- f. Materials should have finished, painted surfaces. Rustic materials, such as peeled log posts and split shake shingles are not authentic to the historic period of significance and should not be used.
- g. Shielded lights may be installed on the underside of a canopy.

4. Design a new awning to be in character with the building and the Historic District.

- a. Mount an awning to accentuate character-defining features of the building.
- b. Design an awning to be in proportion (opening, width, height) to the building.
- c. Fit the shape of the awning to the opening. Simple shed shapes are appropriate for rectangular openings. Odd shapes, bull nose and bubble awnings are inappropriate for traditional storefronts. Arched awnings are appropriate on arched openings.
- d. Internal illumination of an awning is inappropriate.
- e. Avoid covering or obscuring significant architectural features.
- f. Use a fabric with a matte finish. A glossy or reflective material is inappropriate.

Historic Canopy Rehabilitation



Before: moderately altered historic canopy.



After: rehabilitation includes a reconstructed historic storefront, a historically accurate canopy and exposed original materials.

H. Color

Choosing the right combination of colors for a historic rehabilitation project can unify building elements with the facade and highlight important architectural detailing. Paint color selection should be appropriate to the architectural style and complement the building and its surroundings. Using the historic color scheme is an option, but new schemes that are compatible are also permitted.

1. Retain historic colors.

- a. Retain the historic or early color and texture of masonry surfaces.
- b. Retain historic coatings such as paint that help protect exterior materials from moisture and ultraviolet light.
- c. Do not strip paint or other coatings to reveal bare wood.
- d. Do not paint unpainted masonry and architectural metals.
- e. Do not use destructive paint removal methods such as propane or butane torches, sandblasting or water blasting which can irreversibly damage historic materials.

2. Use a color scheme that is compatible with the historic character of the structure.

- a. Restore historic paint colors and finishes to the extent feasible to highlight the structure's historic appearance.
- b. Repaint with colors that are appropriate to the period of historic significance of the building and the district. Color selection should be based on historic paint analysis of the historic layers of paint or appropriate historic research.
- c. Use color schemes that are simple in character. (Generally one to three accent colors for trim elements on commercial buildings. Mission buildings typically only had one color accent).
- d. Seek professional advice and properly prepare surfaces before painting.

The City does not regulate color; however, a change in “character” that arises from a change in color can be regulated. For example, a color scheme that obscures key character-defining features may be subject to review.



Retain historic coatings such as paint that help protect exterior materials from moisture and ultraviolet light.



Use a color scheme that is compatible with the historic character of the structure.



Preserve an older addition that has achieved historic significance in its own right.

I. Existing Additions

Some existing additions may have become historically significant in their own right. Unless the building is being accurately restored to an earlier period of significance, additions that have taken on significance may merit preservation. However, more recent additions may detract from the character of the building and could be considered for removal.

1. **Preserve an older addition that has achieved historic significance in its own right.**
 - a. Respect character-defining building components of a historically-significant addition.
 - b. Do not demolish a historically-significant addition on a key landmark structure, unless restoration to an earlier period is planned, or a new, compatible alteration would be appropriate.
2. **Consider removing an addition that is not historically significant.**
 - a. Ensure that the historic fabric of the primary structure is not damaged when removing these features.

J. New Additions

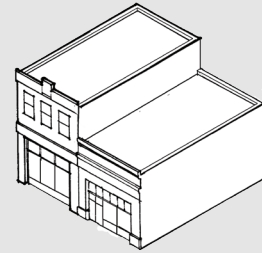
A new addition that is compatible with the historic building and its surrounding historic context may be permitted when it remains visually subordinate and minimizes loss of historic building material. It is important to consider its design and placement, as well as its relationship to the surrounding historic context. A rooftop addition is more likely to be compatible on a traditional commercial storefront building, such as those found along West Exchange and Main Street. Some other building types could accommodate a rooftop addition when the historic roof form would not be affected and the appearance would be minimized.

1. **Design an addition to be compatible with the historic structure.**
 - a. Do not use replicas of historic building components and details that would convey a false history or that would draw undue attention to the addition.
 - b. Use materials that are of a similar color, texture and scale to materials in the surrounding historic context.
 - c. Design an addition to be compatible with the scale, massing and rhythm of the surrounding historic context.
 - d. Incorporate windows, doors and other openings at a consistent solid-to-void ratio to those found on adjacent and nearby historic buildings.
 - e. Use simplified versions of building components and details found in the surrounding historic context such that the new addition does not visually overwhelm the original. These may include: a cornice; a distinctive storefront or main door surround; window sills or other features.

2. **Design an addition to be subordinate to the historic building.**
 - a. Place an addition to the side or the rear of the historic structure.
 - b. Do not locate an addition where it would negatively affect key character-defining features.

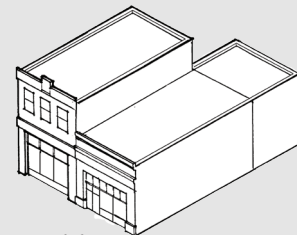
3. **Differentiate an addition from the historic structure.**
 - a. Use changes in material, color and/or wall plane.
 - b. Distinguish the addition as new, albeit in a subtle way.
 - c. Use a simplified or contemporary interpretation of building components such as windows, doors, railings, cornices.

Locating an Addition to a Historic Commercial Building:



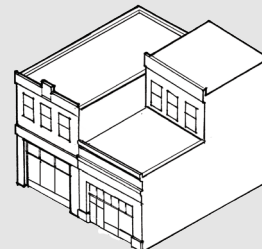
Historic Structures

The one and two-story commercial buildings illustrated above are historic.



Rear Addition

The rear addition illustrated above is appropriate.



Rooftop Addition

The rooftop addition illustrated above is appropriate because it is set back from the front facade.



Design an addition to be subordinate to the historic building.



Design an addition to be subordinate to the historic building.

4. Minimize damage to historic fabric when designing an addition.
 - a. Do not damage or obscure significant architectural features of the historic building.



This three-story roof addition and side addition overwhelms the historic building due to its disproportion in mass and scale.

Special Opportunities for New Additions



Some special opportunities may exist where a contemporary addition may be “inserted” into a shell of a historic structure.



An addition, located along a secondary wall retains the ability to perceive the historic character of the building.

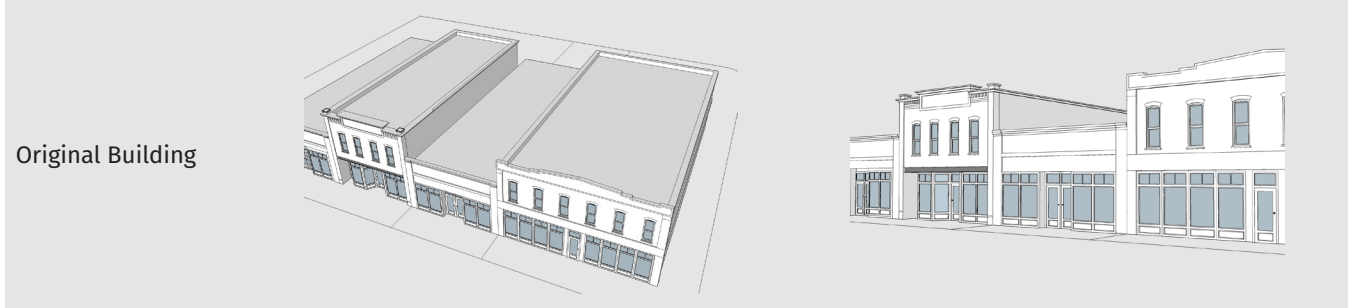
K. Rooftop Additions

A primary objective in designing a new addition is to assure that it will be visually subordinate to the historic building, such that the character of the original may still be seen. This means that the addition should be simple in its design, such that it does not draw attention away from the historic structure.

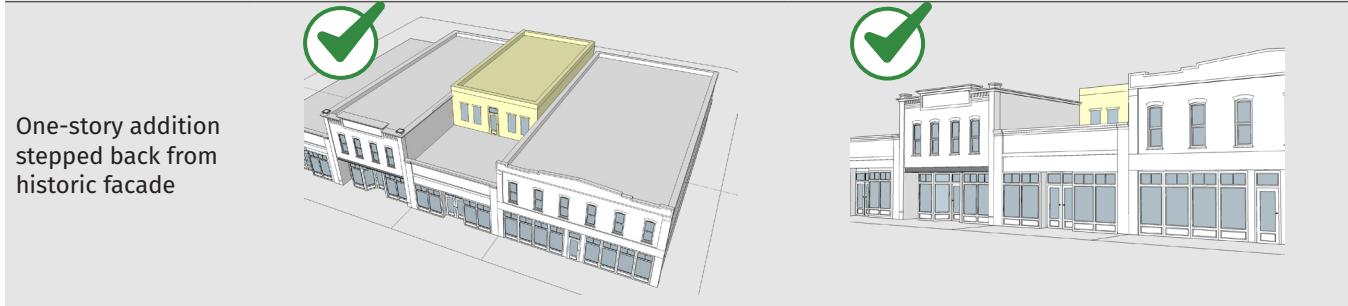
An addition also should be positioned such that the historic scale and proportions of the original can be seen. Keeping the height of the addition lower than the height of the historic building is important. Setting it back, away from historically significant walls, such that the original height is clearly seen is also important.

How an addition will be perceived by a pedestrian on the street will influence the distance it should be set back. While this will be considered on a case-by-case basis, a general rule of thumb is that a rooftop addition should be set back from the facade at a distance that is greater than the height of the historic wall.

Setback of a Rooftop Addition on a mid-block site



Original Building



One-story addition stepped back from historic facade

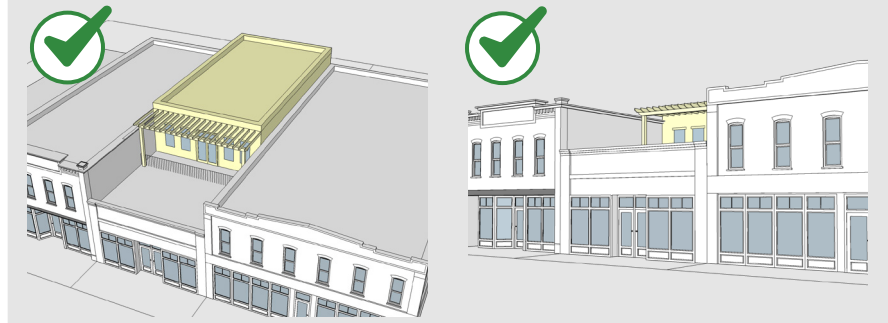
In general, a rooftop addition on a historic building should be set back from the primary facade to be subordinate to the original structure. The addition should be visually minimized from the street level perspective, and should be oriented in the same direction as the original building and adjacent buildings.

Corner Lot



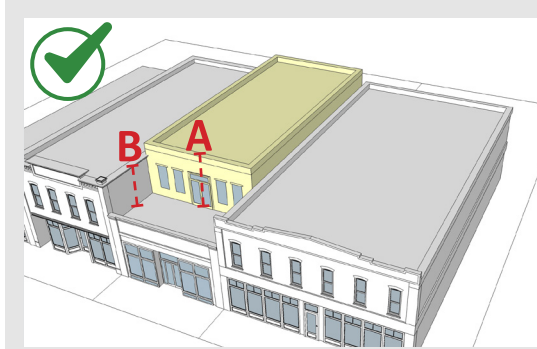
The addition is set back from both the front and side walls.

Setbacks of Rooftop Shelters

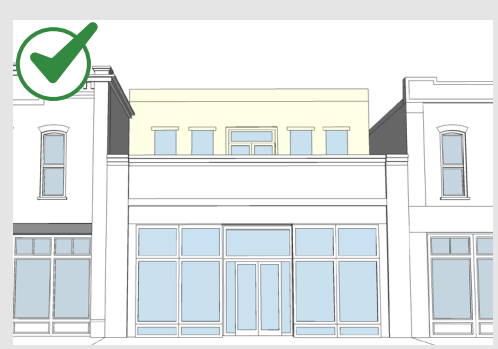


A rooftop shelter, such as this pergola, should be set back from the historic facade, such that its visual appearance is minimized and the character of the historic building can continue to be the dominant feature.

Setbacks of Vertical Rooftop Additions

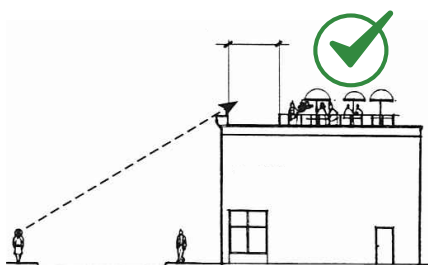


A = Height of addition
B = Height of historic facade, at a minimum





This rooftop deck is set too close to the edge of the historic building wall and impedes one's ability to interpret the historic scale and character of the original structure.



Rooftop gardens, furnishings and enclosure apparatus should be setback significantly from the front facade in the same way as a rooftop addition.

1. Design a rooftop addition to be compatible with the historic building.
 - a. A compatible rooftop addition should be:
 - i. Set back from the primary, character-defining facade to preserve the perception of the historic scale of the building.
 - ii. Modest in character, so it will not detract from the historic facade.
 - iii. Set back from a secondary facade in case of a corner property.

L. Rooftop Decks and Gardens

A rooftop deck or garden can expand outdoor use opportunities on the roof of a building when such a feature is set back sufficiently to maintain the character of the historic facade. This is mainly anticipated to apply in an HSH- district; additions in an HCO- district will be considered much more carefully. In each case, the ability to perceive the historic character should be preserved.

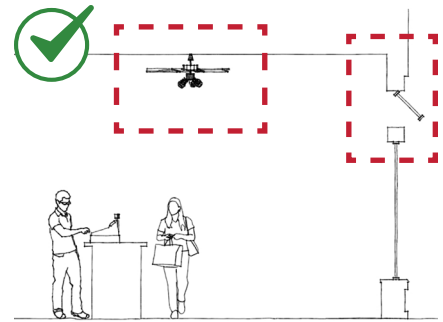
1. Locate a rooftop deck or garden to minimize visual impacts on the historic building.
 - a. Rooftop furnishings, gardens and enclosure apparatus should be setback significantly from the front facade in the same way as a rooftop addition.
 - b. A projecting or overhanging deck is inappropriate on the front of a building. It may be allowed on the rear of the building if it does not negatively impact neighboring historic resources.
 - c. A rooftop shelter (such as a pergola, awning, canopy) should be set back from the primary facade in the same way as a rooftop addition.
 - d. A rooftop shelter on a building located at a corner should be set back from both primary and secondary facades in the same way as a rooftop addition.

M. Energy Efficiency

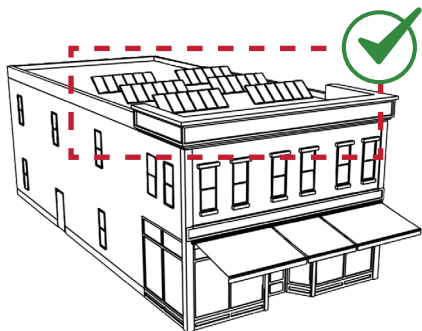
Keeping older buildings in use avoids environmental impacts associated with new construction. Maintaining and improving energy efficiency and providing options for energy generation further promotes the sustainability of historic buildings.

1. **Preserve the inherent energy efficient features of the original building in operable condition.**
 - a. Identify a building’s inherent sustainable features and operating systems and maintain them in good condition.
 - b. Repair or restore covered, damaged or missing features where appropriate.
 - c. Retain and repair original roof material.
 - d. Retain original, awnings, canopies and transoms.

2. **Install compatible energy-efficiency improvements that enhance the energy saving features of the original structure.**
 - a. Use cost-effective weather-stripping, insulation and storm windows to improve energy efficiency while remaining historically sensitive.
 - b. Install weatherization strategies in a way that avoids altering or damaging significant materials and their finishes.
 - c. Use materials which are environmentally friendly and that will not interact negatively with historic building materials and their finishes.
 - d. Make best use of original windows; keep them in good repair and seal all leaks.
 - e. Use operable systems such as storm windows (see pg. 42), insulated coverings, curtains and awnings to enhance performance of original windows.



Preserve the inherent energy efficient features of the original building in operable condition.



Place a solar array to avoid obscuring significant features or adversely affecting the perception of the overall character of the property.



Design the scale and location of a wind turbine to remain subordinate to the historic structure.

3. **Locate an energy generating device to minimize impacts to the historic character of the resource.**
 - a. Locate technology where it will not damage, obscure or cause removal of significant features or materials.
 - b. Maintain the historic character of the building.
 - c. Locate devices where they are not visible on the front facade. If they are located on the roof, set them back significantly so they are not visible from the street.

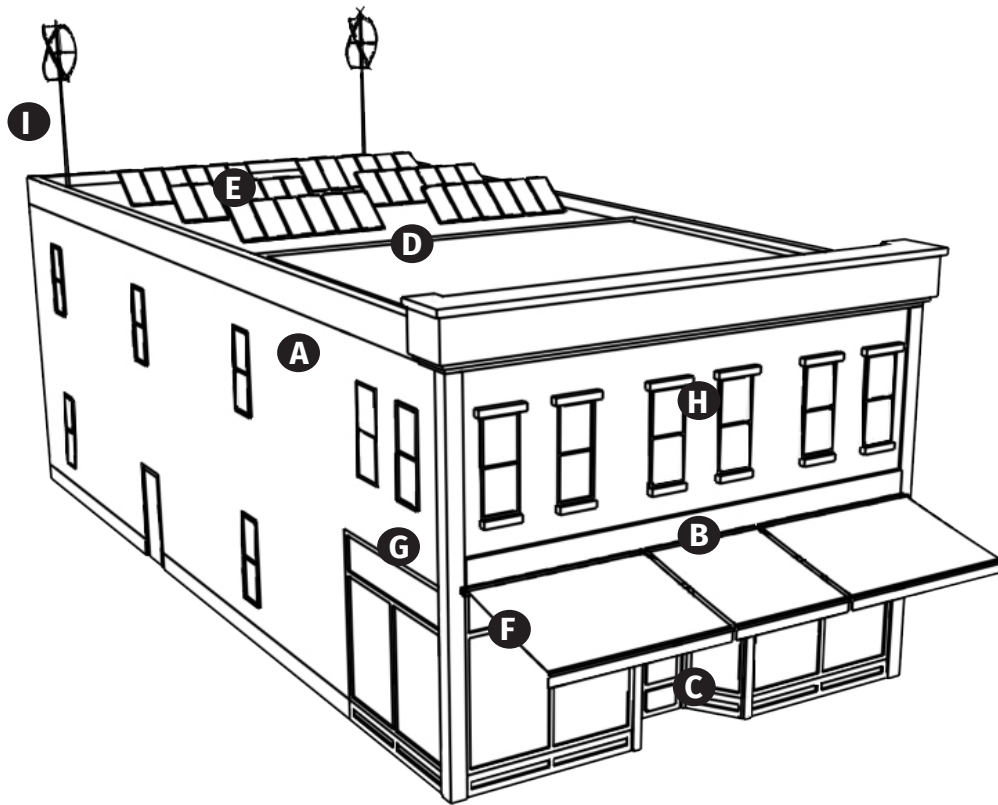
4. **Install new technology in a reversible manner.**
 - a. Install energy generating devices in such a way that they can be readily removed and the original character can be easily restored.
 - b. Use materials which are environmentally friendly and that will not interact negatively with historic building materials.

5. **Minimize adverse effects of a solar array or wind turbine on the character of a historic building.**
 - a. Place the equipment to avoid obscuring significant features or adversely affecting the perception of the overall character of the property.
 - b. Size the equipment to remain subordinate to the historic structure.
 - c. Minimize visual impacts by locating the equipment back from the front facade.
 - d. Consider installing the equipment on an addition or secondary structure where applicable.
 - e. Exposed hardware, frames and piping should have a matte finish, and be consistent with the color scheme of the primary structure.

6. **Use the least invasive method feasible to attach a solar array or wind turbine to a historic roof.**
 - a. Avoid damage to significant features.
 - b. This equipment should not threaten the structural integrity of the building.

HISTORIC COMMERCIAL STOREFRONT BUILDING ENERGY-EFFICIENCY DIAGRAM

This diagram illustrates a general strategy for energy conservation on a historic commercial building. These measures can enhance energy efficiency while retaining the integrity of the historic structure.



- | | | |
|--|---|--|
| <p>A Attic
 · Insulate internally</p> | <p>D Roof Material
 · Retain & repair</p> | <p>G Transom/Clerestory Windows
 · Retain operable clerestory window to circulate air</p> |
| <p>B Awnings
 · Use operable awnings to control solar access and heat gain</p> | <p>E Solar Panels
 · Set back from primary facade to minimize visibility from street</p> | <p>H Windows
 · Maintain original windows
 · Weather-strip and caulk
 · Add storm windows (preferably interior)</p> |
| <p>C Doors
 · Maintain original doors
 · Weather-strip
 · Consider interior air lock area</p> | <p>F Display Windows
 · Maintain original windows
 · Weather-strip</p> | <p>I Wind Turbines
 · Set back from primary facade to minimize visibility from street</p> |

ENERGY EFFICIENCY STRATEGY

Follow the basic steps below when considering a rehabilitation project for energy efficiency.

Step 1: Establish Project Goals

Develop an overall strategy and project goals to maximize the effectiveness of a project. Developing clear project goals will establish a broad view that can help place individual actions into context. These should focus on minimizing use of resources and energy, minimizing negative environmental impacts, and retaining the historic integrity of a property. Strategies should maximize the inherent value of the historic resource prior to considering alterations or energy generation technology.

To inform a project strategy, consider conducting an energy audit. Energy audits can give a comprehensive view of how energy is currently used, in the daily and seasonal cycles of use, and can also provide perspective on the payback of investment for potential work on the building. For example, an energy audit, when examined based on an overall strategy, may demonstrate that priorities should be on increasing insulation in walls, ceilings and foundations, rather than replacing windows.

Step 2: Maintain Building Components in Sound Condition

Maintaining existing building fabric reduces negative environmental impacts. Re-using a building preserves the energy and resources invested in its construction, and removes the need for producing new construction materials.

Step 3: Maximize Inherent Sustainable Qualities

Typically, historic buildings were built with resource and energy efficiency in mind. Construction methods focused on durability and maintenance, resulting in individual building features that can be repaired if damaged, thus minimizing the use of materials throughout the building's life cycle. Buildings were also constructed to respond to local climate conditions, integrating passive and active strategies for year-round interior climate control, which increase energy efficiency. Passive strategies typically include building orientation and features such as roof overhangs and windows to provide both natural daylighting as well as management of solar heat gain. Active strategies typically include operable building features such as awnings and double-hung/clerestory and transom windows. Identify a building's inherent sustainable features and operating systems and maintain them in good operating condition. In some cases, these features may be covered, damaged or missing; repair or restore them where necessary.

Step 4: Enhance Building Performance

A historic building's inherent energy efficiency can be augmented using techniques which improve efficiency without negatively impacting historic building elements. Non-invasive strategies such as increased insulation, weatherization improvements and landscaping should be considered.

Step 5: Add Energy-Generating Technologies Sensitive

The flexibility of many historic structures allows for the respectful integration of energy efficiency technologies. Energy-generating technologies are the most commonly known strategies. However, the efficiency of a historic structure will often be great enough that generation technologies are not the most practical solutions. Utilize strategies to reduce energy consumption prior to undertaking an energy generation project. When integrating modern energy technology into a historic structure, maintain the resource's historic integrity and the ability to interpret its historic significance. As new technologies are tried and tested it is important that they be installed in a reversible manner such that they leave no permanent negative impacts to a historic structure.

N. Accessibility

Where it applies, an owner of historic properties should comply, to the fullest extent possible, with Americans with Disabilities Act (ADA) provisions and Texas Accessibility Standards (TAS), while also preserving the integrity of the key character-defining features of the building.

1. **Preserve the integrity and character-defining features of a historic building when integrating accessibility solutions.**
 - a. Identify the historic building’s character-defining spaces, features and finishes so that accessibility code-required work will not result in their damage or loss.
 - b. Alterations to historic properties that are designed to improve access for persons with mobility impairments should minimize negative effects on the historic character or materials.
 - c. Provide barrier-free access that promotes independence for the disabled and others with mobility impairments to the highest degree practicable, while preserving significant historic features.



Preserve the integrity and character-defining features of a historic building when integrating accessibility solutions.

O. Rehabilitation and Changing Use

Reusing a building preserves the energy and resources invested in its construction, and removes the need for producing new construction materials, significantly reducing environmental impacts.

The best use for a historic structure is that for which it was originally designed, or at least a closely related one. A new use may be introduced if it does not adversely affect the historic integrity of the building and its site.

1. **Seek uses that are compatible with the historic character of the building.**
 - a. The use should help interpret how the building was used historically.
 - b. The use should not adversely affect the historic integrity of the building or alter character-defining features of the building.
2. **Seek uses that require minimal change to the original structure.**
 - a. When a significant change in use is necessary to keep the building in active service, those uses that require the least alteration to significant elements are preferred.
 - b. Adaptive reuse may be inappropriate if the new use would require radical alteration to the historic building’s key character-defining features. In most cases, however, designs can be developed that respect the historic integrity of the building while also accommodating new functions.



A change in use that requires alteration of key features, such as this, should be avoided.

3. Seek upper floor uses that preserve the historic integrity of the original building while maintaining it in active use.
 - a. Commercial office space is the most common upper-floor use for traditional commercial buildings.
 - b. Upper-story floors of adjacent historic buildings may be combined if the character-defining features of the building's facade are maintained.
 - c. Elevators may be added to the rear of historic buildings to provide accessibility to upper floors.
4. Activate an historic public open space through adaptive reuse.
 - a. An adaptive reuse program for a historic open space should enliven it while maintaining its historical character.
 - b. An adaptive reuse program for a historic open space should consider the following to enliven a space:
 - i. New events, music and performance opportunities
 - ii. Opportunities for educational and interpretive elements



An adaptive reuse program for a historic open space should enliven a space while maintaining its historical character.

P. Phasing/Interim Design

A rehabilitation project may be phased to accommodate market conditions or financing availability. For example, a project may begin with the removal of alterations to a historic facade, followed by complete facade rehabilitation at a later date. In such a case, it is important that the interim work not diminish the integrity of the property and that it keep future restoration options remain open.

- 1. Plan a phased rehabilitation project to allow for future compatible improvements.**
 - a. Consider removing a non-historic alteration as an initial phase.
 - b. Consider ground floor storefront improvements that may set the stage for a later restoration of the complete building facade.
 - c. In phased project, do not remove or alter character-defining features of a building in a way that would preclude later restoration.

- 2. Program a regular and thorough maintenance schedule to protect the character-defining features of a historic building.**
 - a. Plan maintenance to address the effects of seasonal weather conditions.
 - b. Pay particular attention to areas that are exposed or where water may gather.
 - c. Review the building interior for any signs of distress or failure.
 - d. Act on the first signs of any deterioration to avoid later interventions that are likely to be more costly.

A Phased Rehabilitation



The Meissner-Brown Funeral Home was built in 1937.



Once scheduled for demolition the building was not maintained and was left abandoned and dilapidated.



Phase 1 Rehabilitation: Interim improvements to the building included reopening the transom, providing a new sign and reconstructing the kickplate.



Phase 2 Rehabilitation: A later work included removing the stucco, reconstructing the cornice and installing a new storefront.

Q. Archaeological Resources

Negative impacts on archaeological resources should be avoided.

1. Leave archaeological resources in place, to the maximum extent feasible.
 - a. Avoid disturbing known archaeological resources.
 - b. If archaeological materials are discovered contact the City of Fort Worth Historic Preservation Office.

R. Signs

All historic signs should be retained. Historic signs are an important element in the Historic District that contributes to the overall character and heritage of the area. Older signs (1960's and earlier) may have taken on historic significance and may warrant preservation.



SEE DIV. 7.4 FOR SIGN STANDARDS

1. Consider history, context and design when determining whether to retain a sign.
2. A sign should be retained when:
 - a. Associated with historic figures, events or places
 - b. Significant as evidence of the history of the product, business or service advertised
 - c. A significant part of the history of the building or district
 - d. Characteristic of a specific historic period
 - e. Integral to the building's design or physical fabric
 - f. Integrated into the design of a building such that removal could harm the integrity of a historic property's design or cause significant damage to its materials
 - g. An outstanding example of the sign maker's art because of its craftsmanship, use of materials or design
 - h. A historically significant sign type
3. Leave a historic wall sign visible.
 - a. Do not paint over a historic sign.
 - b. There are times when some alterations to a historic wall sign may be permitted; these are:
 - i. If the sign is substantially deteriorated, patching and repairing is permitted.
 - ii. If the sign serves a continuing use, i.e., there are older signs that still have an active business and they need to change information such as hours of operation.



Leave a historic wall sign visible.



4. Do not over restore a historic wall sign.
 - a. Do not restore a historic wall sign to the point that all evidence of its age is lost.
 - b. Do not significantly re-paint a historic wall sign even if its appearance and form is recaptured.

5. Sign Installation on a Historic Building

When installing a new sign on a historic building, it is important to maintain the key architectural features of and minimize potential damage to the building.



SEE DIV. 7.4 FOR SIGN STANDARDS



A sign should not obscure character-defining features of a historic building.

1. Do not damage or obscure architectural details or other building features when installing a sign.
 - a. No sign or sign structure/support should be placed onto or obscure or damage any significant architectural feature of a building, including but not limited to a window or a door frame, cornice, molding, ornamental feature, or unusual or fragile material.
2. A sign should not obscure character-defining features of a historic building.
 - a. A sign should be designed to integrate with the architectural features of a building, not distract from them.
 - b. No sign should be painted onto any significant architectural feature, including but not limited to a wall, window or door frame, cornice, molding, ornamental feature, or unusual or fragile material.
 - c. No support for a sign should extend above the cornice line of a building to which the sign is attached.

SEC. 2.4.4. STANDARDS AND GUIDELINES FOR NON-CONTRIBUTING BUILDINGS AND NEW CONSTRUCTION

This section applies to new construction and to alterations of non-contributing buildings. It applies to all walls of buildings and site features that are visible from the public way.

It is important that any new construction or the alteration of non-contributing properties contribute to a consistent sense of character and respect the historic context, while also conveying the evolution of the historic district. It is not the intent that new buildings imitate older styles, but that they draw upon basic elements seen historically while doing so in ways that express their own time.

Compatibility with the historic context is a key principle for the design of new construction or to the alterations of non-contributing properties. This typically focuses on buildings on the same block, on both sides of the street, and also across an alley. In some cases, a structure that is not historic may also be found in the immediate vicinity, but this does not influence considerations of compatibility.



Design a new building to reflect its time while respecting key features of the historic context.



Use high quality design and depth of detail in building features to enhance compatibility with the historic context.



Continue the tradition of simple rectangular building forms.

A. Architectural Character

New buildings should be distinguishable from historic buildings so as not to confuse the history of the area. They should appear as products of their own time while maintaining compatibility with the historic context. Generally, in an HCO- district it is important that new construction be visually subordinate to the historic context.



SEE DIV. 5.2 FOR ARCHITECTURAL STANDARDS

1. Design a new building to complement its time while respecting key features of the historic context.
 - a. Reference traditional articulation patterns on the facade of a new building.
 - b. Use high quality design and depth of detail in building features to enhance compatibility with the historic context.
 - c. Use simple details, when appropriate, such as window moldings and door surrounds, to create interest while expressing a building of its time.

B. Building Form

Historically most buildings in the Historic District had simple rectangular forms, which typically expressed the width of the underlying lots. Larger buildings were composed of a set of these simple forms (such as the White Elephant Saloon). This tradition should be continued.



SEE SEC. 5.2.2 FOR BUILDING FORM STANDARDS

1. Continue the tradition of simple rectangular building forms.
 - a. Irregularly shaped footprints are inappropriate.
 - b. Forms should appear to be in scale with the historic buildings that survive in this area.
 - c. A curved or angular building element may be used as an accent to a primary rectilinear form.

C. Roof Form

Historically, flat roofs were used, or at least they appeared to be so because they were concealed behind parapets. Roof forms in new construction should continue this tradition. Historically, a range of roof forms were used in the HCO-40, HCO-60 and HCO-68 districts. These included hip and gable roofs. Some had barrel vault or shed forms. The stepped flat roof form of the Stockyards Station building, with its clerestories is an example of another distinctive form. Even though forms varied, many of them were screened by parapets and thus the overall sense of the range of roof forms is more limited. The roof of the Coliseum and the Stock Exchange are the distinctive accents in this district, and they should continue to be so. Therefore, roof forms on new construction should remain simple in character.



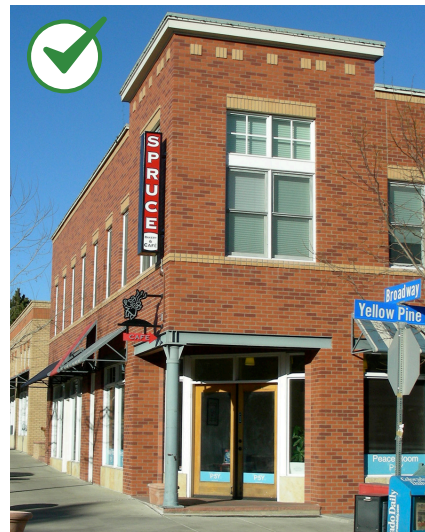
SEE SEC. 5.2.1 FOR ROOF FORM STANDARDS

1. Use simple roof forms.

- a. A flat roof should be the predominant form.
- b. Shed, gable or hip forms may be used for secondary building elements.
- c. In HCO-55, gable and hip roof forms are appropriate primary forms in the Armour/Swift sites.



A flat roof should be the predominant form.



A flat roof should be the predominant form.



Provide articulation in building walls that are perceived from streets, walkways, open spaces and other public ways that reflect historic precedents in the district.

D. Building Massing

While building forms were simple, some variation in massing existed, usually by a change in parapet height, and expression of vertical elements and other articulation methods. This variation in massing helped to establish a sense of a lower scale in this area and should be continued.

Generally, in HCO-55, a central mass may have been framed by subordinate building “modules.” This variation in massing is still apparent on the Armour Laboratory building. This helped to establish a sense of a lower scale in this area. This tradition should be continued.

1. **Provide variation in massing to express the scale of historic development.**
 - a. Use a variation in building height and other articulation methods.
 - b. Use variation that is sufficient in change of massing to express traditional lot widths.
 - c. In HCO-40, HCO-60 and HCO-68, keep forms relatively simple, with a central mass. Other smaller masses should appear to be attached. Stepped forms are also appropriate.
2. **Design the facade height to appear to be within the range seen historically in the area.**
 - a. Design the facade to complement the traditional proportions of height to width.
 - b. Clearly differentiate the ground floor, middle floors and roof form.



Provide variation in massing to express the scale of historic development.

E. Articulation

Historically, buildings in this area had a high degree of “articulation” along a block face, as seen from the street. This included changes in wall heights and variations in window patterns between adjacent buildings and throughout the building street wall. This tradition should be continued.

1. **Provide articulation in building walls that are perceived from streets, walkways, open spaces and other public ways that complement historic precedents in the district.**
 - a. The dimensions of various articulation devices must be substantial enough to appear authentic and to genuinely contribute to a sense of variation in massing and add visual interest.
 - b. In comparison with the other parts of the Historic District, the HCO-40 District had a “moderate” degree of articulation in building designs. This tradition should be continued.
2. **Provide a first floor height similar to historic buildings that incorporates the traditional height of a base, middle and cap.**
3. **On upper floors, locate windows to be consistent with the historic window patterns in the district.**
 - a. Use traditional proportions of windows, individually or in groups.
 - b. Maintain the traditional placement of window headers and sills relative to cornices and belt courses.
4. **Design the ground floor of a building facade to have a sense of scale and visual interest to engage the public realm.**
 - a. Clearly define a building entry and orient it towards the street.
 - b. Use architectural details and fenestration to emphasize a primary building entry.



Use vertical and horizontal articulation design techniques to reduce the apparent scale of a larger building mass.



The percentage of window to wall should remain subordinate.



Provide design features that activate the street wall and provide visual interest.



Use materials that appear similar in scale to those used historically.

F. Building Materials

Building materials should contribute to the visual continuity of the historic district. The material should be authentic and genuine, maintaining similar scale, color, texture and finish of those used historically. Appropriate materials may vary depending on whether the material is used as a primary material or a secondary material. A primary material is one that covers the majority of the surface area of a prominent face of a building. A secondary material is also a part of a building's walls but is subordinate to the primary material. Finally other materials may appear as accents, as trim materials, on limited panels as relief or on window sills.

Historically, the palette of primary building materials was rather limited in the HSH-districts, with brick being by far the predominant material. New buildings in the area should continue to use brick as the primary building material.

Genuine stucco was used on the Coliseum and Exchange buildings, as well as on the north walls of the horse and mule barns, while the horse and mule barns themselves were of brick. The hog and sheep sheds were initially wood frame and later were replaced with concrete support structures. The pens themselves continued to be wood frame. New buildings should continue to use brick as the primary building material, in part to serve as a “bridge” between the HSH-40 and HCO-55 districts, where brick also should be the predominant material.



SEE SEC. 5.2.4 FOR PRIMARY AND SECONDARY BUILDING MATERIAL STANDARDS

1. **Use materials that appear authentic and that are proven durable in this setting.**
 - a. They should have a texture and finish similar to that used historically.
2. **Use materials that appear similar in scale to those used historically.**
 - a. For example, use brick that is similar in size to that used historically.
 - b. In HSH- districts, more variety in materials is appropriate on walls that face toward TNX- districts.

G. Transparency



SEE SEC. DIV. 2.2 FOR TRANSPARENCY STANDARDS

Transparency patterns should appear similar to those seen historically while accommodating new contemporary uses. These patterns vary by the different Form Districts.

1. **Maintain traditional transparency patterns.**
 - a. Upper floors should have a lower percentage of glass in comparison with the street level.
 - b. Windows that have a vertical orientation are preferred.
 - c. Windows should have a substantial depth of framing or be inset enough to create distinct shadow lines.
2. **Windows should align with historic patterns.**
 - a. This is particularly important in HSH- districts, where this is a distinct characteristic.



Windows should align with historic patterns.



SEC. 2.4.5. STANDARDS AND GUIDELINES FOR SITE DESIGN

This section applies to the preservation of historic landscapes and site features as well as the design and construction of new ones.

It is important that landscapes and site features contribute to a sense of continuity and that they respect the historic context. Landscapes and site features also should convey the differences in distinctly different sub-areas of the historic district.

Compatibility with the historic context is a key principle for the design of landscapes and site features. In terms of those elements within the historic district, three distinctly different settings exist, based on historic precedents:

1. HSH-40, HSH-68

This area reflects a traditional "Main Street" character with painted, ornamental metal street light poles and benches that are urban in character.

2. HCO-40, HCO-60, HCO-68

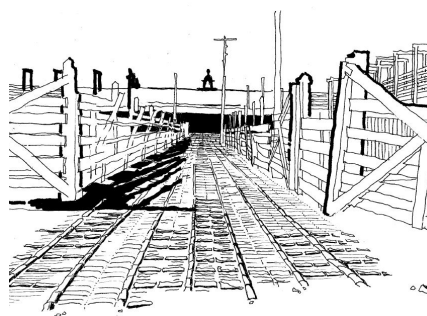
These areas reflect the "cowboy heritage" that is characterized by more rustic site furnishings. Wood framing used in site furnishings, predominantly seen in historic cattle pens and smaller sales buildings, is an example. Brick paving in livestock walkways and pens also is a part of this vocabulary of site design.

3. HCO-55

Historically, site features in this area were more "industrial" in nature, often being constructed with metal and masonry materials.



The traditional "Main Street" character of the HSH-40 District is reflected with painted, ornamental metal features.



Cattle pens are important elements of the "Central Stockyards" and serve as precedent for site designs for the HCO-40, HCO-60 and HCO-68 districts.

A. Connectivity

Connectivity and circulation patterns should complement those that existed historically. Historic circulation networks included walkways, rail lines and cattle runs. The vestiges of these networks should be preserved. New development should consider how the historic circulation routes may be framed and utilized.



SEE ARTICLE 8 FOR CONNECTIVITY AND CIRCULATION STANDARDS

1. **Retain the historic network of streets and alleys.**
 - a. Retain the network of streets and alleys as public circulation space and for maximum public access. See also the discussion of historic circulation patterns on page 0-13 in the introduction.
 - b. Link a new street to existing public rights-of-way, when feasible.
2. **Design new on-site pedestrian connections to enliven properties.**
 - a. When establishing a service lane or a walkway that is internal to a site, situate it to express the location of circulation routes that existed historically (see the discussion of historic development patterns starting on page 0-6 of the Introduction for specific locations).
 - b. When a walkway internal to a site is planned, direct it through a plaza, courtyard or other outdoor use area to help animate the space.
3. **Site a building to complement historic circulation routes and view corridors.**

B. Open Space

Surviving significant historic open spaces are essential elements in the Stockyards context and should be considered primary features for preservation. New open space designs should reinforce development patterns while providing compatible connections to the historic district.

1. **Preserve historically significant open spaces.**
 - a. Historically significant open spaces include the plaza in front of the Coliseum, the lawn in front of the Stock Exchange, Mule Alley, Rodeo Plaza and the Swift/Armour Stairs.
 - b. Other open spaces that existed historically should be restored, to the extent feasible. Opportunities to re-establish historic open space include:



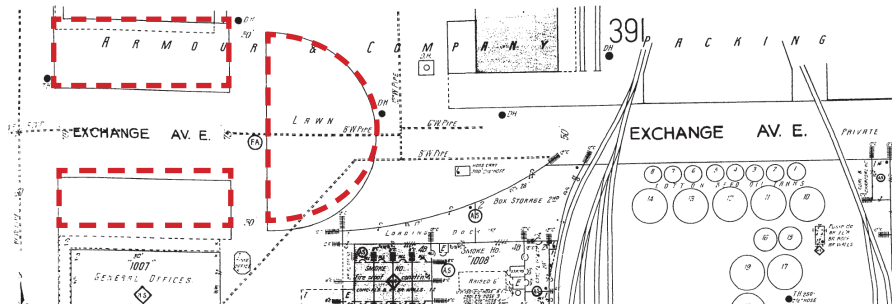
Provide internal connections for pedestrians when possible.



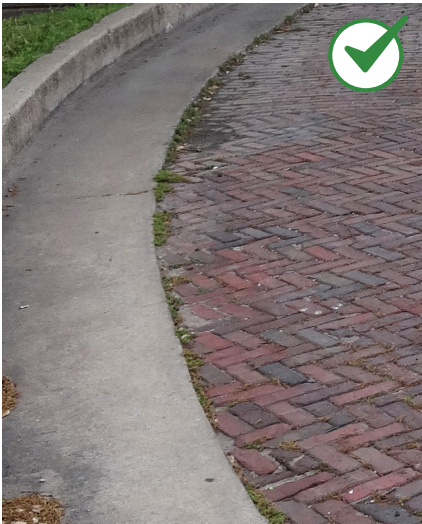
Strategically locate public spaces on a site to maintain key views or frame views as perceived from the public right-of-way.

- i. The Armour Administration Site (Item “K” on 1927 Stockyards Sanborn Map, page 0-10 of the introduction)
- ii. The semi-circular lawn that existed on East Exchange Avenue.

2. Locate a new open space to provide views of historic buildings and streetscapes.
 - a. Strategically locate open space to maintain key views or frame views as they are perceived from the public right-of-way.
 - b. Locate open space along axes of historic circulation routes.
 - c. Locate an open space to minimize visual impacts on the historic streetscape.



Opportunities to re-establish historic open space include the areas at the top of the Swift/Armour Stairs (shown here in dashed red lines, in 1927).



Incorporate historic brick paving in parking lots to maintain a reference to traditional paving designs.

C. Parking

Surface parking should be visually subordinate to other uses and compatible with nearby historic resources. Buffer areas should screen parking from the street and public walkways as well as neighboring uses.



SEE DIV. 7.2 FOR PARKING LOT LANDSCAPING STANDARDS

1. Design a surface parking lot to be compatible with nearby historic resources.
 - a. Use materials that are compatible with nearby historic buildings.
 - b. Incorporate historic brick paving to maintain a reference to traditional paving designs.
 - c. Appropriate screening methods in an HCO- district include:
 - i. A low site wall that is similar in materials and appearance to the primary structure, such as masonry.
 - ii. A fence that uses wood framing and metal gusset-style construction that references historic cattle pens.
 - iii. A landscape buffer of trees, shrubs and ground cover.

D. Sidewalks, Curbs and Gutters

Historic sidewalks, walkways, curbs and gutters are key features of the historic district, and should be maintained. If necessary, such features should be replaced in-kind or with a compatible substitute. New sidewalks and related features should be designed to be compatible with the character of the Historic District.



SEE ARTICLE 8 FOR STREET DIMENSIONAL STANDARDS

1. **Preserve historic sidewalks, curbs and gutters.**
 - a. Retain and maintain historic sidewalks, curbs and gutters to preserve the distinctive historic features of the streetscape.
 - b. Maintain a historic walkway leading from a sidewalk to a main building entry.
2. **Install compatible replacement sidewalks, curbs or gutters if necessary.**
 - a. Replace deteriorated sidewalks, curbs and gutters that are of historic significance in-kind, using physical evidence to guide the work.
 - b. Replace deteriorated sidewalks, curbs and gutters with a compatible substitute material if in-kind replacement is not feasible.
 - c. Use traditional materials such as brick and concrete.



Historic paving materials, such as brick, should be preserved and maintained.



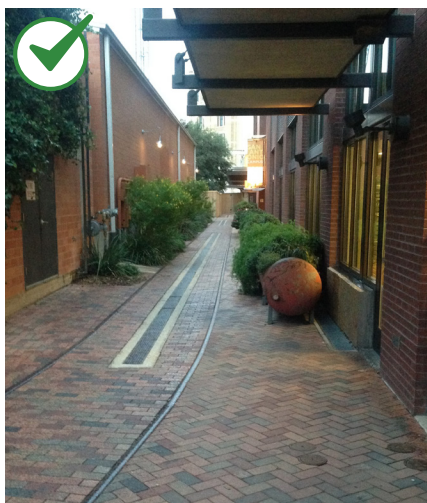
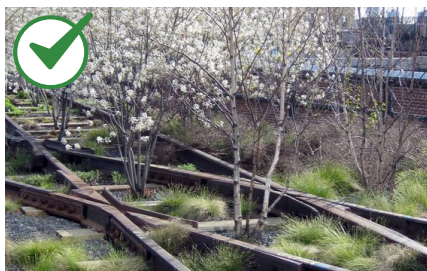
Adapt historic paving materials to new uses.



Reuse historic paving material to define outdoor use areas.



Maintain a historic walkway leading from the sidewalk to a main building entry.



Reuse historic features such as rails when possible, in plazas and courtyards.

E. Paving, Plazas and Seating Areas

Paving, plazas and seating areas play a vital role and should be thoughtfully designed while complementing historic precedent through materials, form and placement. New designs should appear of their own time while contributing to a sense of continuity for the Historic District.

1. **Design new paving, plazas and seating areas to be compatible with the historic context.**
 - a. In HSH-40 and HSH-68, use painted, ornamental features to compliment the urban character.
 - b. In HCO-40 and HCO-68, use rustic site furnishings, wood framing with heavy steel gussets and brick paving to complement the "cowboy heritage".
 - c. In HCO-55, use a primarily "industrial" character, with site features constructed with metal and masonry materials.
2. **Use decorative paving to define seating and courtyard areas.**
 - a. Reuse historic brick paving and other site features such as rails when possible. Opportunities include:
 - i. Special use areas
 - ii. Accents to other paving materials
 - iii. Framing/Edges for seating or other hardscape areas
 - b. If historic material is not available, use a new compatible material that conveys a similar color, texture and finish.

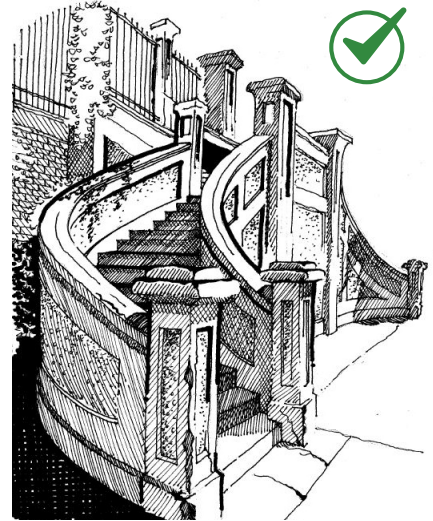
F. Streetscape and Site Furnishings

Historic site features in the public realm are located throughout the historic district. They are important elements of the setting and should be retained whenever possible. An assessment of a site should occur to identify specific historic streetscape and site furnishings. New streetscape and site furnishings should be consistent in character with the Historic District as a whole and the specific sub-district.



SEE ARTICLE 8 FOR STREETScape DIMENSIONAL STANDARDS

1. Maintain historic site features in the public realm.
 - a. Preserve existing public steps, rails and bridges, for example.
 - b. Protect features from impacts associated with construction of other public improvements.
2. Preserve historic site features. These include:
 - a. Brick pavers
 - b. Livestock ramps and bridges
 - c. Railings and fences
 - d. Entry gates and columns
 - e. Rails (train tracks)
 - f. Turnstiles
 - g. Cattle pen



Preserve existing public steps, rails, and bridges.



This turnstile is an example of a historic site feature to preserve.



This historic Fort Worth Stockyards Gateway is a site feature that should be preserved.

3. **Coordinate streetscape elements with neighboring properties along the street.**
 - a. Consider the design context when determining sidewalk improvements.
 - b. Locate furnishings near heavily used pedestrian areas, such as key pedestrian routes, building entrances and outdoor gathering places.
 - c. Design street furnishings to be durable.
 - d. Locate street furnishings so they do not impede a primary pedestrian way.
 - e. Scale street lighting for pedestrians, where applicable.
4. **Complement the historic character and materials of the historic context in the design of new streetscape elements and site furnishings.**
 - a. In HSH-40 and HSH-60, draw from traditional designs and materials for a new site element that convey a "Main Street" character, such as:
 - i. Flat canopies with chain or cable and turnbuckle supports; and
 - ii. Wood framing.
 - b. In HCO-40 and HCO-68, draw from traditional designs and materials for a new site element that convey a "cowboy" character, such as:
 - i. Flat canopies with chain or cable and turnbuckle supports;
 - ii. Wood framing with heavy metal gusset plates;
 - iii. Clerestories; and
 - iv. Brick paving patterns.
 - c. In HCO-55, draw from traditional designs and materials for a new site element that convey an "industrial" character, such as:
 - i. Exposed steel supports;
 - ii. Concrete foundations; and
 - iii. Brick paving patterns.

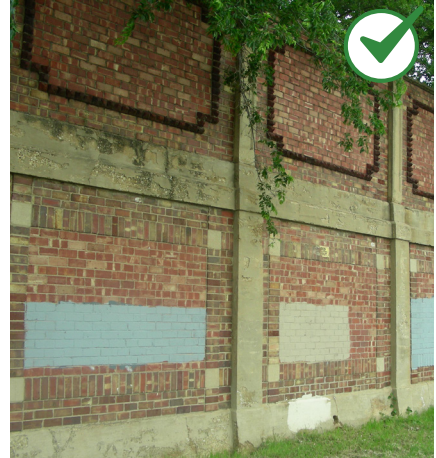
G. Fences and Site walls

Historic fences and site walls survive in some parts of the historic district. Unpainted wood is the most common historic fence material. Brick and stone are the most common historic wall materials. These are important features that should be preserved. If necessary, such features should be replaced in-kind or with a compatible substitute. New fences and site walls may also be appropriate if they are compatible with the historic property and surrounding historic context.



SEE SEC. 7.2.4 FOR WALL AND FENCE STANDARDS

1. Preserve historic fences and site walls.
 - a. Maintain historic wooden and pipe rail fences.
 - b. Maintain historic brick, stone and concrete masonry site walls.
2. Design a new fence or site wall to be compatible with the historic property and surrounding historic context.
 - a. Design a new site wall with brick or concrete.
 - b. See the “Historic Framework” for precedents starting on page 0-6 in the introduction.



Maintain historic brick, stone and concrete masonry site walls.



A painted picket fence is out of character.

Historic Fences



Preserve historic corrals and pens and consider these precedents in designing new site features.



Coordinate landscape elements with neighboring properties and any existing natural area.

H. Trees and Plantings

Specimen trees (those that are particularly impressive or unusual examples of a species due to its size, shape, age or other traits), healthy mature trees and historic plantings are important parts of the context. Appraising these features as contributors to the setting will help in determining their significance. They should be retained whenever possible. When planting new trees, native and adapted species that are commonly seen in the surrounding historic context should be selected.



SEE DIV. 7.2 FOR LANDSCAPING STANDARDS

1. **Maintain specimen trees and historic plantings.**
 - a. Preserve existing historic plantings and yards.
 - b. Do not remove specimen trees or mature trees unless the tree is dying, dead, diseased or poses a safety hazard.
 - c. Protect specimen trees and healthy mature trees from impacts associated with new construction occurring near or within the drip line.
 - d. In some cases, the plant materials themselves may not have historic significance, but their location may have historic significance.
2. **Introduce new trees and plantings that are compatible with the historic landscape and setting.**
 - a. Continue the tradition of landscape planting along structural elements such as foundations, walkways and fences or walls.
 - b. Avoid planting too close to a structure so as not to damage, or retain moisture against, architectural features or building foundations.
3. **Coordinate landscape elements with neighboring properties and any existing natural area.**
 - a. Retain existing mature landscape features that provide shade and protection from wind, and replace when necessary.
 - b. Where possible, use plant species that are native to the region.
 - c. Avoid species that require significant maintenance and care.
 - d. When adding new landscape features, consider ecological and aesthetic impacts to Marine Creek, if adjacent to the area.

ARTICLE 3. TRANSITION DISTRICT

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Div. 3.1. Description

The Transition Districts are intended to provide a transition in scale and character to non-historic areas of the Stockyards. The objective is to promote development that is compatible with the Historic District along its edge, while permitting a transition to buildings of larger scale farther away from the Historic District. Development also is intended to be influenced by the design traditions of the Historic District, in terms of form, materials and character, but in more abstract ways than within the Historic District itself.

The intent is to promote best practices in urban design, by establishing a more pedestrian and bike friendly environment and to enhance connectivity within properties and to the other parts of the stockyards area. Streets should be designed to be active and visually engaging at the sidewalk edge.

The Transition District includes the following sub-districts:*

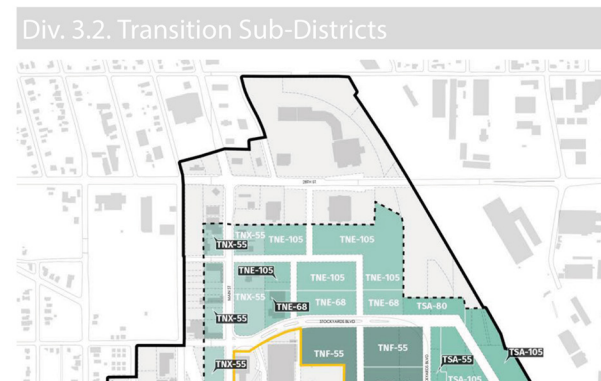
1. SY-TMC: Marine Creek-68
2. SY-TNF: North Forty-40, -55
3. SY-TNX: Neighborhood Mixed Use-55, -80
4. SY-TNE: Northern Edge-68, -105
5. SY-TSA: Swift/Armour-55, -80, -205, -130

**The number represents the maximum height allowed in feet for that sub-district.*

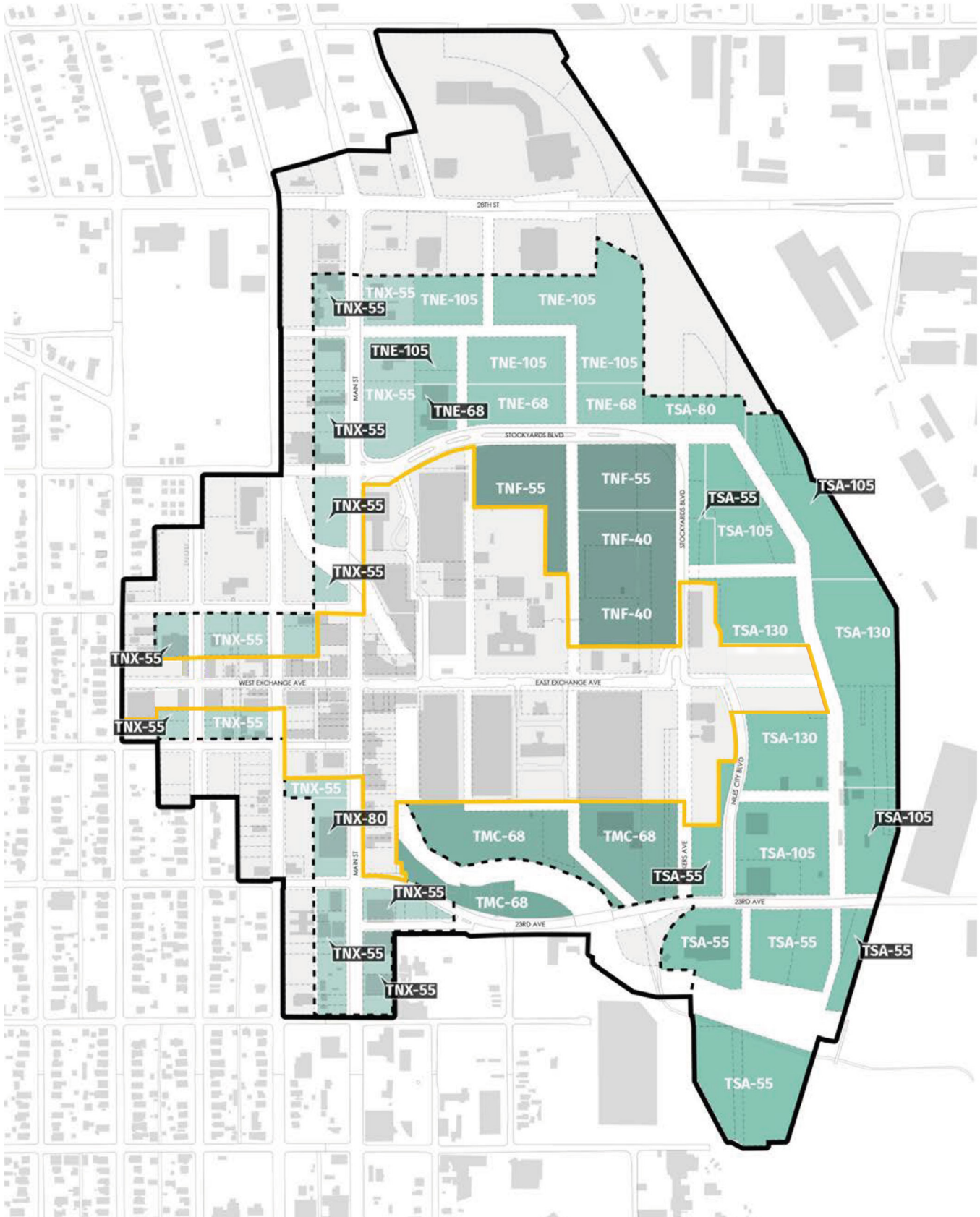
This Article includes development standards ([Div. 3.2](#) and [Div. 3.3](#)) that are mandatory and apply to all properties throughout the Transition District.

This Article also includes design guidelines ([Div. 3.4](#)). The design guidelines are intended to work in concert with the development standards to promote compatible development adjacent to the Historic District as well as high quality development and best practices in urban design. They are provided as advisory information, except where a project seeks a major modification from the Urban Design Commission, in which case compliance is required.

Transition Sub-Districts | TRANSITION DISTRICT



Div. 3.2. Transition Sub-Districts



SEC. 3.2.1. MARINE CREEK (SY-TMC)



Intent

The Transition Marine Creek (SY-TMC) District is intended to accommodate development that orients to and enhances the experience along the Creek and that is sensitive to the edge of the Historic District. This includes the potential to improve connections from the Stockyards to Downtown along the Trinity Trail. An objective, therefore, is to promote development that will enhance and orient to Saunders Park and celebrate the waterfront.

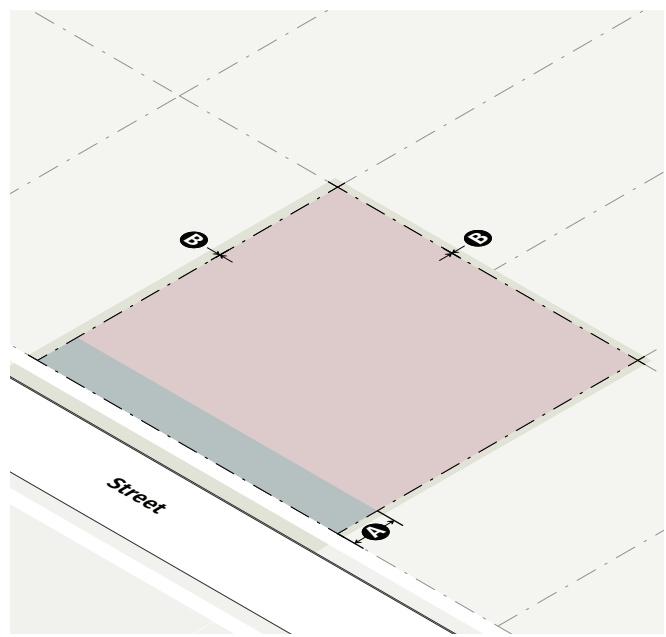
Applicable Districts

SY-TMC-68

Use

Allowed uses see [Div. 6.1](#)

A. BUILDING PLACEMENT



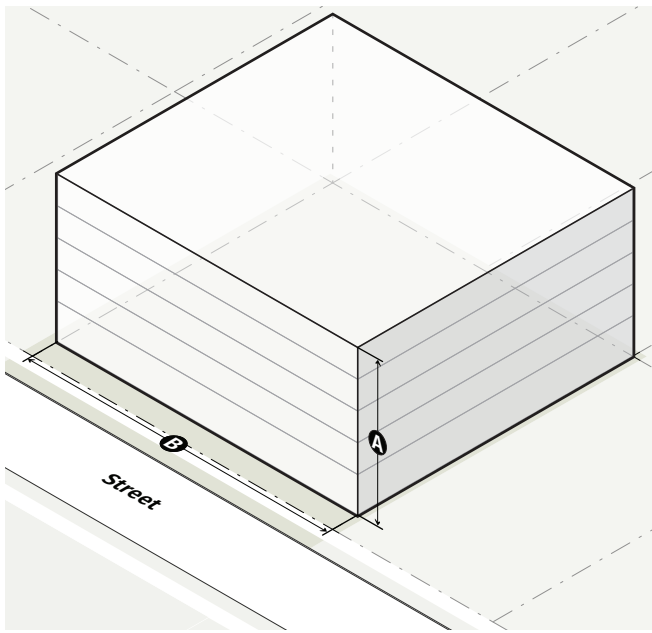
Lot

Area	n/a
Width	n/a

Building Setbacks

A Front	see Frontage
B Common lot line	0' min
Alley	5' min

B. BULK AND MASS



Building Height

A Maximum height	68' max
Minimum height	n/a

Roof Form see [Sec. 5.2.1](#)

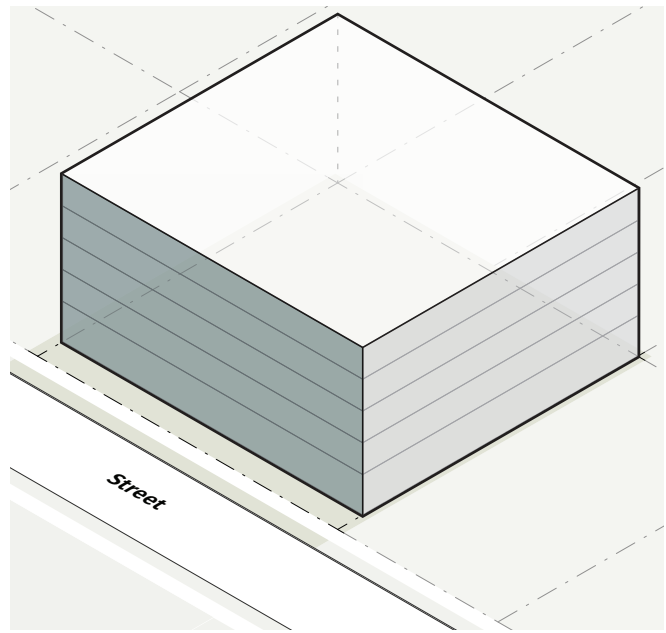
Flat	Allowed
Traditional parapet	Allowed
Barrel vault	Not allowed
Gable: medium pitch	Allowed
Gable: steep pitch	Not allowed
Hipped	Allowed

Building Form see [Sec. 5.2.2](#)

B Creek/street-facing building length	200' max
Rectilinear building	Required
Angled, curved building	Not allowed

Articulation see [Sec. 5.2.3](#)

C. FRONTAGE



Applicable Frontages

see [Div. 3.3](#)

Pedestrian	--
General	◇
Marine Creek	◇
Pathway	--
Heritage Tree Lawn	◇
Historic Wall	--

Building Materials see [Sec. 5.2.4](#)

SEC. 3.2.2. NORTH FORTY (SY-TNF)



Intent

The Transition North Forty (SY-TNF) District is intended to accommodate new, mixed use development, facilitate continuing use of livestock activities and maintain opportunities for the public to experience handling of livestock in the area. Historically, this area was an active part of the Stockyards, with many pens and cattle run, but few historic features remain. As the area redevelops, an objective is to retain and reuse surviving historic features that will help to recall the historic uses, while accommodating compatible new development. This may include brick paving materials, cattle pens, and related artifacts. Reflecting portions of the grid system that originally existed here, in terms of circulation routes and view corridors, is also an objective. Buildings should be located such that views to historic buildings along Exchange Avenue are maintained.

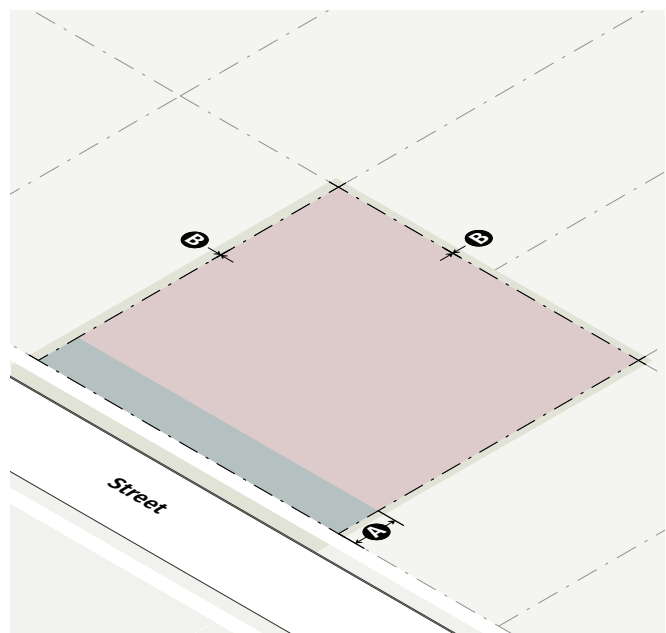
Applicable Districts

SY-TNF-40, SY-TNF-55

Use

Allowed uses see [Div. 6.1](#)

A. BUILDING PLACEMENT



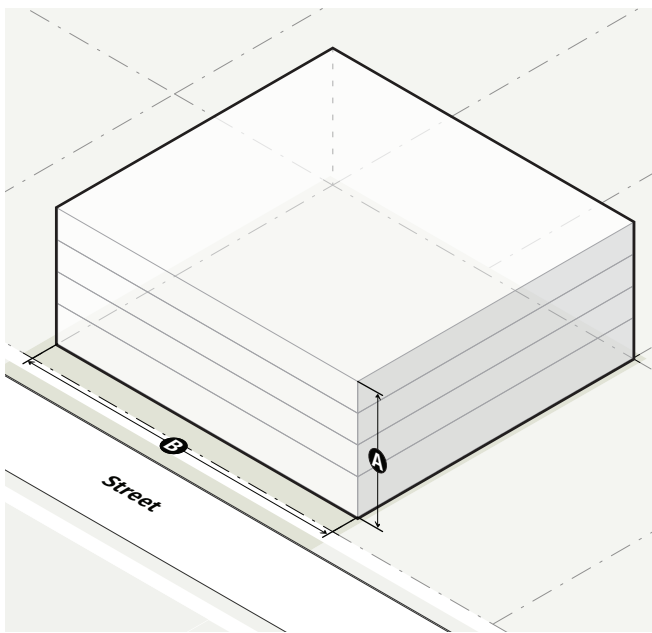
Lot

Area	n/a
Width	n/a

Building Setbacks

A Front	see Frontage
B Common lot line	0' min
Alley	5' min

B. BULK AND MASS



Building Height

A Maximum height	
SY-TNF-40	40' max
SY-TNF-55	55' max
Minimum height	n/a

Roof Form see [Sec. 5.2.1](#)

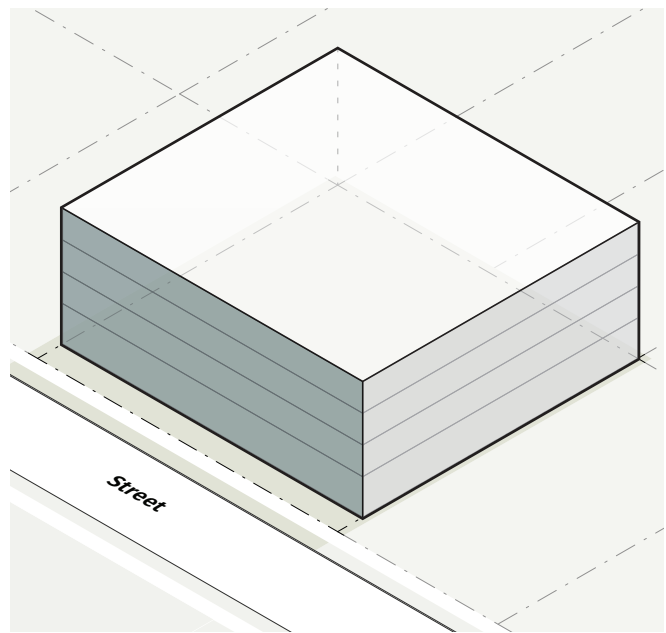
Flat	Allowed
Traditional parapet	Allowed
Barrel vault	Not allowed
Gable: medium pitch	Allowed
Gable: steep pitch	Not allowed
Hipped	Allowed

Building Form see [Sec. 5.2.2](#)

B Street-facing building length	250' max
Rectilinear building	Required
Angled, curved building	Not allowed

Articulation see [Sec. 5.2.3](#)

C. FRONTAGE



Applicable Frontages

see [Div. 3.3](#)

Pedestrian	--
General	◇
Marine Creek	--
Pathway	◇
Heritage Tree Lawn	◇
Historic Wall	--

Building Materials see [Sec. 5.2.4](#)

SEC. 3.2.3. NEIGHBORHOOD MIXED USE (SY-TNX)



Intent

The Transition Neighborhood Mixed Use (SY-TNX) District is intended to frame the edges of the Historic District along Main Street and West Exchange Avenue. The intent is to serve as a transition, in terms of building form, mass and scale, from the clearly defined context of the Historic District to the abutting neighborhoods and to provide for uses that support the Stockyards activities and serve visitors and residents in the area. The SY-TNX District is intended to accommodate a variety of building types, including shopfronts, mixed use buildings and apartments. Enhancing these areas as places for pedestrian activity is a goal and an objective is to activate the street with shopfronts and other street wall treatments to provide visual interest. A greater variety of building forms and materials is available in this area as well.

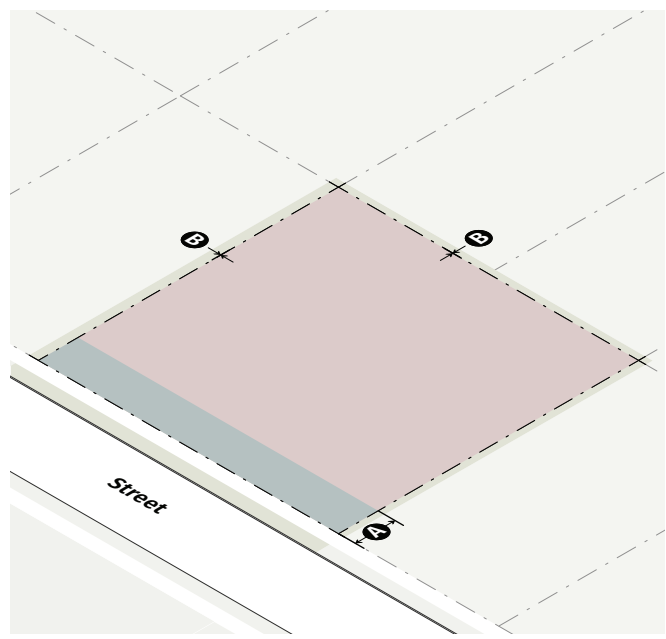
Applicable Districts

SY-TNX-55, SY-TNX-80

Use

Allowed uses see [Div. 6.1](#)

A. BUILDING PLACEMENT



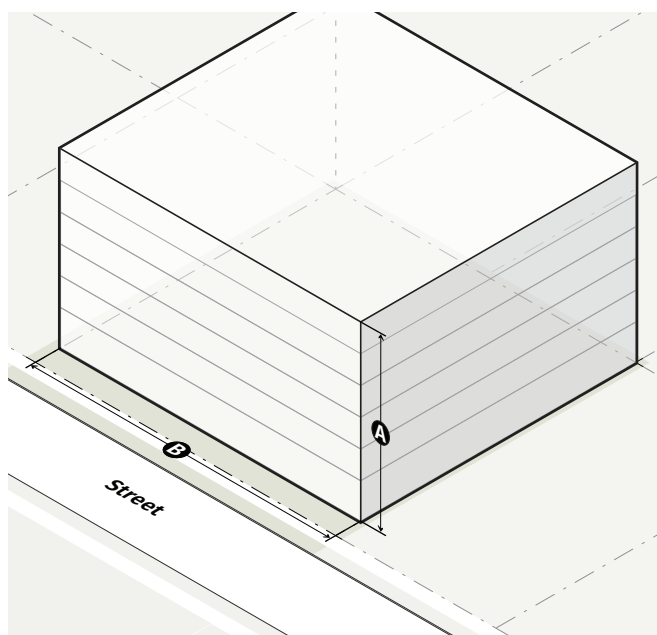
Lot

Area	n/a
Width	n/a

Building Setbacks

A Front	see Frontage
B Common lot line	0' min
Alley	5' min

B. BULK AND MASS



Building Height

A Maximum height	
SY-TNX-55	55' max
SY-TNX-80	80' max
B Minimum height	2 stories of occupiable space

Roof Form see [Sec. 5.2.1](#)

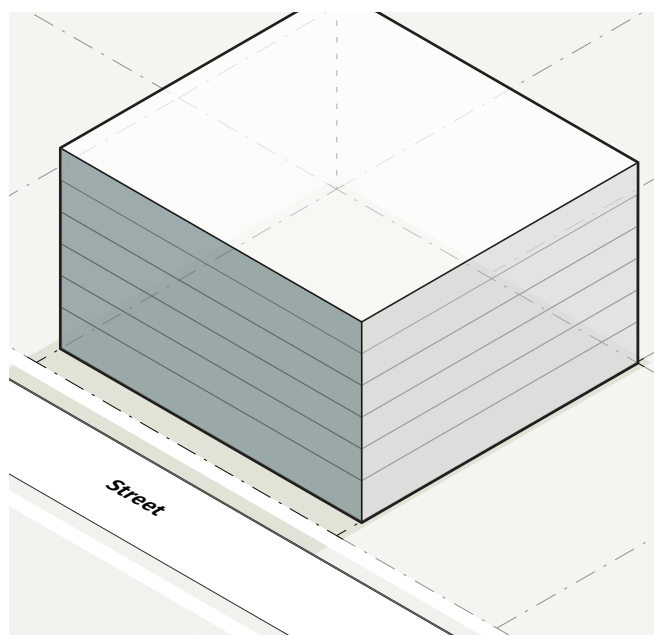
Flat	Allowed
Traditional parapet	Allowed
Barrel vault	Not allowed
Gable: medium pitch	Allowed
Gable: steep pitch	Not allowed
Hipped	Allowed

Building Form see [Sec. 5.2.2](#)

C Street-facing building length	150' max
Rectilinear building	Required
Angled, curved building	Not allowed

Articulation see [Sec. 5.2.3](#)

C. FRONTAGE



Applicable Frontages

see [Div. 3.3](#)

Pedestrian	◇
General	◇
Marine Creek	--
Pathway	--
Heritage Tree Lawn	--
Historic Wall	--

Building Materials see [Sec. 5.2.4](#)

SEC. 3.2.4. NORTHERN EDGE (SY-TNE)



Intent

The Transition Northern Edge (SY-TNE) District is intended to promote best practices in urban design, by establishing a more pedestrian and bike friendly environment and to enhance connectivity within properties and to the other parts of the Stockyards area. Much of the area provides opportunities for views of the Historic District and to Downtown, which should be considered in the location and orientation of new buildings. While this area was historically associated with the Stockyards, little evidence of this fact remains. New development is anticipated here and will be less influenced by historic precedents. Therefore, greater variety in building form and materials is appropriate in this district. An objective of the SY-TNE District is to provide services that support the overall Stockyards area and adjacent neighborhoods. This may include retail shopfronts, hotels, offices and residential uses.

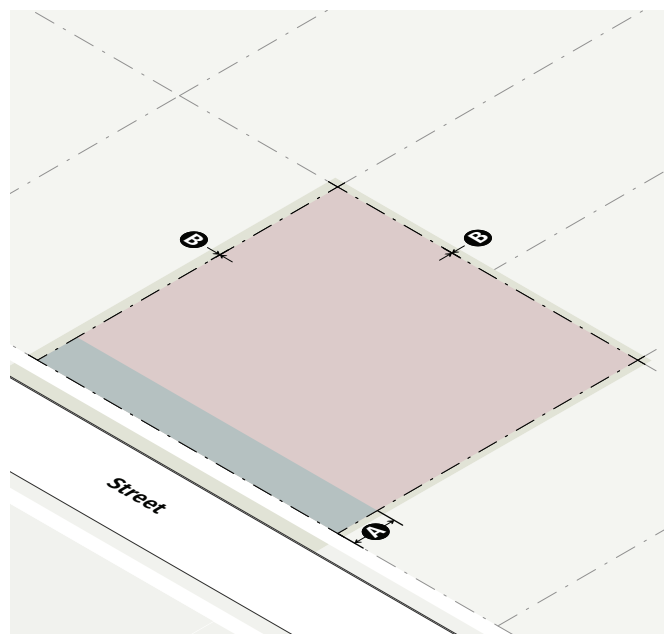
Applicable Districts

SY-TNE-68, SY-TNE-105

Use

Allowed uses see [Div. 6.1](#)

A. BUILDING PLACEMENT



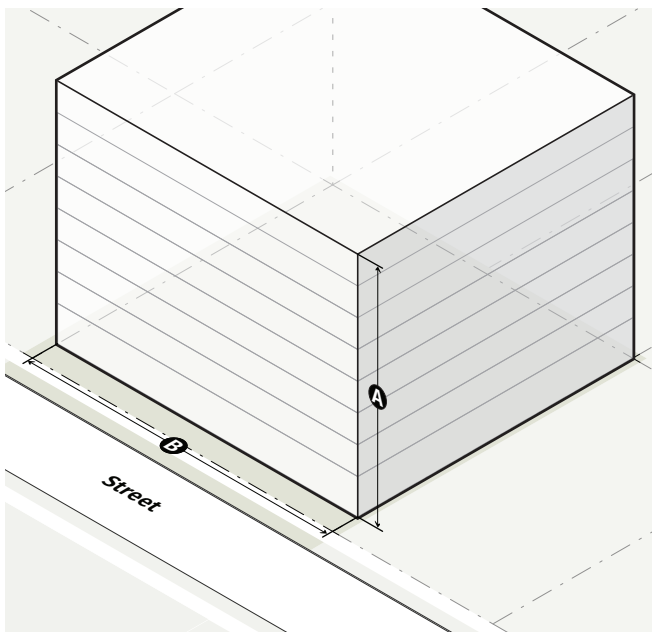
Lot

Area	n/a
Width	n/a

Building Setbacks

A Front	see Frontage
B Common lot line	0' min
Alley	5' min

B. BULK AND MASS



Building Height

A Maximum height	
SY-TNE-68	68' max
SY-TNE-105	105' max
B Minimum height	2 stories of occupiable space

Roof Form see [Sec. 5.2.1](#)

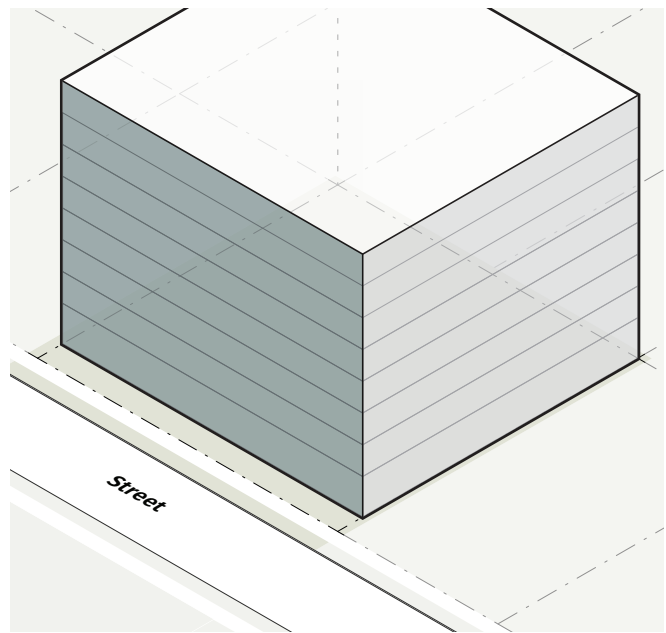
Flat	Allowed
Traditional parapet	Allowed
Barrel vault	Allowed
Gable: medium pitch	Allowed
Gable: steep pitch	Not allowed
Hipped	Allowed

Building Form see [Sec. 5.2.2](#)

C Street-facing building length	250' max
Rectilinear building	Allowed
Angled, curved building	Allowed

Articulation see [Sec. 5.2.3](#)

C. FRONTAGE



Applicable Frontages

see [Div. 3.3](#)

Pedestrian	--
General	◇
Marine Creek	◇
Pathway	◇
Heritage Tree Lawn	--
Historic Wall	--

Building Materials see [Sec. 5.2.4](#)

SEC. 3.2.5. SWIFT/ARMOUR (SY-TSA)



Intent

The Transition Swift/Armour (SY-TSA) District is intended to serve as a transition in scale and character from the Historic District while complementing the earlier scale and form of building in contemporary ways. An objective is to promote a mixed-use urban area with walkable streets and contextually sensitive buildings that adapt historic resources to new functions. Therefore, the SY-TSA District is intended to accommodate new development that reflects the general mass and scale of building that appeared here historically. For this reason, there is the potential for taller buildings and with larger footprints than in other parts of the Stockyards. Site design also is intended to draw upon historic precedents.

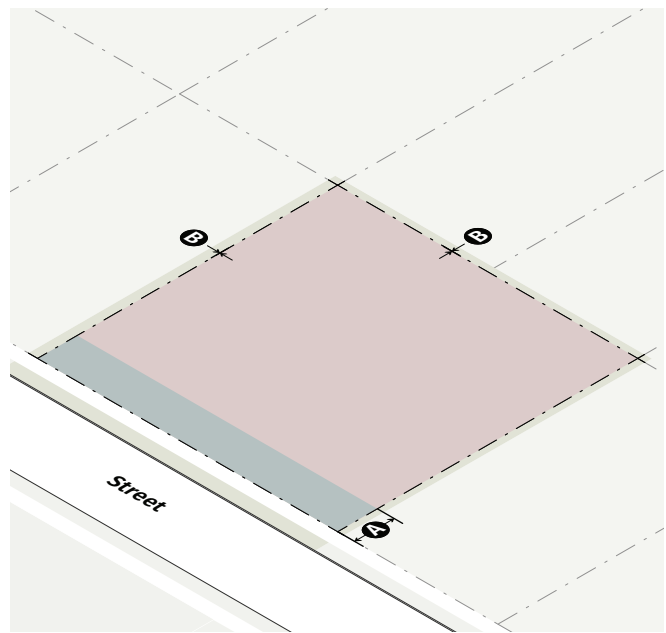
Applicable Districts

SY-TSA-55, SY-TSA-80, SY-TSA-105, SY-TSA-130

Use

Allowed uses see [Div. 6.1](#)

A. BUILDING PLACEMENT



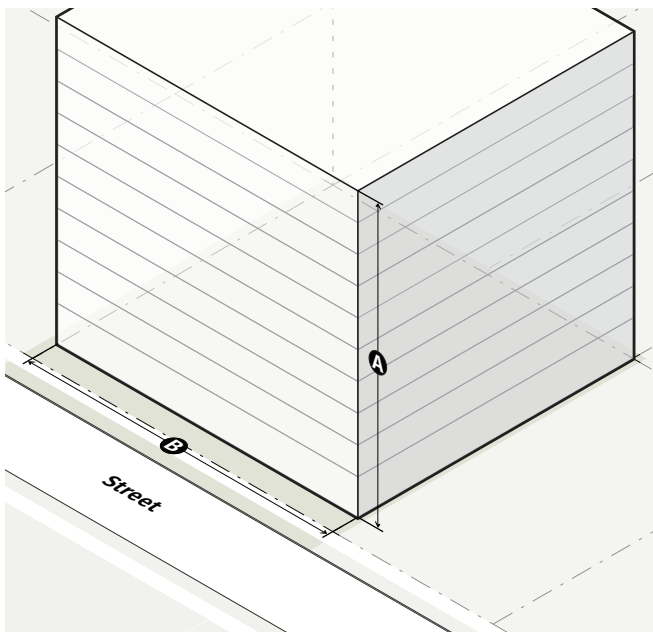
Lot

Area	n/a
Width	n/a

Building Setbacks

A Front	see Frontage
B Common lot line	0' min
Alley	5' min

B. BULK AND MASS



Building Height

A Maximum height	
SY-TSA-55	55' max
SY-TSA-80	80' max
SY-TSA-105	105' max
SY-TSA-130	130' max

B Minimum height	2 stories of occupiable space
-------------------------	-------------------------------

Roof Form see [Sec. 5.2.1](#)

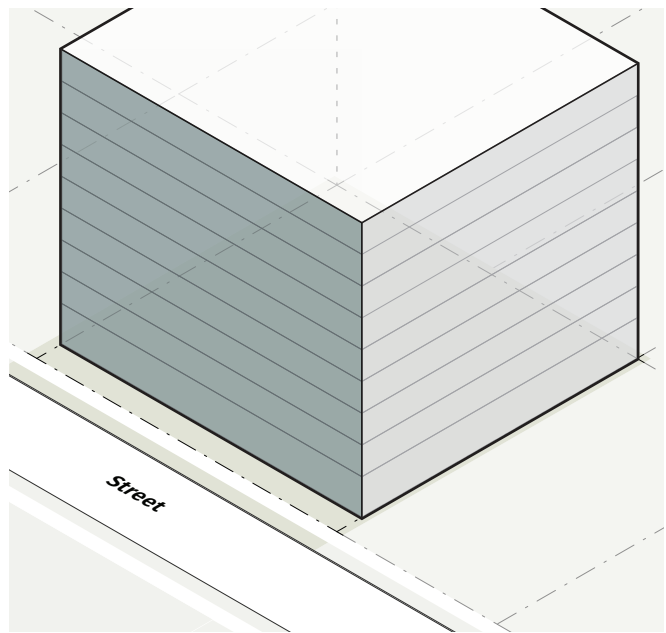
Flat	Allowed
Traditional parapet	Allowed
Barrel vault	Allowed
Gable: medium pitch	Allowed
Gable: steep pitch	Not allowed
Hipped	Allowed

Building Form see [Sec. 5.2.2](#)

C Street-facing building length	300' max
Rectilinear building	Allowed
Angled, curved building	Allowed

Articulation see [Sec. 5.2.3](#)

C. FRONTAGE



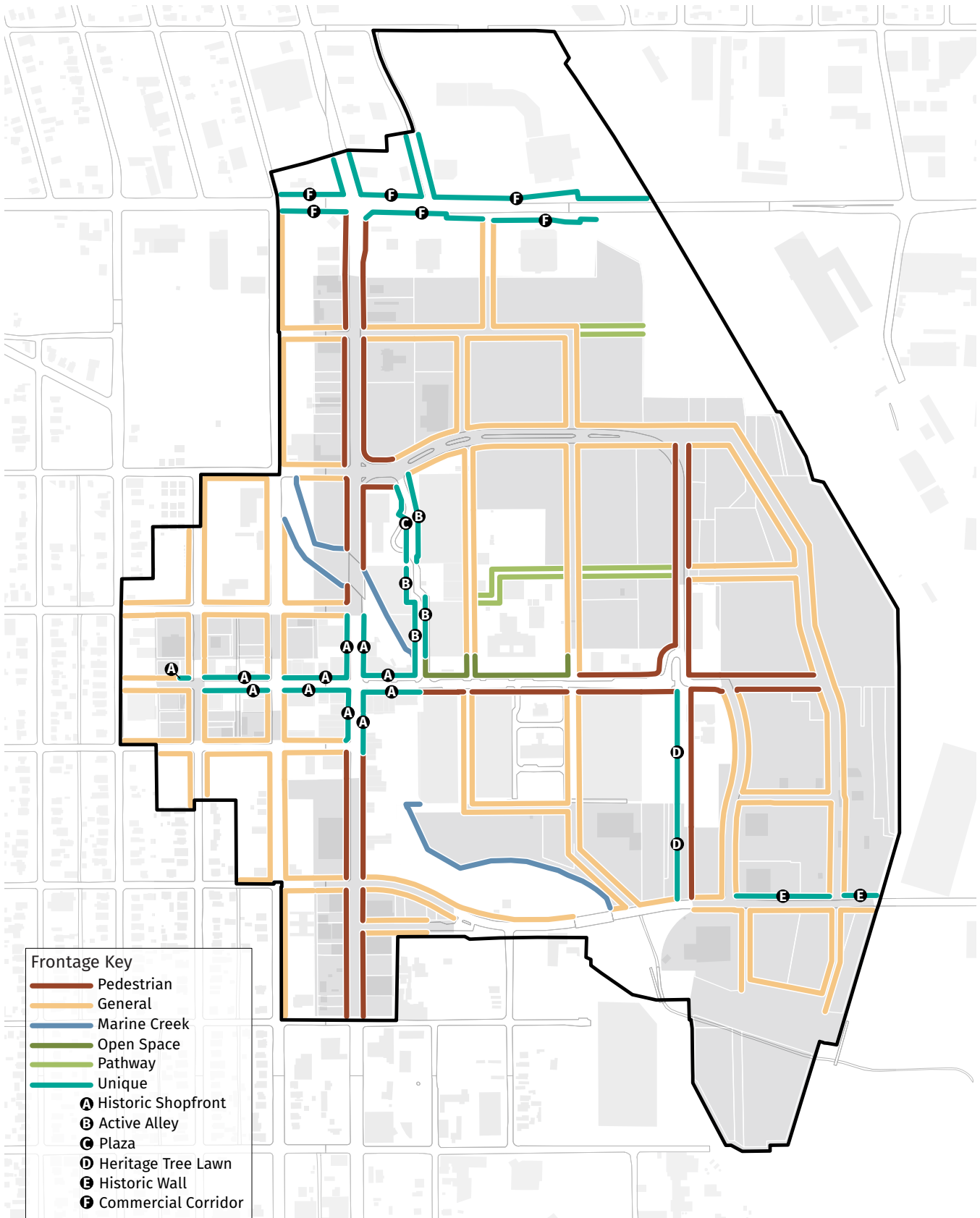
Applicable Frontages

see [Div. 3.3](#)

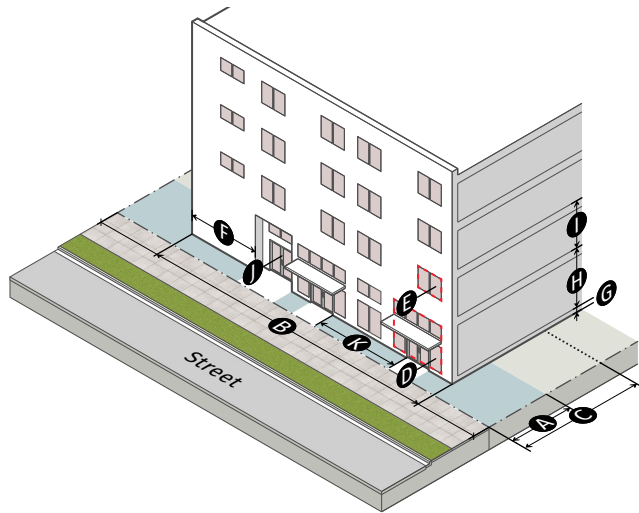
Pedestrian	◇
General	◇
Marine Creek	--
Pathway	--
Heritage Tree Lawn	--
Historic Wall	◇

Building Materials see [Sec. 5.2.4](#)

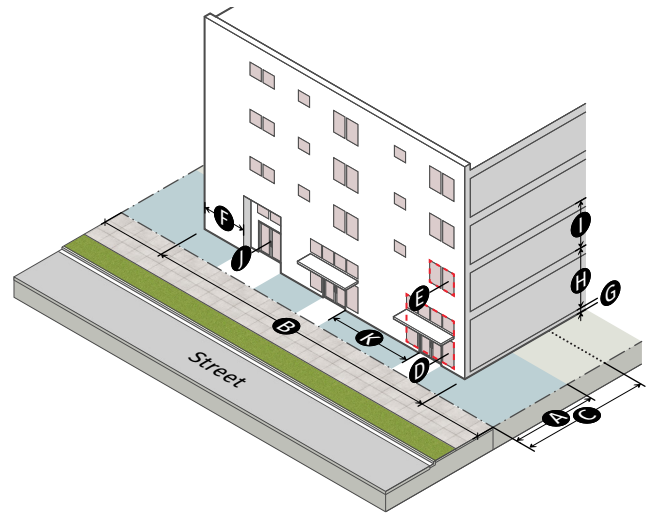
Div. 3.3. Frontages



SEC. 3.3.1. PEDESTRIAN



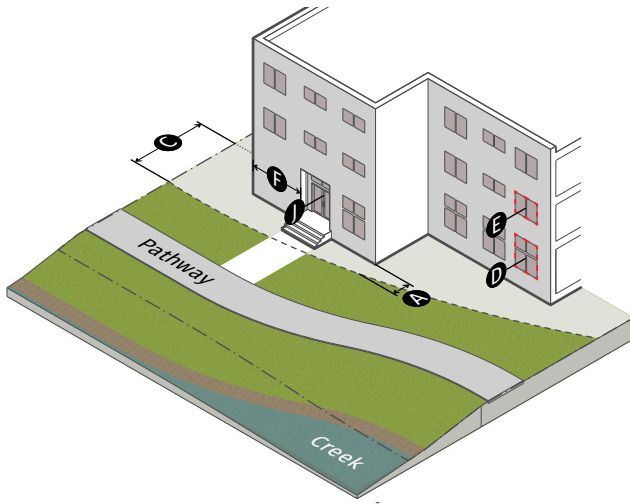
SEC. 3.3.2. GENERAL



Setbacks	
A Build-to zone	15' max
B % of building facade in build-to zone	70% min
C Parking setback	30' min
Transparency	
D Ground story	60% min
E Upper story	20% min
F Blank wall area	25' max
Story Height	
G Ground floor elevation	0' min / 2' max
H Ground story	13' min
I Upper story	9' min
Pedestrian Access	
J Entrance facing street	Required
K Entrance spacing along street	50' max
Building Elements	
	<u>Sec. 5.1.4</u>
Awning/canopy	◇
Balcony	◇
Forecourt	◇
Gallery	◇
Porch	--
Stoop	--

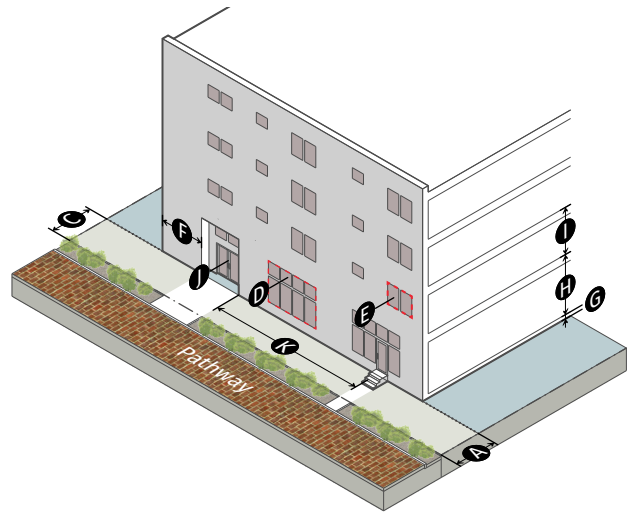
	Nonresidential Ground Floor	Residential Ground Floor
Setbacks		
A Build-to zone	15' max	15' max
B % of building facade in build-to zone	60% min	60% min
C Parking setback	30' min	30' min
Transparency		
D Ground story	40% min	20% min
E Upper story	20% min	20% min
F Blank wall area	35' max	35' max
Story Height		
G Ground floor elevation	0' min / 2' max	2' min / 5' max
H Ground story	12' min	12' min
I Upper story	9' min	9' min
Pedestrian Access		
J Entrance facing street	Required	Required
K Entrance spacing along street	75' max	125' max
Building Elements		
	<u>Sec. 5.1.4</u>	<u>Sec. 5.1.4</u>
Awning/canopy	◇	◇
Balcony	◇	◇
Forecourt	◇	◇
Gallery	◇	--
Porch	--	◇
Stoop	◇	◇

SEC. 3.3.3. MARINE CREEK



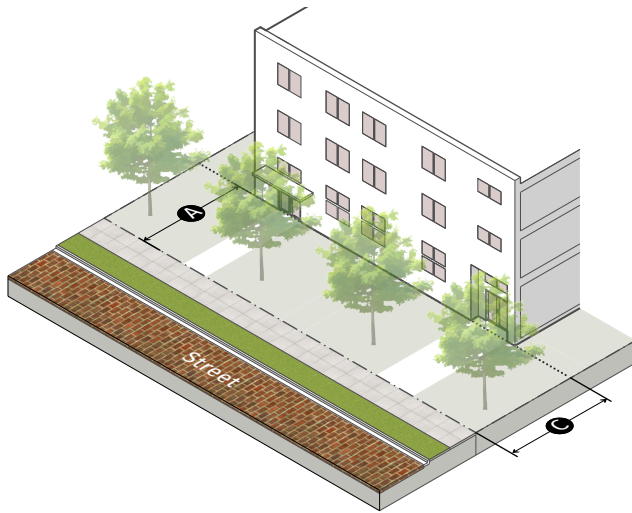
Setbacks	
A Front (measured from the Marine Creek Floodway and Beautification Easement Line)	0' min
B % of building facade in build-to zone	n/a
C Parking setback	30' min
Transparency	
D Ground story	20% min
E Upper story	20% min
F Blank wall area	50' max
Story Height	
G Ground floor elevation	n/a
H Ground story	n/a
I Upper story	n/a
Pedestrian Access	
J Entrance facing Creek	Required
K Entrance spacing along Creek	n/a
Building Elements	
	<u>Sec. 5.1.4</u>
Awning/canopy	◇
Balcony	◇
Forecourt	◇
Gallery	◇
Porch	◇
Stoop	◇

SEC. 3.3.4. PATHWAY

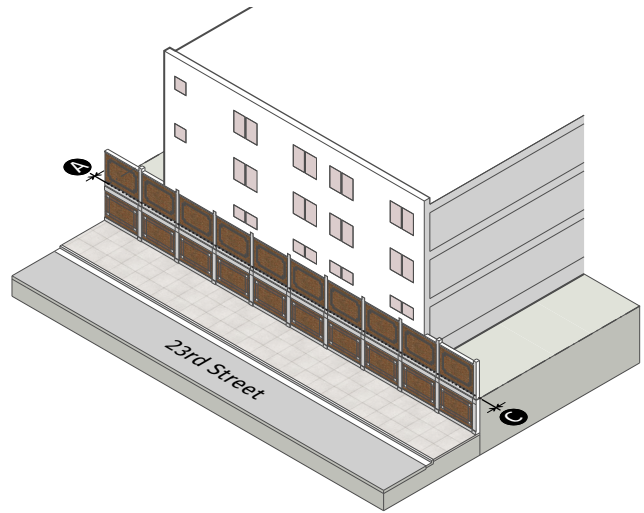


	Nonresidential Ground Floor	Residential Ground Floor
Setbacks		
A Front	5' min	5' min
B % of building facade in build-to zone	n/a	n/a
C Parking setback	5' min	5' min
Transparency		
D Ground story	50% min	20% min
E Upper story	20% min	20% min
F Blank wall area	30' max	30' max
Story Height		
G Ground floor elevation	0' min/2' max	2' min/5' max
H Ground story	12' min	12' min
I Upper story	9' min	9' min
Pedestrian Access		
J Entrance facing pathway	Required	Required
K Entrance spacing along pathway	100' max	125' max
Building Elements		
	<u>Sec. 5.1.4</u>	<u>Sec. 5.1.4</u>
Awning/canopy	◇	◇
Balcony	◇	◇
Forecourt	◇	◇
Gallery	◇	◇
Porch	--	--
Stoop	◇	◇

SEC. 3.3.5. HERITAGE TREE LAWN



SEC. 3.3.6. HISTORIC WALL



Setbacks	
A Front (min)	30' min
B % of building facade in build-to zone	n/a
C Parking setback	30' min
Transparency	
D Ground story	n/a
E Upper story	n/a
F Blank wall area	n/a
Story Height	
G Ground floor elevation	n/a
H Ground story	n/a
I Upper story	n/a
Pedestrian Access	
J Entrance facing street	n/a
K Entrance spacing along street	n/a
Building Elements	
	<u>Sec. 5.1.4</u>
Awning/canopy	◇
Balcony	◇
Forecourt	◇
Gallery	◇
Porch	◇
Stoop	◇

Setbacks	
A Front	0' min
B % of building facade in build-to zone	n/a
C Parking setback	0' min
Transparency	
D Ground story	n/a
E Upper story	n/a
F Blank wall area	n/a
Story Height	
G Ground floor elevation	n/a
H Ground story	n/a
I Upper story	n/a
Pedestrian Access	
J Entrance facing street	n/a
K Entrance spacing along street	n/a
Building Elements	
	<u>Sec. 5.1.4</u>
Awning/canopy	--
Balcony	◇
Forecourt	--
Gallery	--
Porch	--
Stoop	--

Div. 3.4. Design Guidelines

This Division presents design guidelines for the Transition District. It includes a listing of key principles for each of the groupings of sub-districts ([Sec. 3.4.1](#) through [Sec. 3.4.5](#)), guidelines for site design ([Sec. 3.4.6](#)) and guidelines for building design ([Sec. 3.4.7](#)). Photographs and drawings included illustrate how design principles and guidelines should be exemplified in specific development projects.

SEC. 3.4.1. MARINE CREEK (SY-TMC)

KEY PRINCIPLES

- | | |
|---|--|
| <p>A. Development that is “double-fronted,” in that it orients to the Creek and to the periphery of the Historic District</p> <p>B. Structured parking that is compatible with the “two fronts,” of the Creek and periphery of the Historic District.</p> <p>C. Maintain the “axis” along Mule Alley to Marine Creek.</p> <p>D. Maintain the “axis” along the western edge of Stockyards Station.</p> | <p>E. Accommodate a potential pedestrian bridge with gateway elements, located along axis between the horse and mule barns.</p> <p>F. Accommodate animal exhibition uses, such as an open air warm-up ring, potentially south of Stockyards Station.</p> <p>G. Accommodate the opportunity for a water taxi connection to Downtown.</p> <p>H. Accommodate opportunities to celebrate the waterfront with public space.</p> |
|---|--|

CHARACTER IMAGERY

These images below illustrate the design guidelines and objectives for the Transition Marine Creek District.



- » Traditional flat roof form
- » Accented entry
- » Window alignment
- » Vertical articulation (wall offset)



- » Outdoor dining space
- » Traditional materials

SEC. 3.4.2. NORTH FORTY (SY-TNF)

KEY PRINCIPLES

- A. Accommodate livestock circulation.
- B. Accommodate options for trailer parking and linear park space along the stormwater pipe easement.
- C. Accommodate a pedestrian overpass to the Swift/Armour area in its original location.
- D. Preserve historic structures.
- E. Accommodate additional livestock and horse uses.
- F. Provide for retail opportunities along existing streets.
- G. Accommodate a new north-south connector street.
- H. Strategically locate structured parking to be subordinate to active public ways.
- I. Convey the historic pattern of pens and livestock runs in the location of walkways, streets, and open space.
- J. Orient new buildings to express the historic grid pattern.

CHARACTER IMAGERY

These images illustrate the design guidelines and objectives for the Transition North Forty District.



- » Base-middle-cap composition
- » Change in materials
- » Street front activation (stoops and entrances)
- » Traditional materials



- » Horizontal articulation (alignment of decorative moldings, window sills and balconies)
- » Vertical articulation (wall offsets)



- » Street level activation (shopfront)
- » Vertical articulation (wall offsets)
- » Horizontal articulation (alignment, etc.)



- » Street level activation (planter and entry)



- » Screened parking
- » Active use at street level
- » Clearly defined entry
- » Horizontal articulation (spandrels and fenestration)



- » Street level activation (shopfront)

SEC. 3.4.3. NEIGHBORHOOD MIXED USE (SY-TNX)

KEY PRINCIPLES

- A. Orient new buildings to express the historic grid organization.
- B. Maintain historic view corridors and circulation routes
- C. Transition in building scale when abutting the edge of the historic district.
- D. Activate the street level.
- E. Provide a sense of human scale and visual interest.

CHARACTER IMAGERY

These images illustrate the design guidelines and objectives for the Transition Neighborhood Mixed Use District. They include images that draw upon traditional shopfront designs, but with contemporary details. Building massing also is similar in scale to traditional commercial buildings in the area.



- » Street level activation (shopfront)
- » Masonry materials
- » Entry identification



- » Horizontal expression (fenestration patterns)
- » Vertical expression (wall offsets)



- » Parking screened
- » Active street level



- » Horizontal expression (fenestration patterns)
- » Vertical expression (wall offsets)



- » Street level activation (shopfront)
- » Masonry materials
- » Entry identification



- » Horizontal expression (upper floor stepback)
- » Fenestration patterns



- » Street level activation (shopfront)
- » Masonry materials
- » Entry identification



- » Rowhouses with stoops
- » Vertical expression (moldings & change in materials)



- » Vertical articulation
- » Horizontal expression



- » Street level activation (shopfront)
- » Masonry materials
- » Composition (base, middle & cap)



- » Street level activation (shopfront)
- » Masonry materials
- » Entry identification

SEC. 3.4.4. NORTHERN EDGE (SY-TNE)

KEY PRINCIPLES

- A. Establish a pedestrian-friendly street edge
- B. Provide a sense of human scale and visual interest in building design.
- C. Improve connectivity within and among parcels.
- D. Accommodate new north-south street connections from 28th to Stockyards Boulevard.
- E. Provide retail shopfront activity along Stockyards Boulevard.
- F. Accommodate opportunities to provide “double-fronted” buildings along the edge of the stormwater detention area as it becomes open space amenity.

CHARACTER IMAGERY

These images illustrate the design guidelines and objectives for the Transition Northern Edge District. These include more examples of residential uses, as well as commercial. They also include some that draw upon the historic use of wood framing, as it appeared in buildings and pens in this area.



- » Street level activation (shopfront)
- » Masonry materials
- » Composition (base, middle & cap)



- » Contemporary interpretation of wood framing of early stockyards buildings and pens



- » Variation in roof line
- » Wall offsets
- » Horizontal expression



- » Variation in roof line
- » Change in materials
- » Horizontal expression (balconies)



- » Horizontal articulation (spandrels and balconies)
- » Street level activation (balconies)



- » Horizontal articulation (change in materials)
- » Vertical articulation (wall offsets)



- » Variation in roof line
- » Wall offsets
- » Horizontal expression



- » Street level activation (shopfront)



- » Articulation (variation in roof form)
- » Masonry



- » Horizontal expression (stepdown in front)
- » Vertical expression

SEC. 3.4.5. SWIFT ARMOUR (SY-TSA)

KEY PRINCIPLES

- A. Preserve sight lines along the original rail spur locations.
- B. Re-create the central open space between the Swift and Armour sites.
- C. Where feasible, integrate existing buildings into new development.
- D. Create a system of urban streets and blocks with buildings fronting streets and open spaces.
- E. Draw from historic height and massing precedents.
- F. Buffer new uses from the adjacent active rail line.
- G. Provide compatible building heights along Packers Avenue as a transition to the historic district.

CHARACTER IMAGERY

These images illustrate the design guidelines and objectives for the Transition Swift/Armour District. These examples include some that have a more “industrial” character, in terms of materials, forms and detailing.



- » Vertical expression (change in materials)
- » Composition (base, middle & cap)



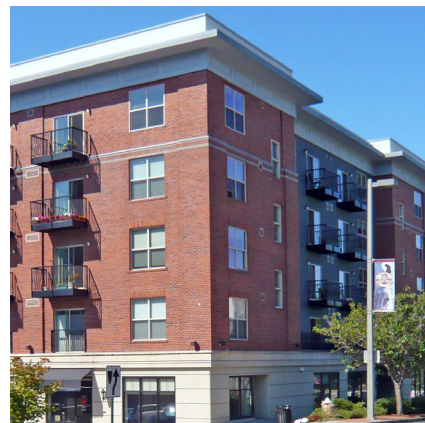
» Outdoor use area



» Vertical expression (change in materials, balconies & fenestration)



» Horizontal expression (change in materials & fenestration patterns)



» Composition (base, middle & cap)
» Vertical expression (wall offsets)



» Masonry materials
» Setback



» Vertical expression (wall offsets and change in materials)
» Horizontal expression (balconies and fenestration patterns)



» Street level activation (shopfront)
» Vertical expression



» Vertical expression (wall offsets and change in materials)



SEC. 3.4.6. SITE DESIGN

OBJECTIVES

Highlight Landscapes and Views

Properties should be planned to emphasize landscaped areas and frame important views. This includes retaining significant existing landscape features, when feasible, and planning development with abutting properties in mind, such that opportunities to plan in a coordinated manner are maximized. Planning view corridors such that they align with those on adjacent properties, and complement historic view and circulation patterns, is also encouraged.

Each Development Should Help to Build a Sense of Neighborhood

Projects should be planned to relate to adjoining properties in a positive way, by promoting connections, by planning cooperatively to make joint use of natural features that span across properties, and with designs that convey a sense of visual continuity.

Provide Positive Open Space

These include public and private spaces, promenades, plazas and courtyards. In addition, integrate and maintain natural resources for the public to experience with open space areas.

Provide Landscaping that Enhances Views from the Public Way

Landscaping should contribute to the visual continuity and delight of the area, while complementing the identities of individual sites.

Provide Landscaping that Enhances Pedestrian Activity Within a Site

Landscaping should help to define functional areas within the site, such as walkways and outdoor use areas. These places should be designed to facilitate their use throughout the year.

Keep Parking Subordinate

Parking lots should not dominate the setting. They should be visually buffered.

A. Views

Views from the public right-of-way to natural features also should be maintained. Significant views may occur from major public open spaces, street intersections, bridges and roadway overlooks.

1. Enhance views from the public right-of-way to scenic natural features and landmarks, when feasible.
 - a. Locate a building to maintain key views as they are seen from the public right-of-way.

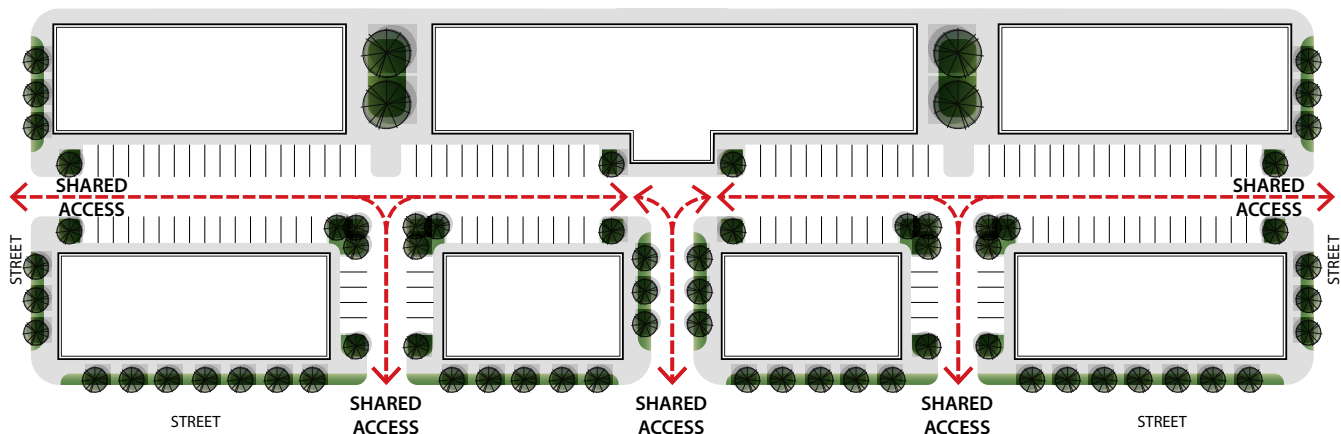


Enhance views from the public right-of-way to scenic natural features and landmarks, when feasible.

B. Auto Connectivity

Connections to auto circulation systems on adjoining properties and within properties that permit access without returning to the street, should be provided, when feasible, to permit convenient access and to reduce traffic on abutting public streets.

1. Provide direct automobile access within or to an abutting property, when feasible.
 - a. Even where an adjoining parcel is presently undeveloped, reserve the opportunity to provide a connection in the future.



Use shared drives to access parking areas.



Provide convenient connections for pedestrians and bicyclists between buildings on an individual site.

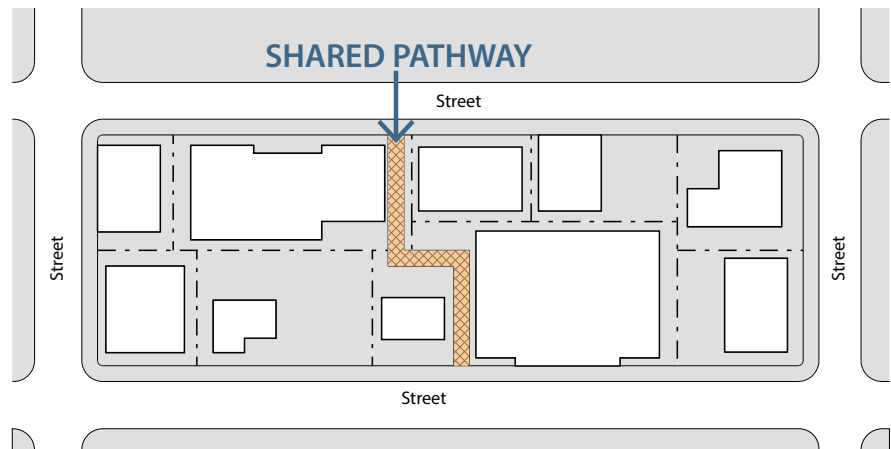
C. Pedestrian and Bicycle Connectivity

Safe and convenient pedestrian and bicycle access should be provided to the regional trail system and among properties to achieve a sense of being an integrated neighborhood and to reduce dependence upon automobiles. In addition, the internal site circulation system should be coordinated.



SEE DIV. 8.2 FOR NEW CONNECTION STANDARDS

1. Provide convenient connections to regional and neighborhood pedestrian and bikeway circulation systems.
 - a. Provide connections to regional trails when they abut a property or are in close proximity.
 - b. Provide a clearly defined, direct connection from internal walkways to adjoining public sidewalks.
 - c. Provide convenient pedestrian and bikeway connections among abutting properties.

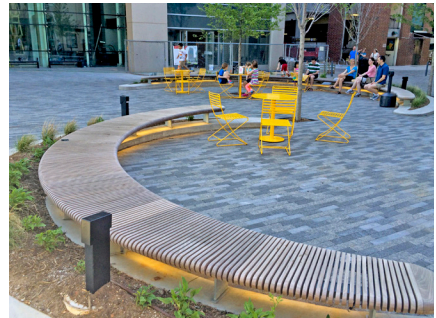


Provide convenient connections to regional and neighborhood pedestrian and bikeway circulation systems.

D. Open Space

The development of open space is encouraged in order to enhance a site as a place for pedestrians. Buildings and other site functions should be planned to create outdoor space that serve public, private, passive and active uses.

1. **Develop open space for the site.**
 - a. Define open space by clustering buildings in larger developments.
 - b. Position this space such that it can be shared by adjoining buildings, when feasible.
 - c. Consider orienting open space to views of activities, architectural landmarks or natural features to provide visual interest.
2. **Provide public access and views to open space, when feasible.**
 - a. Decorative surface materials and landscaping should be integrated as design features.
 - b. Reuse historic brick pavers whenever feasible.



The development of open space is encouraged in order to enhance a site as a place for pedestrians.



Reuse historic brick pavers whenever feasible.



Position outdoor space such that it can be shared by adjoining buildings, when feasible.

E. Landscape

Landscaped areas that can be enjoyed, both visually and functionally, should be provided in a project when feasible. Landscaped areas of an individual parcel should be coordinated with that of adjoining properties as well, such that mutual benefits can be maximized.



SEE DIV. 7.2 FOR LANDSCAPING STANDARDS

1. Coordinate landscaped areas with that of adjacent parcels such that they may be perceived as a larger area.
 - a. Also position landscaped areas to link access points with those of adjoining properties.
2. Organize uses to maximize natural assets of the site.
 - a. When a stormwater detention facility is to be provided, position it in green space and design it to be an amenity.
 - b. Locate a service area away from natural green space that is to be retained on the site.



Use a consistent plant palette throughout the property.



Landscaped areas that can be enjoyed, both visually and functionally, should be provided in a project when feasible.

F. Site Lighting

Site lighting should be designed to facilitate safe and convenient circulation of motorists, bicyclists and pedestrians. Light levels should be sufficient for safety. However, light spill onto adjacent properties and into the night sky should be minimized.

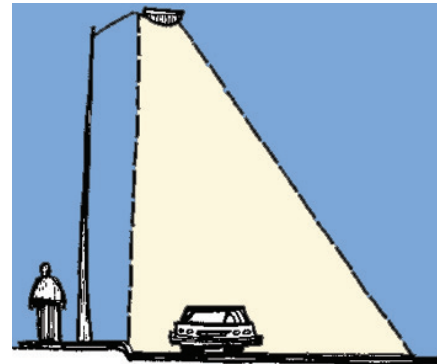


SEE DIV. 7.3 FOR SITE LIGHTING STANDARDS

1. **Minimize the level of lighting across parking areas.**
 - a. Focus higher light levels at key crossing points and intersections, rather than uniformly across a lot.
 - b. In other areas of a surface lot, provide a lower level of lighting, while also meeting safety needs.
2. **Provide lighting for pedestrian ways that is appropriately scaled to walking.**
 - a. Mount lights for pedestrian ways on short poles or consider using light posts (bollards).
3. **Light fixtures should be in character with the setting.**
 - a. Fixtures should be compatible with architectural and site design elements.



Provide lighting for pedestrians that is appropriately scaled to walking.



Lighting should be shielded to prevent off-site glare.

G. Service Areas

Service areas should be visually unobtrusive and should be integrated with the design of the site and associated buildings.



SEE SEC. 7.2.3 FOR SCREENING STANDARDS

1. **Minimize the visual impacts of service areas.**
 - a. Orient a service entrance, waste disposal area or other similar use toward service lanes and away from major streets.
 - b. Screen service entrances with walls or plantings.
 - c. When it will be visible from a public way, a service area screen should be in character with the building and site it serves.



Minimize the visual impacts of service areas.



Buildings should complement the design traditions of the Stockyards area, in terms of building and roof forms, scale, materials and other design elements.



Buildings in the commercial corridors should convey a high quality of design, in terms of their materials and details, as well as through a consistent organization of forms and elements.



Enhance the pedestrian experience. Each improvement project should contribute to a pedestrian-friendly environment.

SEC. 3.4.7. BUILDING DESIGN

OBJECTIVES

Complement the Design Traditions of the Stockyards Area

Buildings should complement the design traditions of the Stockyards area, in terms of building and roof forms, scale, materials and other design elements. Flat roofs with varied parapet lines and cornices are a key part of this tradition. Rectilinear building forms are the primary building form and should be provided.

Buildings that appear to be in scale with those seen traditionally also should be encouraged. Where a new building would be larger than those existing in the area, it should establish a transition in scale, to reduce the impact of building scale on the adjacent property, as well as on the neighborhood.

Achieve High Quality Design

Buildings in the commercial corridors should convey a high quality of design, in terms of their materials and details, as well as through a consistent organization of forms and elements. This quality should establish a standard for design throughout the community.

Design for Durability

Buildings should be designed for the long term with durable materials.

Enhance the Pedestrian Experience

Each improvement project should contribute to a pedestrian-friendly environment. This includes defining the street edges and walkways with buildings and spaces that are visually interesting that attract pedestrian activity.

A. Building Character

A new building should complement the design precedents of the Stockyards area while expressing its own time.

- 1. Innovative new designs that draw upon regional design traditions are preferred.
 - a. Design a building to provide a sense of authenticity in building and material.
 - b. Standardized “franchise” style architecture is discouraged.
- 2. The exact imitation of historic styles is inappropriate for new construction.
 - a. Contemporary interpretations of historic building forms, massing, materials and details that occurred traditionally in the form district are appropriate.



Design a building to provide a sense of authenticity in building and material.



Innovative new designs that draw upon regional design traditions are preferred. These example buildings incorporate timber framing that resembles the construction of the pen areas in the Stockyards.

ARTICLE 4. EDGE DISTRICT

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Div. 4.1. Description

The Edge District is the area most removed from the Historic District. As such, greater flexibility in design is available here, in terms of form, character and materials. While this area was historically associated with the Stockyards, little evidence of this remains today and new development is anticipated here that will be less influenced by historic precedents. Therefore, greater variety in building form and materials is appropriate in the Edge District. An objective is to provide services that support the overall Stockyards area and adjacent neighborhoods.

The intent is to promote best practices in urban design, by establishing a more pedestrian and bike friendly environment and to enhance connectivity within properties and to the other parts of the Stockyards area. Streets should be designed to be active and visually engaging at the sidewalk edge.

The Edge District includes the following sub-districts:*

- 1. SY-ENX: Neighborhood Mixed Use-40, -55
- 2. SY-ECC: Commercial Corridor-68

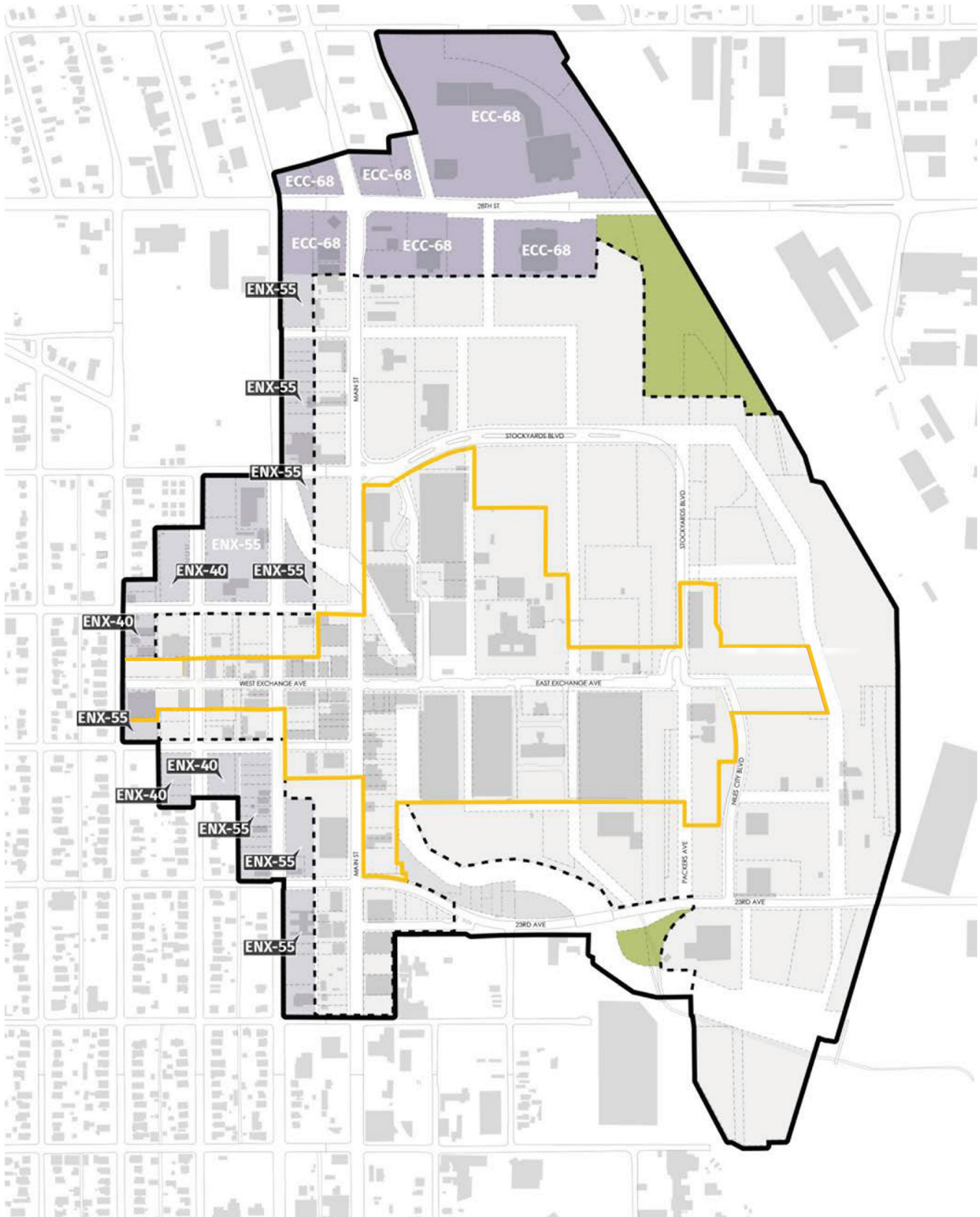
**The number represents the maximum height allowed in feet for that sub-district.*

This Article includes development standards ([Div. 4.2](#) and [Div. 4.3](#)) that are mandatory and apply to all properties throughout the Edge District.

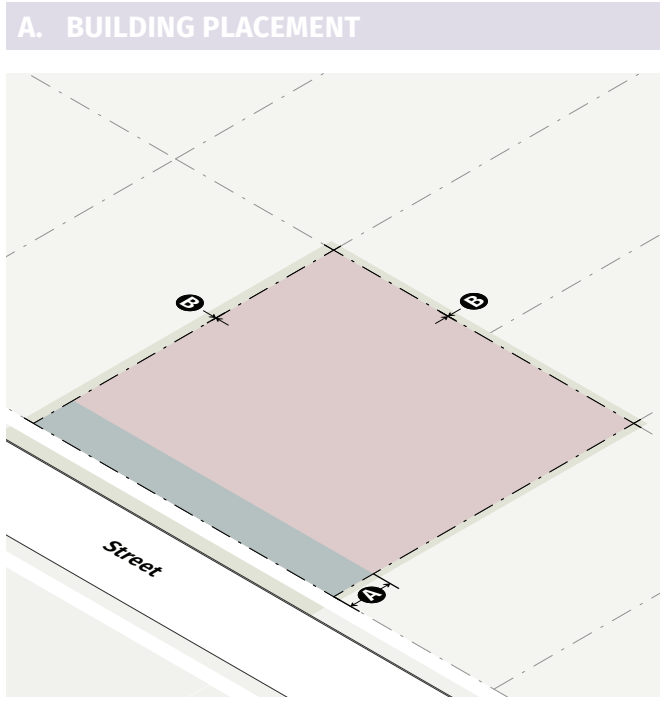
This Article also includes design guidelines ([Div. 4.4](#)). The design guidelines are intended to work in concert with the development standards to promote high quality development and best practices in urban design. They are provided as advisory information, except where a project seeks a major modification from the Urban Design Commission, in which case compliance is required.



Div. 4.2. Edge Sub-Districts



SEC. 4.2.1. NEIGHBORHOOD MIXED USE (SY-ENX)



Intent

The Edge Neighborhood Mixed Use District (SY-ENX) is intended to serve as edges to the abutting Transitional Districts. A mix of uses, including commercial and multifamily residential is envisioned, which will provide supporting services and housing for the stockyards area. The intent is to promote best practices in urban design, by establishing a more pedestrian and bike friendly environment and to enhance connectivity within properties and to the other parts of the stockyards area. A wider range of street activation techniques is available in these areas.

Applicable Districts

SY-ENX-40, SY-ENX-55

Use

Allowed uses see [Div. 6.1](#)

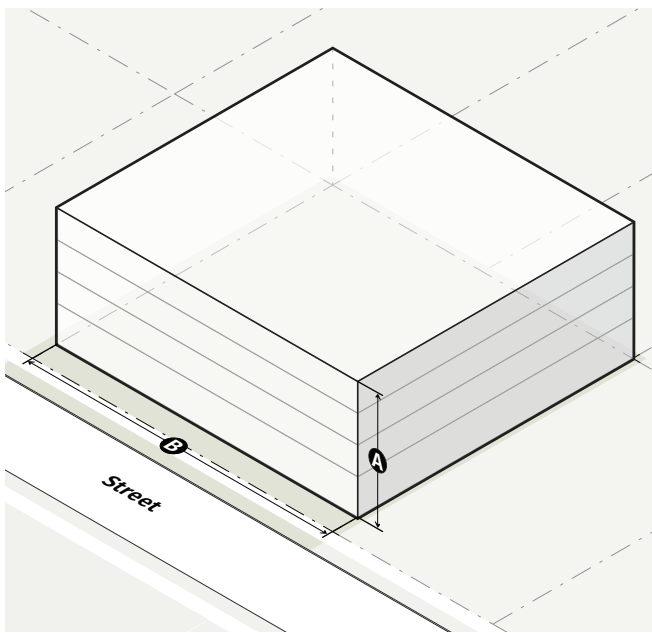
Lot

Area	n/a
Width	n/a

Building Setbacks

A Front	see Frontage
B Common lot line	0' min
Alley	5' min

B. BULK AND MASS



Building Height

A Maximum height	
SY-ENX-40	40' max
SY-ENX-55	55' max
Minimum height	n/a

Roof Form see [Sec. 5.2.1](#)

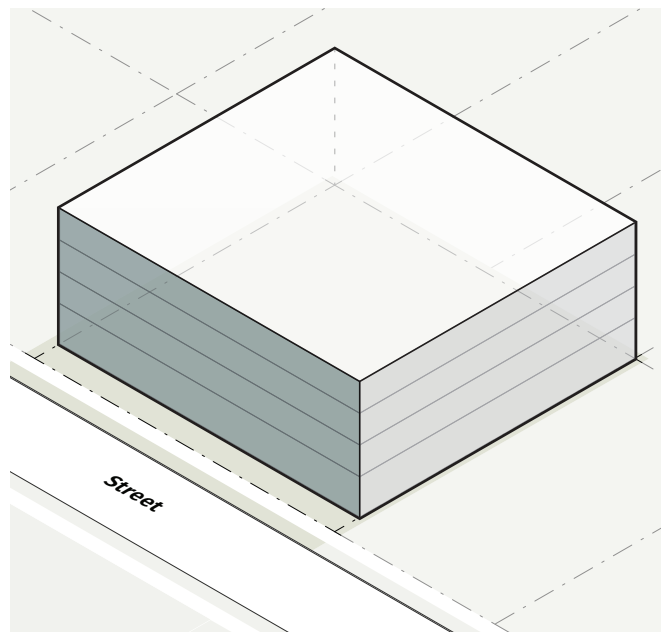
Flat	Allowed
Traditional parapet	Allowed
Barrel vault	Allowed
Gable: medium pitch	Allowed
Gable: steep pitch	Allowed
Hipped	Allowed

Building Form see [Sec. 5.2.2](#)

B Street-facing building length	150' max
Rectilinear building	Allowed
Angled, curved building	Allowed

Articulation see [Sec. 5.2.3](#)

C. FRONTAGE



Applicable Frontages see [Div. 4.3](#)

Pedestrian	◇
General	◇
Marine Creek	◇
Commercial Corridor	--

Building Materials see [Sec. 5.2.4](#)

SEC. 4.2.2. COMMERCIAL CORRIDOR (SY-ECC)



Intent

The Edge Commercial Corridor (SY-ECC) District intended to provide services that support the overall Stockyards area and adjacent neighborhoods. This may include retail shopfronts, hotels, offices and residential uses. The intent is to promote best practices in urban design, by establishing a more pedestrian and bike friendly environment and to enhance connectivity within properties and to the other parts of the Stockyards area. Streets should be designed to be visually active at the sidewalk edge. While this area was historically associated with the Stockyards, little evidence of this remains today and new development is anticipated here that will be less influenced by historic precedents. Therefore, greater flexibility in building shapes, size and materials is appropriate.

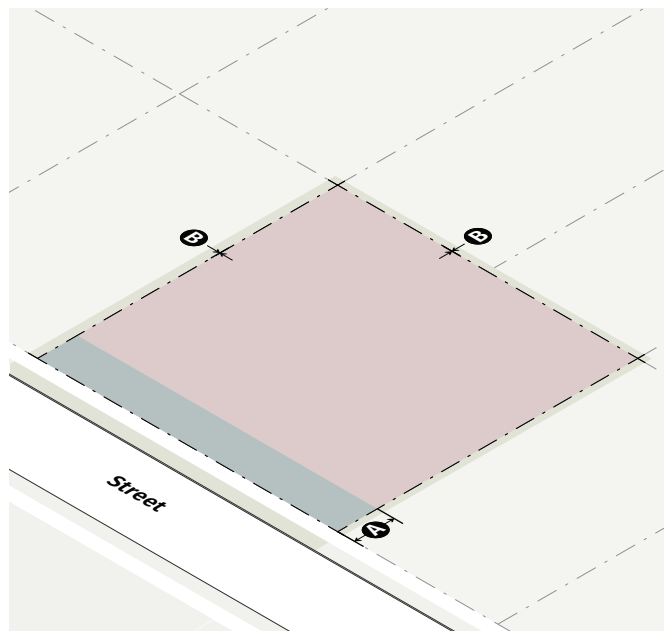
Applicable Districts

SY-ECC-68

Use

Allowed uses see [Div. 6.1](#)

A. BUILDING PLACEMENT



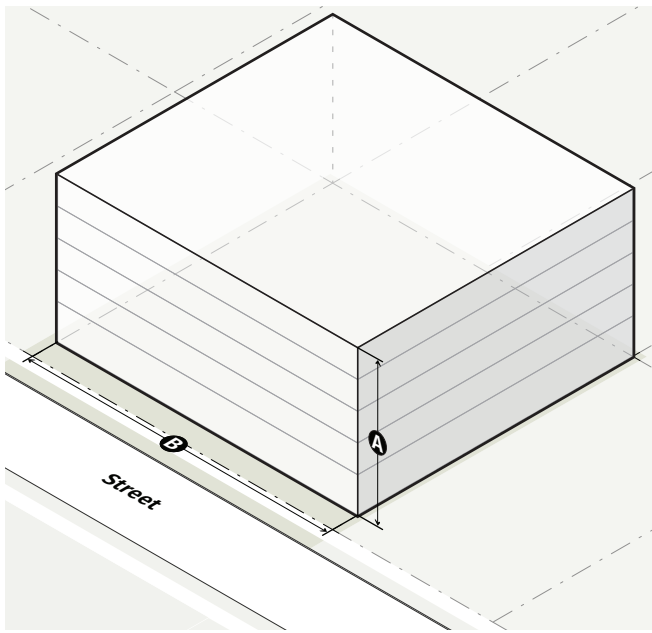
Lot

Area	n/a
Width	n/a

Building Setbacks

A Front	see Frontage
B Common lot line	0' min
Alley	5' min

B. BULK AND MASS



Access

A Maximum height	68' max
Minimum height	n/a

Roof Form see [Sec. 5.2.1](#)

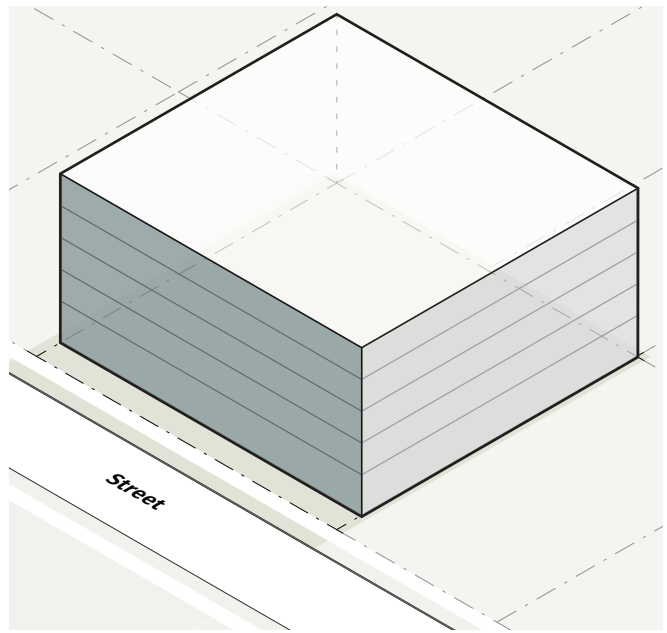
Flat	Allowed
Traditional parapet	Allowed
Barrel vault	Allowed
Gable: medium pitch	Allowed
Gable: steep pitch	Allowed
Hipped	Allowed

Building Form see [Sec. 5.2.2](#)

B Street-facing building length	300' max
Rectilinear building	Allowed
Angled, curved building	Allowed

Articulation see [Sec. 5.2.3](#)

C. FRONTAGE



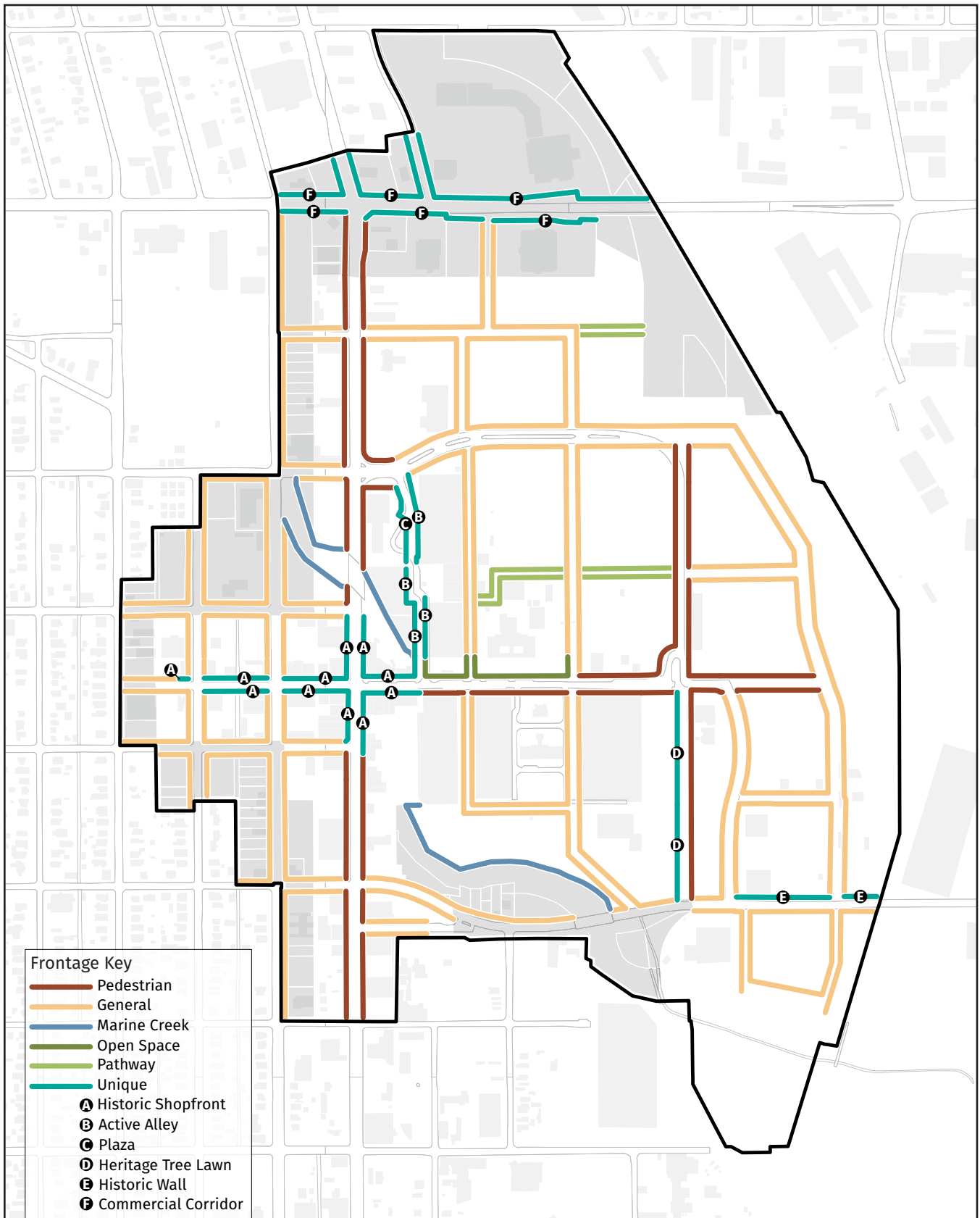
Applicable Frontages

see [Div. 4.3](#)

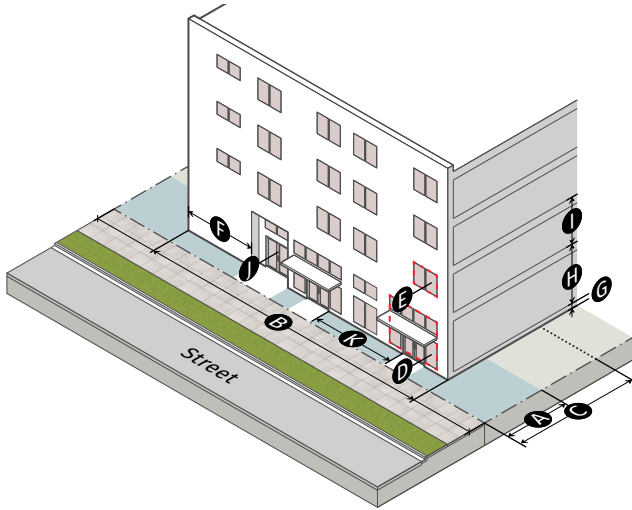
Pedestrian	◇
General	◇
Marine Creek	◇
Commercial Corridor	◇

Building Materials see [Sec. 5.2.4](#)

Div. 4.3. Frontages

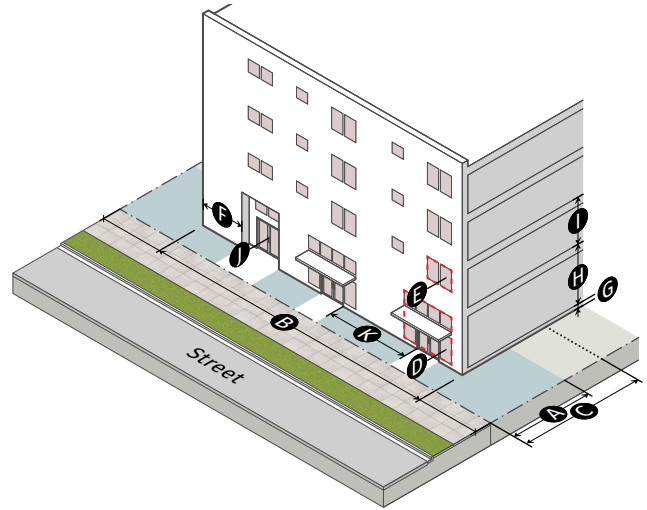


SEC. 4.3.1. PEDESTRIAN



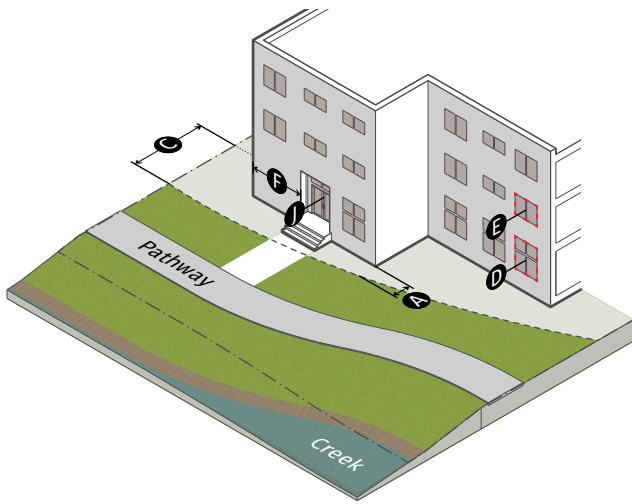
Setbacks	
A Build-to zone	20' max
B % of building facade in build-to zone	70% min
C Parking setback	30' min
Transparency	
D Ground story	60% min
E Upper story	20% min
F Blank wall area	35' max
Story Height	
G Ground floor elevation	0' min / 2' max
H Ground story	12' min
I Upper story	9' min
Pedestrian Access	
J Entrance facing street	Required
K Entrance spacing along street	50' max
Building Elements	
	<u>Sec. 5.1.4</u>
Awning/canopy	◇
Balcony	◇
Forecourt	◇
Gallery	◇
Porch	--
Stoop	--

SEC. 4.3.2. GENERAL



	Nonresidential Ground Floor	Residential Ground Floor
Setbacks		
A Build-to zone	20' max	20' max
B % of building facade in build-to zone	60% min	60% min
C Parking setback	30' min	30' min
Transparency		
D Ground story	40% min	20% min
E Upper story	20% min	20% min
F Blank wall area	35' max	35' max
Story Height		
G Ground floor elevation	0' min / 2' max	2' min / 5' max
H Ground story	12' min	12' min
I Upper story	9' min	9' min
Pedestrian Access		
J Entrance facing street	Required	Required
K Entrance spacing along street	75' max	125' max
Building Elements		
	<u>Sec. 5.1.4</u>	<u>Sec. 5.1.4</u>
Awning/canopy	◇	◇
Balcony	◇	◇
Forecourt	◇	◇
Gallery	◇	--
Porch	--	◇
Stoop	◇	◇

SEC. 4.3.3. MARINE CREEK



Setbacks

A	Front (measured from the Marine Creek Floodway and Beautification Easement Line)	0' min
B	% of building facade in build-to zone	n/a
C	Parking setback	30' min

Transparency

D	Ground story	20% min
E	Upper story	20% min
F	Blank wall area	50' max

Story Height

G	Ground floor elevation	n/a
H	Ground story	n/a
I	Upper story	n/a

Pedestrian Access

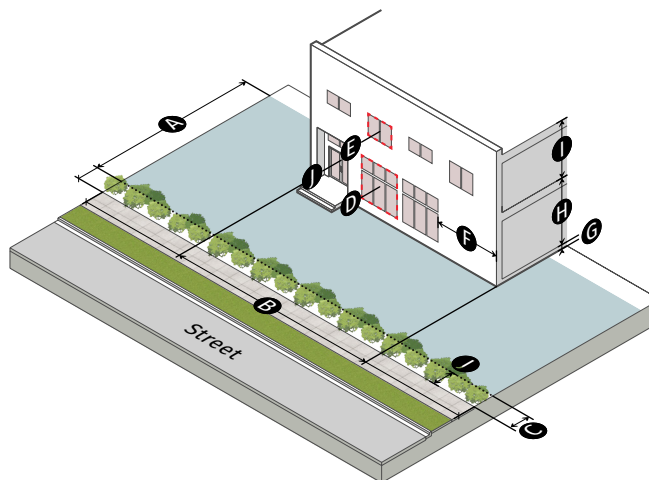
J	Entrance facing Creek	Required
K	Entrance spacing along Creek	n/a

Building Elements

Sec. 5.1.4

Awning/canopy	◇
Balcony	◇
Forecourt	◇
Gallery	◇
Porch	◇
Stoop	◇

SEC. 4.3.4. COMMERCIAL CORRIDOR



Nonresidential Ground Floor Residential Ground Floor

Setbacks		
A Build-to zone	10' min/ 100' max	10' min/ 100' max
B % of building facade in build-to zone	50% min	50% min
C Parking setback	10' min	10' min
Transparency		
D Ground story	50% min	20% min
E Upper story	20% min	20% min
F Blank wall area	30' max	30' max
Story Height		
G Ground floor elevation	0' min/ 2' max	2' min/ 5' max
H Ground story	12' min	12' min
I Upper story	9' min	9' min
Pedestrian Access		
J Entrance facing street	Required	Required
K Entrance spacing along street	n/a	n/a
Building Elements		
	<u>Sec. 5.1.4</u>	<u>Sec. 5.1.4</u>
Awning/canopy	◇	◇
Balcony	◇	◇
Forecourt	◇	◇
Gallery	◇	--
Porch	--	◇
Stoop	◇	◇

Perimeter Planting

Applies only when surface parking abuts a public right-of-way (not including an alley)

J Planting area depth	10' min
Planting type	3' min hedge/wall (see <u>Sec. 7.2.1.D</u>)

Div. 4.4. Design Guidelines

This Division presents design guidelines for the Edge District. It includes a listing of key principles for each of the groupings of sub-districts (Sec. 4.4.1 and Sec. 4.4.2), guidelines for site design (Sec. 4.4.3) and guidelines for building design (Sec. 4.4.4). Photographs and drawings included illustrate how design principles and guidelines should be exemplified in specific development projects.

SEC. 4.4.1. NEIGHBORHOOD MIXED USE (SY-ENX)

KEY PRINCIPLES

- A. Convey a sense of human scale through articulation of building facades.
- B. Convey the scale of traditional buildings by organizing buildings into modules.
- C. Provide a high level of activation at the street level
- D. Provide landscaped areas and open spaces that invite use and add visual interest

CHARACTER IMAGERY

These images illustrate the design guidelines and objectives for the Edge Neighborhood Mixed Use District.



- » Composition (base, middle & cap)
- » Variation in massing



- » Treatment of a side, or secondary wall:
- » Horizontal articulation (change in material)
- » Masonry
- » Vertical articulation (wall offset)
- » Landscaped edge



- » Composition (base, middle & cap)



» Vertical expression (change in materials and wall offsets)



» Vertical expression (wall offsets & change in cornice line)



» Vertical expression (wall offsets)
» Variation in cornice line



» Horizontal expression (change in materials, fenestration patterns)



» Street level activation (shopfront)



» Horizontal expression (change in materials, fenestration patterns)

SEC. 4.4.2. COMMERCIAL CORRIDOR (SY-ECC)

KEY PRINCIPLES

- A. Establish a pedestrian-friendly street edge with landscaping and buildings oriented to the street along 28th Street and other internal streets.
- B. Provide a sense of human scale and visual interest in building design.
- C. Improve connectivity within and among parcels.
- D. Accommodate new north-south street connections from 28th to Stockyards Boulevard.

CHARACTER IMAGERY

These images illustrate the design guidelines and objectives for the Edge Commercial Corridor District.



- » Vertical articulation (wall offsets)
- » Horizontal articulation (moldings, cornices and canopies)
- » Detailed stucco



- » Contemporary interpretation of arcade design
- » Vertical articulation (of columns)



- » Vertical articulation (wall offsets)
- » Horizontal articulation (moldings, cornices and canopies)



- » Vertical articulation (arcade/gallery)
- » Horizontal articulation (spandrels, stepbacks)



- » Entry identification
- » Base, middle & cap



- » Vertical articulation (change in materials, wall offsets)
- » Variation in cornice lines



- » Street level activation (arcade/gallery)
- » Variation in wall planes



- » Street activation of a secondary wall (foundation plantings and lattices)



- » Street level activation (shopfronts and outdoor use area)
- » Horizontal articulation (change in materials)
- » Vertical articulation (wall offsets)

SEC. 4.4.3. SITE DESIGN

OBJECTIVES

Highlight Landscapes and Views

Properties should be planned to emphasize landscaped areas and frame important views. This includes retaining significant existing landscape features, when feasible, and planning development with abutting properties in mind, such that opportunities to plan in a coordinated manner are maximized. Planning view corridors such that they align with those on adjacent properties, and complement historic view and circulation patterns, is also encouraged.

Each Development Should Help to Build a Sense of Neighborhood

Projects should be planned to relate to adjoining properties in a positive way, by promoting connections, by planning cooperatively to make joint use of natural features that span across properties, and with designs that convey a sense of visual continuity.

Provide Positive Open Space

These include public and private spaces, promenades, plazas and courtyards. In addition, integrate and maintain natural resources for the public to experience with open space areas.

Provide Landscaping that Enhances Views from the Public Way

Landscaping should contribute to the visual continuity and delight of the area, while complementing the identities of individual sites.

Provide Landscaping that Enhances Pedestrian Activity Within a Site

Landscaping should help to define functional areas within the site, such as walkways and outdoor use areas. These places should be designed to facilitate their use throughout the year.

Keep Parking Subordinate

Parking lots should not dominate the setting. They should be visually buffered.

A. Views

Views from the public right-of-way to natural features also should be maintained. Significant views may occur from major public open spaces, street intersections, bridges and roadway overlooks.

1. Enhance views from the public right-of-way to scenic natural features and landmarks, when feasible.
 - a. Locate a building to maintain key views as they are seen from the public right-of-way.

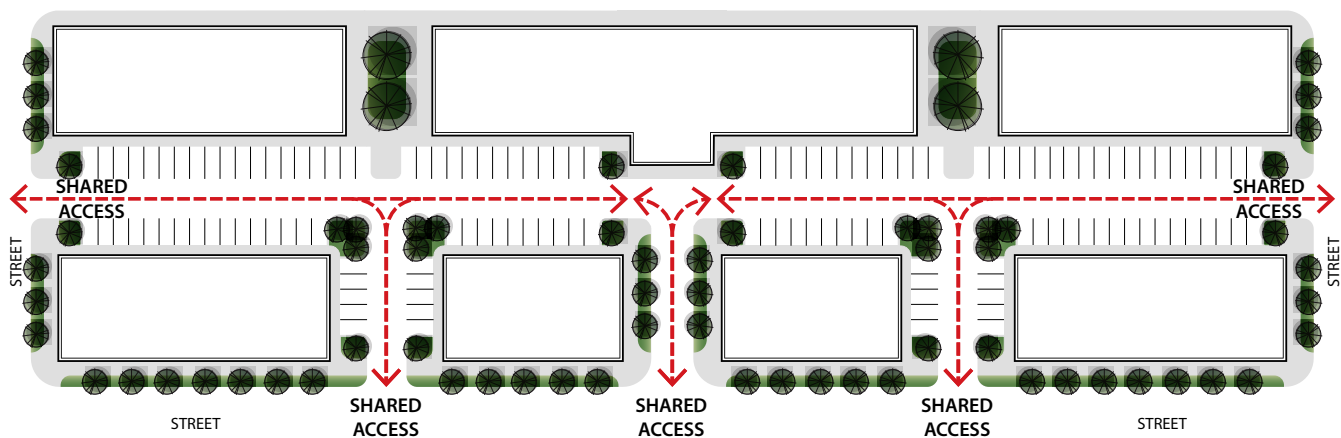


Enhance views from the public right-of-way to scenic natural features and landmarks, when feasible.

B. Auto Connectivity

Connections to auto circulation systems on adjoining properties and within properties that permit access without returning to the street, should be provided, when feasible, to permit convenient access and to reduce traffic on abutting public streets.

1. Provide direct automobile access within or to an abutting property, when feasible.
 - a. Even where an adjoining parcel is presently undeveloped, reserve the opportunity to provide a connection in the future.



Use shared drives to access parking areas.



Provide convenient connections for pedestrians and bicyclists between buildings on an individual site.

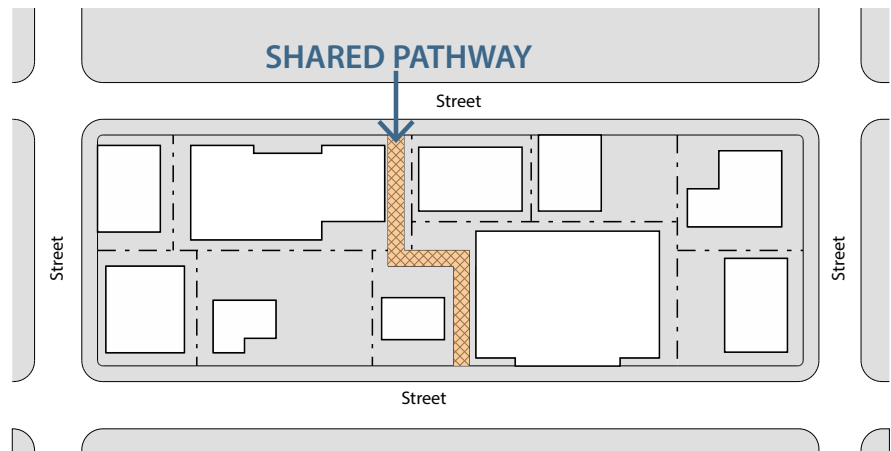
C. Pedestrian and Bicycle Connectivity

Safe and convenient pedestrian and bicycle access should be provided to the regional trail system and among properties to achieve a sense of being an integrated neighborhood and to reduce dependence upon automobiles. In addition, the internal site circulation system should be coordinated.



SEE DIV. 8.2 FOR NEW CONNECTION STANDARDS

1. Provide convenient connections to regional and neighborhood pedestrian and bikeway circulation systems.
 - a. Provide connections to regional trails when they abut a property or are in close proximity.
 - b. Provide a clearly defined, direct connection from internal walkways to adjoining public sidewalks.
 - c. Provide convenient pedestrian and bikeway connections among abutting properties.



Provide convenient connections to regional and neighborhood pedestrian and bikeway circulation systems.

D. Open Space

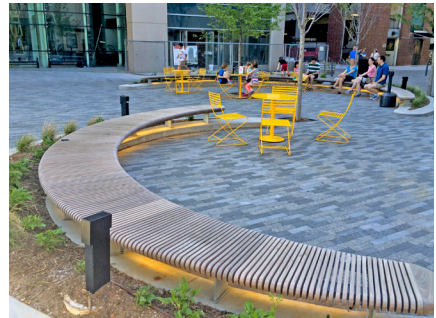
The development of open space is encouraged in order to enhance a site as a place for pedestrians. Buildings and other site functions should be planned to create outdoor space that serve public, private, passive and active uses.

1. Develop open space for the site.

- a. Define open space by clustering buildings in larger developments.
- b. Position this space such that it can be shared by adjoining buildings, when feasible.
- c. Consider orienting open space to views of activities, architectural landmarks or natural features to provide visual interest.

2. Provide public access and views to open space, when feasible.

- a. Decorative surface materials and landscaping should be integrated as design features.
- b. Reuse historic brick pavers whenever feasible.



The development of open space is encouraged in order to enhance a site as a place for pedestrians.



Reuse historic brick pavers whenever feasible.



Position outdoor space such that it can be shared by adjoining buildings, when feasible.

E. Landscape

Landscaped areas that can be enjoyed, both visually and functionally, should be provided in a project when feasible. Landscaped areas of an individual parcel should be coordinated with that of adjoining properties as well, such that mutual benefits can be maximized.



SEE DIV. 7.2 FOR LANDSCAPING STANDARDS

1. Coordinate landscaped areas with that of adjacent parcels such that they may be perceived as a larger area.
 - a. Also position landscaped areas to link access points with those of adjoining properties.
2. Organize uses to maximize natural assets of the site.
 - a. When a stormwater detention facility is to be provided, position it in green space and design it to be an amenity.
 - b. Locate a service area away from natural green space that is to be retained on the site.



Use a consistent plant palette throughout the property.



Landscaped areas that can be enjoyed, both visually and functionally, should be provided in a project when feasible.

F. Site Lighting

Site lighting should be designed to facilitate safe and convenient circulation of motorists, bicyclists and pedestrians. Light levels should be sufficient for safety. However, light spill onto adjacent properties and into the night sky should be minimized.

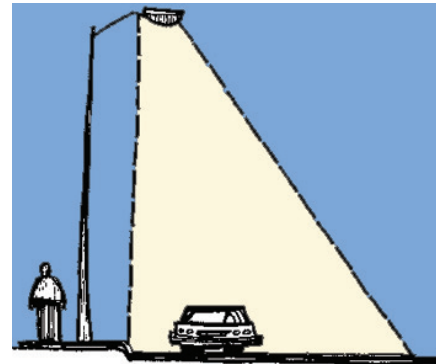


SEE DIV. 7.3 FOR SITE LIGHTING STANDARDS

1. **Minimize the level of lighting across parking areas.**
 - a. Focus higher light levels at key crossing points and intersections, rather than uniformly across a lot.
 - b. In other areas of a surface lot, provide a lower level of lighting, while also meeting safety needs.
2. **Provide lighting for pedestrian ways that is appropriately scaled to walking.**
 - a. Mount lights for pedestrian ways on short poles or consider using light posts (bollards).
3. **Light fixtures should be in character with the setting.**
 - a. Fixtures should be compatible with architectural and site design elements.



Provide lighting for pedestrians that is appropriately scaled to walking.



Lighting should be shielded to prevent off-site glare.

G. Service Areas

Service areas should be visually unobtrusive and should be integrated with the design of the site and associated buildings.



SEE SEC. 7.2.3 FOR SCREENING STANDARDS

1. **Minimize the visual impacts of service areas.**
 - a. Orient a service entrance, waste disposal area or other similar use toward service lanes and away from major streets.
 - b. Screen service entrances with walls or plantings.
 - c. When it will be visible from a public way, a service area screen should be in character with the building and site it serves.



Minimize the visual impacts of service areas.

SEC. 4.4.4. BUILDING DESIGN

OBJECTIVES

Complement the Design Traditions of the Stockyards Area

Buildings should complement the design traditions of the Stockyards area, in terms of building and roof forms, scale, materials and other design elements. Flat roofs with varied parapet lines and cornices are a key part of this tradition. Rectilinear building forms are the primary building form and should be provided.

Buildings that appear to be in scale with those seen traditionally also should be encouraged. Where a new building would be larger than those existing in the area, it should establish a transition in scale, to reduce the impact of building scale on the adjacent property, as well as on the neighborhood.

Achieve High Quality Design

Buildings in the commercial corridors should convey a high quality of design, in terms of their materials and details, as well as through a consistent organization of forms and elements. This quality should establish a standard for design throughout the community.

Design for Durability

Buildings should be designed for the long term with durable materials.

Enhance the Pedestrian Experience

Each improvement project should contribute to a pedestrian-friendly environment. This includes defining the street edges and walkways with buildings and spaces that are visually interesting and that attract pedestrian activity.



Buildings should complement the design traditions of the Stockyards Area, in terms of building and roof forms, scale, materials and other design elements.



Buildings in the commercial corridors should convey a high quality of design, in terms of their materials and details, as well as through a consistent organization of forms and elements.



Enhance the pedestrian experience. Each improvement project should contribute to a pedestrian-friendly environment.

A. Building Character

A new building should complement the design precedents of the stockyards area while expressing its own time.

1. Innovative new designs that draw upon regional design traditions are preferred.
 - a. Design a building to provide a sense of authenticity in building and material.
 - b. Standardized “franchise” style architecture is discouraged.
2. The exact imitation of historic styles is inappropriate for new construction.
 - a. Contemporary interpretations of historic building forms, massing, materials and details that occurred traditionally in the form district are appropriate.



Design a building to provide a sense of authenticity in building material.



Innovative new designs that draw upon regional design traditions are preferred. These example buildings incorporate timber framing that resembles the construction of the pen areas in the Stockyards.

ARTICLE 5. RULES FOR ALL DISTRICTS

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Div. 5.1. Measurements and Exceptions

Sec. 5.1.1. Building Placement

A. Building Setbacks

All buildings and structures (principal and accessory) must be located at or within the required building setbacks except as listed below. No building or structure can extend into a required easement.

1. Building Features

- a. Awnings/canopies, balconies, galleries, porches and stoops may extend into a required front setback as stated in [Sec. 5.1.4](#).
- b. Building eaves, roof overhangs, gutters, downspouts, light shelves, bay windows and oriels less than 10 feet wide, cornices, belt courses, sills, buttresses or other similar architectural features may encroach up to 3 feet into a required setback, provided that such extension is at least 2 feet from the vertical plane of any lot line.
- c. Chimneys or flues may encroach up to 4 feet, provided that such extension is at least 2 feet from the vertical plane of any lot line.
- d. Unenclosed patios, decks, balconies, stoops, porches, terraces or fire escapes may encroach into a common lot line setback, provided that such extension is at least 5 feet from the vertical plane of any lot line.
- e. Handicap ramps may encroach to the extent necessary to perform their proper function.

2. Site Features

- a. Structures below and covered by the ground may encroach into a required setback.
- b. Fences and walls (including retaining walls and railings) may encroach into a required setback (see [Sec. 7.2.4](#)).
- c. Dumpster and recycling enclosures may encroach into a common lot line setback only (see [Sec. 7.2.3](#) for screening standards).
- d. Landscaping, trees, planters, lighting, benches, trash receptacles, public art, water features, bollards, and other street furniture may encroach into a required setback.
- e. Signs may encroach into a required setback (see [Div. 7.4](#)).
- f. Pedestrian or cyclist facilities, such as sidewalks, pathways and bicycle parking, may encroach into a required setback.
- g. Driveways may encroach into a required setback.
- h. Accessory structures, such as kiosks, concession stands and similar structures, may encroach into a required setback (see [Sec. 2.4.5.F](#)).
- i. Outdoor storage and outdoor display may encroach into a required setback (see [Div. 7.5](#)).

3. Low Impact Stormwater Features

- a. Low impact stormwater management features may encroach into a required front setback including, but not limited to:

- i. Rain barrels or cisterns, 6 feet or less in height;
- ii. Planter boxes;
- iii. Bio-retention areas; and
- iv. Similar features, as determined by the FBC Administrator.

- b. Low impact stormwater management features listed above may encroach into a required common lot line setback, provided such extension is at least 1 foot from the vertical plane of any lot line.

4. Mechanical Equipment and Utility Lines

- a. Mechanical equipment, such as HVAC units, swimming pool pumps or filters, security lighting, and tankless water heaters may encroach into a required common lot line setback, provided that the encroachment is at least 2 feet from the vertical plane of any lot line (see [Sec. 7.2.3](#) for screening standards).
- b. Minor structures accessory to utilities, such as hydrants, transformers, miscellaneous utility cabinets, electric meters, aboveground water utility devices, cable television or phone utility boxes, and wires and conduits may encroach into a required common lot line setback, provided that the encroachment is at least 2 feet from the vertical plane of any lot line (see [Sec. 7.2.3](#) for screening standards).

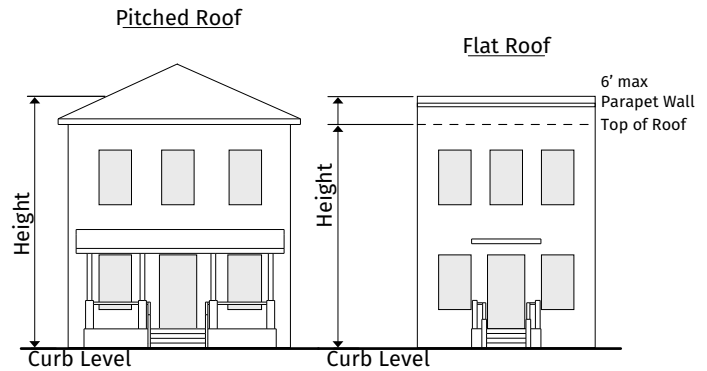
Sec. 5.1.2. Bulk and Mass

A. Building Height

- 1. Building height is the vertical distance in feet measured from the curb level to the highest point of the roof surface, if a flat roof; to the

deck line of a mansard roof; and to the mean height level between eaves and ridge for a gable, hip or gambrel roof.

- 2. On a flat roof, a parapet wall may exceed the height limit by a maximum of 6 feet.



B. Height Encroachments

All buildings and structures must be located at or below the maximum height limit except as listed below.

- 1. The maximum height limits of the district do not apply to spires, belfries, cupolas, domes not intended for human occupancy; monuments, water tanks, water towers or other similar structures which, by design or function, must exceed the established height limits.
- 2. The following may exceed the established height limit provided they do not exceed the maximum height by more than 6 feet:
 - a. Chimney, flue or vent stack;
 - b. Flagpole;
 - c. Vegetation or landscaping associated a green roof;
 - d. Skylights;
 - e. Unroofed and unenclosed rooftop terrace;
 - f. Parapet wall; and
 - g. Solar panels.

3. The following may exceed the established height limit provided they do not exceed the maximum building height by more than 15 feet, do not occupy more than 25% of the roof area, and are set back at least 10 feet from the edge of the roof:
 - a. Elevator or stairway access to roof;
 - b. Rooftop shade structure;
 - c. Wind turbines, rainwater collection systems.
 - d. Greenhouse; and
 - e. Mechanical equipment.

C. Building Mass

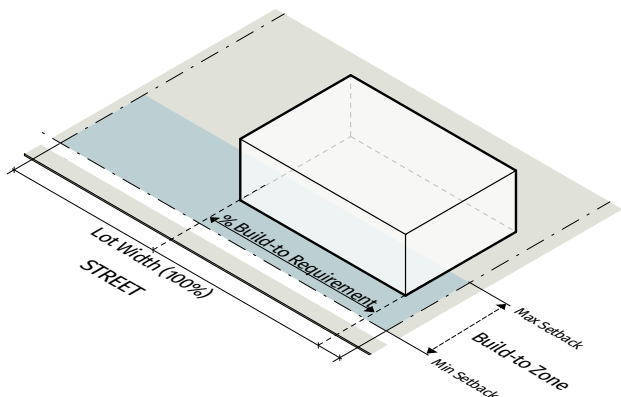
1. Street-Facing Building Length

Street-facing building length is the maximum length of a building or structure.

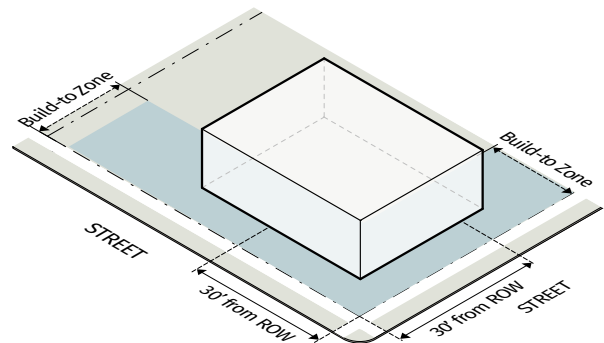
Sec. 5.1.3. Frontage

A. Build-to-Zone

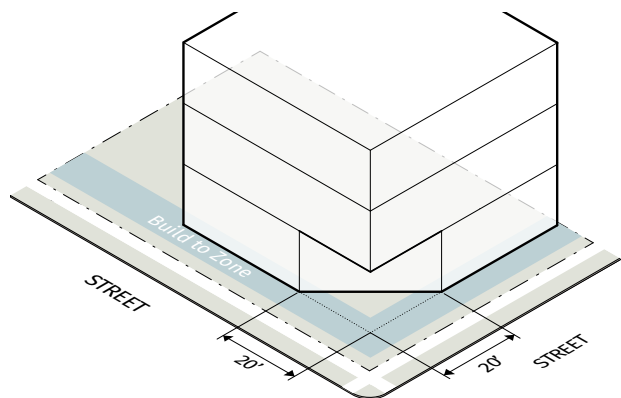
1. The build-to zone is the area on the lot or site where a percentage of the building facade must be located, measured as a minimum and maximum setback range from the edge of the right-of-way.
2. The required percentage specifies the amount of the building facade that must be located in the build-to zone, measured based on the width of the building or buildings divided by the width of the lot.



3. On a corner lot, a building facade must be placed within the build-to zone for the first 30 feet along the street extending from the block corner, measured from the intersection of the two right-of-way lines.

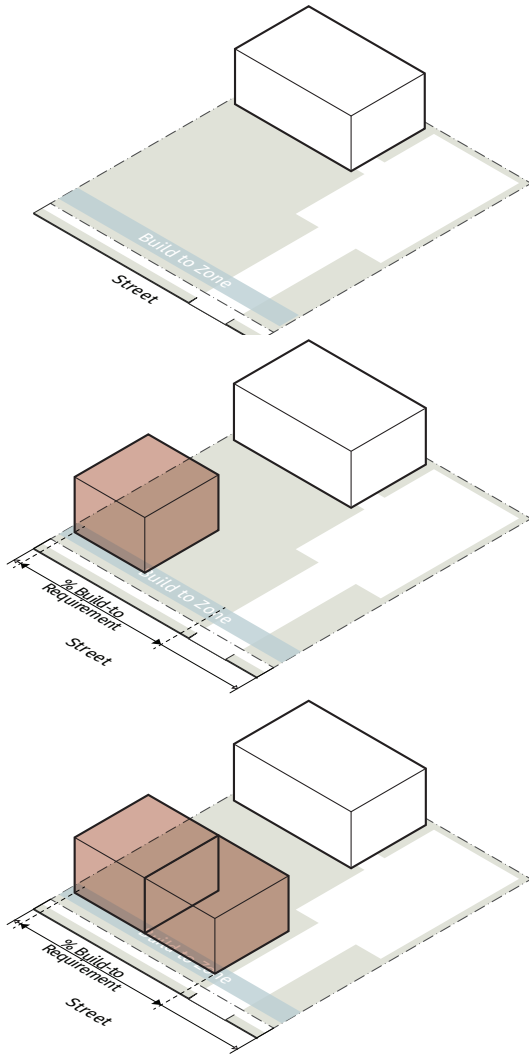


4. The build-to zone applies to the 1st and 2nd stories of a building.
5. With the exception of parking spaces, all structures and uses allowed on the lot are allowed within the build-to zone.
6. A forecourt meeting the requirements of [Sec. 5.1.4.D](#) is considered part of the building for the purpose of meeting the build-to requirement.
7. A chamfered corner on the ground floor of no more than 20 feet in width that extends outside of the build-to zone is considered part of the building for the purpose of meeting the build-to requirement.

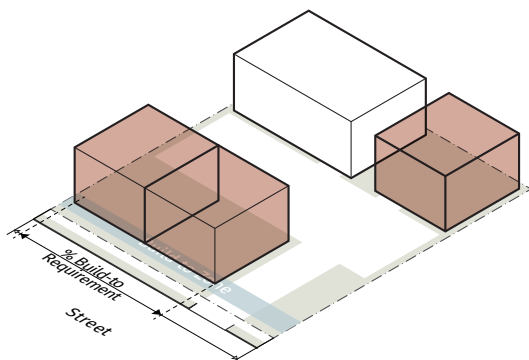


B. Build-to-Zone: New Buildings

1. All new buildings must be placed in the build-to zone until the required percentage for the entire lot or site has been met.



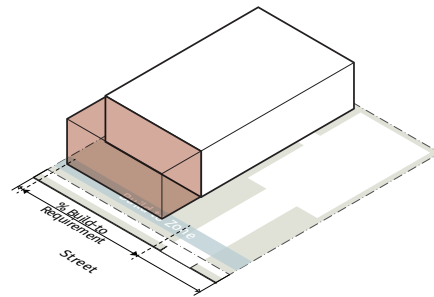
2. Once the required percentage has been met for the entire lot or site, new buildings may be placed outside of the build-to zone.



C. Build-to Zone: Additions

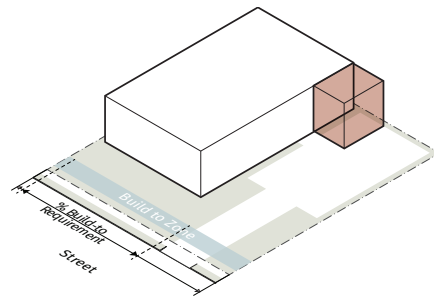
1. Front Additions

Any addition to the front of an existing building must be placed in the build-to zone. The addition does not have to meet required percentage for the entire lot or site. Front additions no greater than 10% cumulatively of the existing building footprint are allowed outside of the build-to zone.



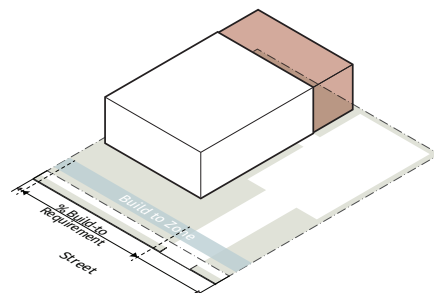
2. Side Additions

Side additions no greater than 20% cumulatively of the existing building footprint are allowed outside of the build-to zone. Once the required percentage for the entire lot or site has been met side additions of any size are allowed.



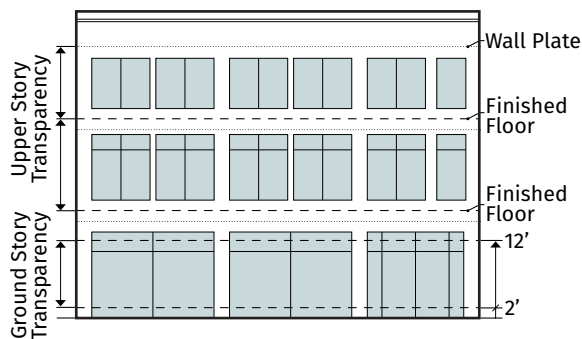
3. Rear Additions

Rear additions are allowed outside of the build-to zone.



D. Transparency

1. Transparency applies to all building facades that face a designated Frontage.
2. Transparency is the minimum percentage of windows and doors that must cover a ground or upper story facade.
3. Clear glazing must have a visible transmittance rating of 0.5 or greater to count towards the transparency requirement.
4. Ground story transparency is measured between 2 and 12 feet above the abutting sidewalk. Upper story transparency is measured from top of the finished floor to the top of the finished floor above. When there is no floor above, upper story transparency is measured from the top of the finished floor to the top of the wall plate above.



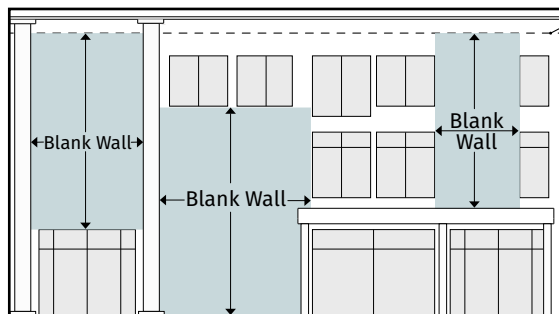
5. In the Pedestrian, Active Alley and Historic Shopfront Frontages, a minimum of 60% of the required transparency must allow views into the ground story use for a depth of at least 8 feet. Windows cannot be made opaque by window treatments (except operable sunscreen devices within the conditioned space).

E. Blank Wall Area

1. Blank wall area applies to all building facades that face a designated Frontage.
2. Blank wall area means a portion of the exterior facade of the building that does not include: windows or doors; columns, pilasters

or other articulation greater than 12 inches in depth; or a substantial material change (paint color is not considered a substantial change).

3. Blank wall area applies in both a vertical and horizontal direction.



F. Transparency Alternatives

The following alternatives may count towards a portion of the transparency requirement and can be used in singular or combination. Alternatives may count for no more than 50% of the total transparency requirement.

Translucent Glazing

Translucent, fritted, patterned, or color glazing



Display Cases

Wall mounted or recessed display cases at least 4 feet in height.



Living Wall

Green facade system, green or living wall, or similar vegetation



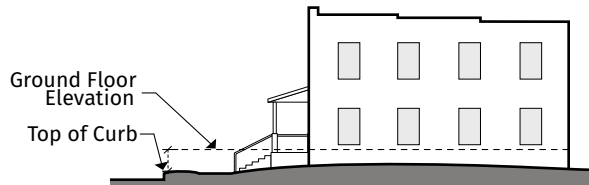
Outdoor Dining Area

Outdoor dining/seating located between the building and street.



G. Ground Floor Elevation

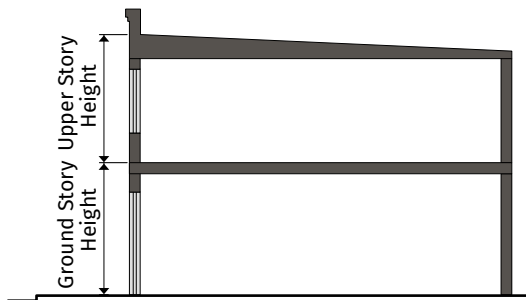
1. Ground floor elevation is measured from top of the adjacent curb to the top of the finished ground floor.
2. Minimum ground floor elevation applies to the first 30 feet of the lot measured from the right-of-way.



4. An angled entrance provided at the corner of a building meets the entrance requirements for two intersecting Frontages. However, the entrance spacing requirement applies separately for each Frontage.
5. Entrance spacing is measured from the edge of door to the edge of the next door.

H. Story Height

Story height is the height of each story of building and it is measured from the top of the finished floor to the top of the finished floor above. When there is no floor above, upper story height is measured from the top of the finished floor to the top of the wall plate above.



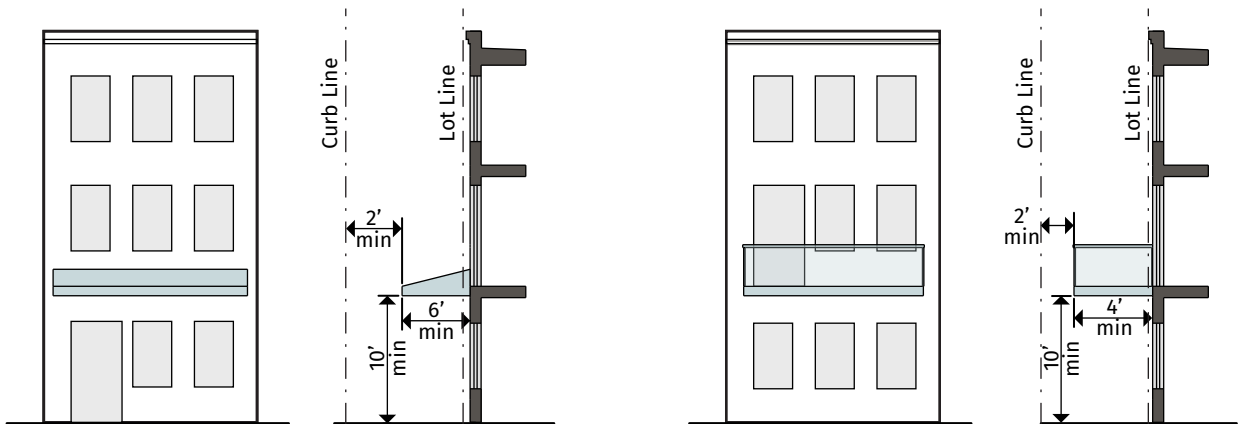
I. Pedestrian Access

1. An entrance providing both ingress and egress, operable to residents at all time or customers during operating hours, is required to meet the pedestrian access requirement.
2. Additional entrances off another street, pedestrian area, open space or internal parking area are allowed.
3. The entrance spacing requirement must be met for each building, but are not applicable to adjacent buildings.

Sec. 5.1.4. Building Elements

A. Intent

The following standards are intended to ensure that certain building elements when added to a Frontage are of sufficient size to be both usable and functional and be architecturally compatible with the Frontage they are attached to. Building elements are allowed by Frontage, see [Div. 2.3](#), [Div. 3.3](#) or [Div. 4.3](#), and may be used individually or in combination as allowed. Requirements for each building element are listed below.



B. Awning/Canopy

A wall-mounted, cantilevered structure providing shade and cover from the sun.

1. An awning/canopy must be a minimum of 10 feet clear height above the sidewalk and must have a minimum depth of 6 feet.
2. An awning/canopy may extend into a required front setback.
3. Subject to the issuance of a right-of-way encroachment agreement, an awning/canopy may encroach over the right-of-way but must be at least 2 feet inside the curb line or edge of pavement, whichever is greater.

C. Balcony

A platform projecting from the wall of an upper-story of a building with a railing along its outer edge, often with access from a door or window.

1. A balcony must be at least 4 feet deep.
2. A balcony must have a clear height above the sidewalk of at least 10 feet.
3. A balcony may be covered and screened, but cannot be fully enclosed.
4. A balcony may extend into a required front setback.
5. Subject to the issuance of a right-of-way encroachment agreement, a balcony may encroach over the right-of-way but must be at least 2 feet inside the curb line or edge of pavement, whichever is greater.



D. Forecourt

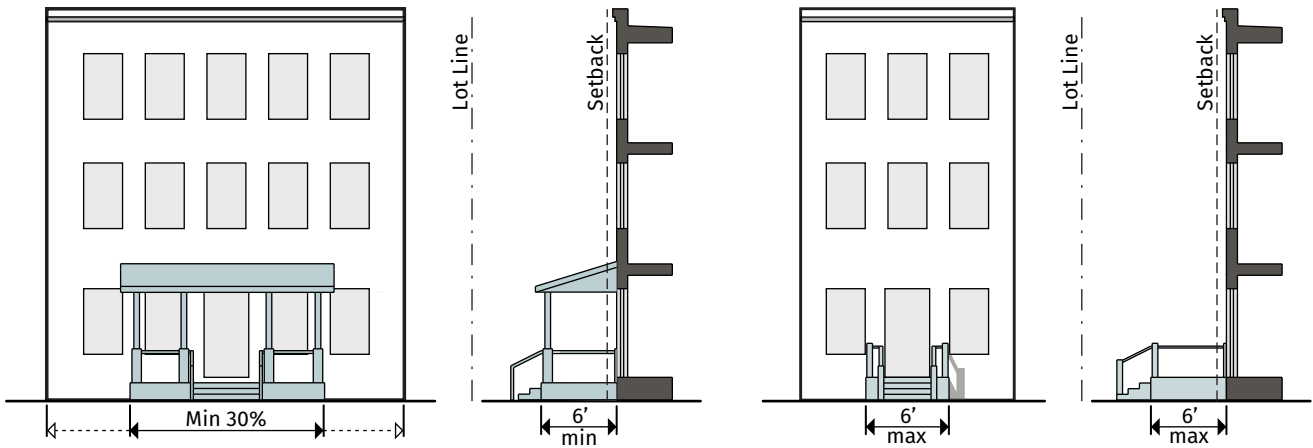
An open area at grade, or within 30 inches of grade, that serves as an open space, plaza or outdoor dining area. Where allowed, a forecourt meeting the following requirements is considered part of the building for the purpose of meeting a required build-to.

1. A forecourt must be no more than one-third of the length of the building face, and in no case longer than 35 feet in width.
2. A maximum of one forecourt is permitted per building.
3. The standards above apply only to a forecourt used to meet a portion of a required build-to. A forecourt not used to meet a portion of a required build-to is not regulated above.

E. Gallery

A covered passage extending along the outside wall of a building supported by arches or columns that is open on three sides.

1. A gallery must have a clear depth from the support columns to the building’s facade of at least 8 feet and a clear height above the sidewalk of at least 12 feet.
2. A gallery may extend into a required front setback.
3. A gallery must be contiguous and extend over at least 75% of the width of the building facade from which it projects.
4. Subject to the issuance of a right-of-way encroachment agreement, a gallery may encroach into the right-of-way but must be at least 2 feet inside the curb line or edge of pavement, whichever is greater.



F. Porch

A raised structure attached to a building, forming a covered entrance to a doorway.

1. A porch must be at least 6 feet deep (not including the steps).
2. A porch must be roofed and may be screened, but cannot be fully enclosed.
3. A porch must be contiguous, with a width not less than 30% of the building facade from which it projects.
4. A porch, including the steps, may extend into a required front setback.
5. A porch, including the steps, may not encroach into the right-of-way.

G. Stoop

A small raised platform that serves as an entrance to a building.

1. A stoop must be no more than 6 feet deep (not including the steps) and 6 feet wide.
2. A stoop may be covered but cannot be fully enclosed.
3. A stoop, including the steps, may extend into a required front setback.
4. A stoop, including the steps, may not encroach into the right-of-way.

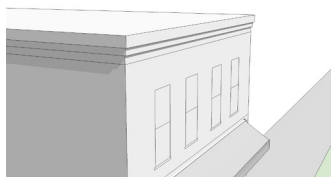
Div. 5.2. Architectural Standards

Sec. 5.2.1. Roof Form

For new buildings in a Historic District, roof forms must be compatible with the historic context. Those in the Transition Districts must be consistent with those seen historically in those areas, while accommodating new designs. In an Edge District, more variety in roof forms are allowed. Roof forms are allowed by sub-district (see [Div. 2.2](#), [Div. 3.2](#) or [Div. 4.2](#)). Allowed roof forms may be used individually or in combination. Descriptions of each roof form are listed below.

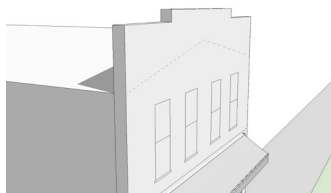
Flat

Flat roof (with a pitch less than 2:12) with a low parapet wall (less than 6 feet in height) on the outside edge of the roof.



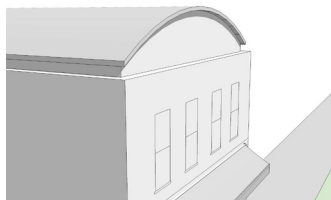
Traditional Parapet

Roof with parapet wall (6 feet or more in height) on the outside edge of the roof that conceals a flat, barrel vaulted, gabled or hipped roof.



Barrel Vault

A roof having an exposed curved form, often semicircular in cross section, with no angle change.



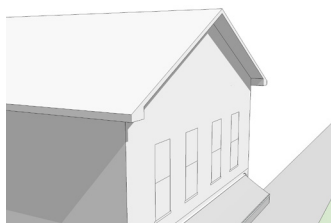
Gable - Medium Pitch

An exposed triangular roof form with a pitch of 2:12 and greater but less than 8:12.



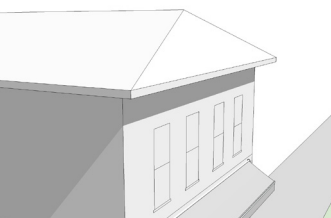
Gable - Steep Pitch

An exposed triangular roof form with a pitch of 8:12 and greater.



Hipped

An exposed four-sided roof form having sloping ends and sides.



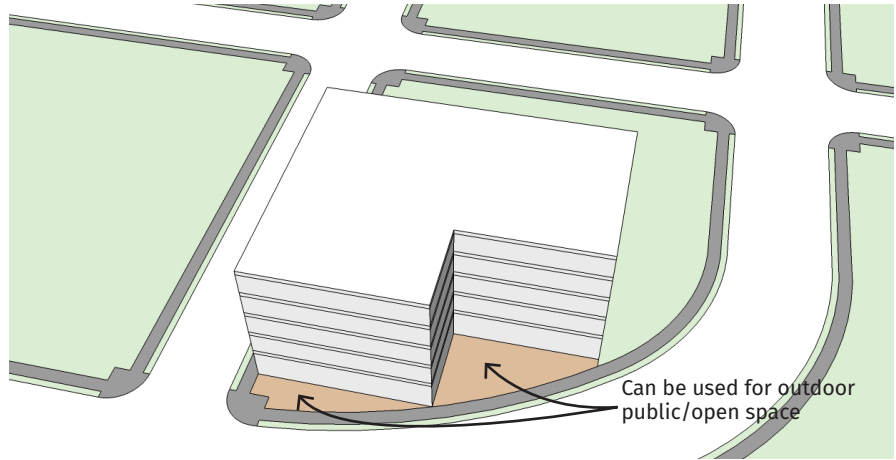
Sec. 5.2.2. Building Form

Traditionally, most buildings in the Stockyards area had a rectilinear building form. Continuing this tradition will help to convey the arrangement of buildings, paths, streets and rail lines that existed. However, where a curved or angled street exists or is proposed, an angled or curved building form may not be appropriate. Therefore, building form is regulated by sub-district (see [Div. 2.2](#), [Div. 3.2](#) or [Div. 4.2](#)). Allowed building forms may be used individually or in combination. Descriptions of each building form are listed below.

Rectilinear

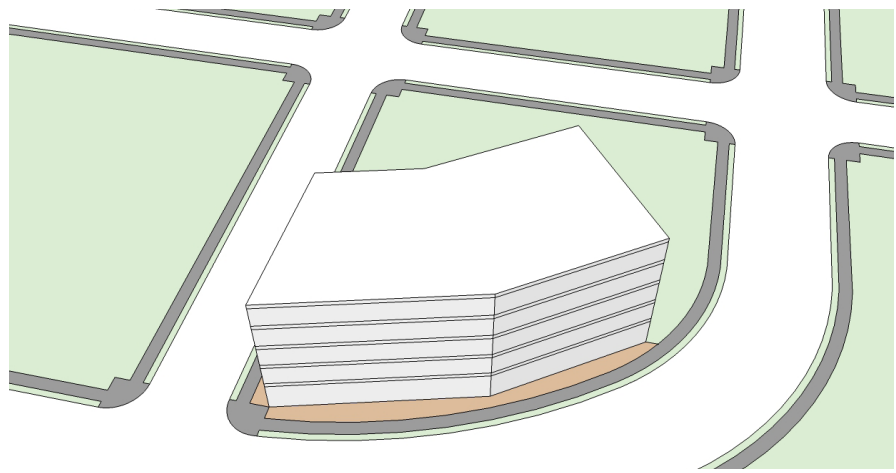
A building facade that changes at an angle of 90 degrees (right-angle).

An accent element on a rectilinear building may be curved or angled; however, the element must be subordinate in size when compared to the primary rectilinear form of the building.



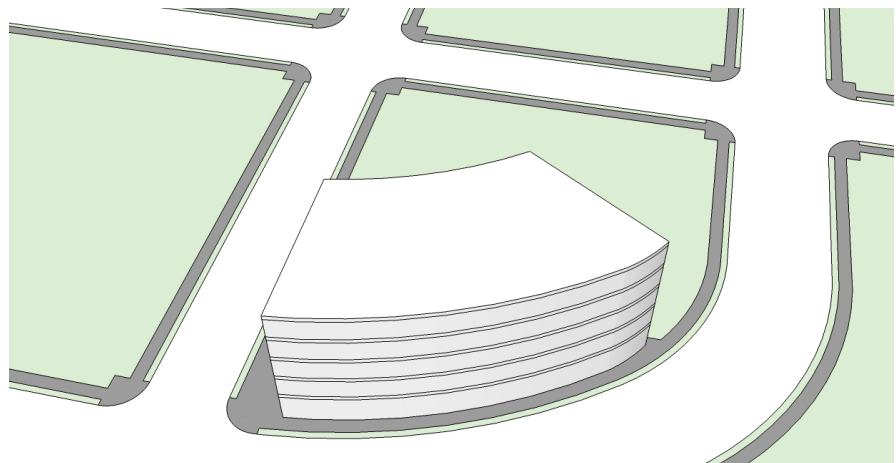
Angled

A building facade that changes at an angle greater than 90 degrees and less than 180 degrees (obtuse angle).




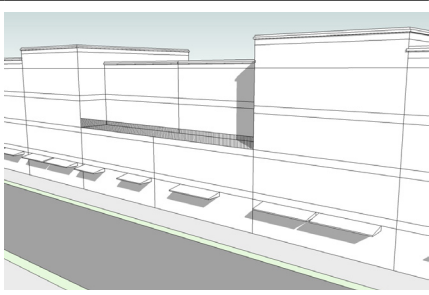
Curved

A building facade that bends in a smooth, continuous way without angles.



Sec. 5.2.3. Articulation

A. The following table indicates the standards for appropriate building articulation. Refer to the [Sec. 5.2.3.B](#) to determine the number of articulation techniques that must be used. The articulation standards do not apply in the Historic District.

<p>Base, Middle, Cap</p> <ul style="list-style-type: none"> › Expressed by horizontal moldings, cornices, fenestration, patterns and changes in materials. 		
<p>Horizontal Articulation</p> <ul style="list-style-type: none"> › Horizontal Molding: 2" min in depth and 6" min in height, full width of facade. › Alignment: upper-story windows, balconies, canopies and other architectural features in alignment with one another and the historic context, for the full width of facade › Cornice: 6" min in depth and 18" min in height, for the full width of facade. 		
<p>Vertical Articulation</p> <ul style="list-style-type: none"> › Roof Line Offset: 3' min height difference for at least 20% of facade width › Vertical Molding: 4" min in depth and 12" in width, full height of facade › Wall Notch: 4' min depth, 6' min width and full height of facade for at least 10% of facade width. 		
<p>Step Back</p> <ul style="list-style-type: none"> › 10' min step back from street facing facade plane for at least 20% of facade width. 		
<p>Material Variation</p> <ul style="list-style-type: none"> › Change in materials and their inherent colors, textures and finishes. 		

Note: The images above are intended to illustrate the articulation techniques, the heights and other dimensions shown may not be allowed in some sub-districts.

B. The following table indicates the required number of articulation techniques that must be used based on the facade length facing a designated Frontage. Refer to the [Sec. 5.2.3.A](#) for standards for each articulation technique. The articulation standards do not apply in the Historic District

	-----Facade Length-----		
	(< 50)	(50'-75')	(> 75')
Number of Required Articulation Techniques	2	3	4
Base, Middle, Cap	R	R	R
Horizontal Articulation	R	R	R
Vertical Articulation	O	O	R
Step Back	O	O	O
Material Variation	O	O	O

R = Required O = Optional

Sec. 5.2.4. Building Materials

A. Primary and Secondary Building Materials




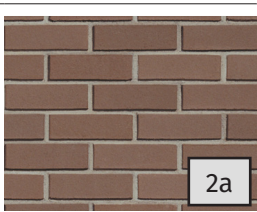






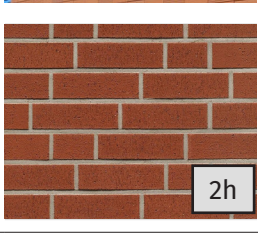

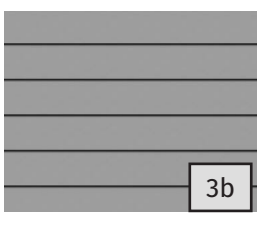



The following table indicates building materials that are appropriate as primary (P) or secondary (S) materials in each of the sub-districts. Secondary materials cannot exceed 25% of the surface area of any one building facade. These standards apply to the primary and secondary materials that are integral to the wall of a building. They do not limit use for accents or accessories such as storefronts, awnings or canopies.

	Historic		Transition					Edge	
	HSH	HCO	TMC	TNF	TNX	TSA	TNE	ENX	ECC
1. Stucco									
a. Authentic	S	S	P/S	P/S	P/S	S	P/S	P/S	P/S
b. Synthetic (scored)	S	--	S	P/S	S	S	P/S	S	P/S
c. Synthetic (not scored)	--	--	--	S	S	--	P/S	--	S
2. Masonry									
a. Brick	P/S	P/S	P/S	P/S	P/S	P/S	P/S	P/S	P/S
b. Stone	S	S	P/S	P/S	P/S	P/S	P/S	P/S	P/S
c. Patterned Pre-Cast Concrete	S	S	--	--	S	S	S	P/S	P/S
d. Cement Board Siding	S	S	--	S	S	S	P/S	S	P/S
e. Terra Cotta & Ceramic Block	S	S	S	S	S	S	S	S	S
f. Detailed Concrete	--	--	S	S	S	S	S	S	S
g. Cast Stone	S	S	S	--	S	S	S	S	S
h. Prefabricated Brick Panels	--	--	--	--	--	--	--	S	S
3. Siding									
a. Shingled	S	S	S	S	S	S	S	S	S
b. Horizontal Lap (Wood and Cement Board Siding)	S	S	--	--	S	S	--	S	--
c. Vertical Board and Batten	--	--	--	--	S	S	--	S	--
4. Metal									
a. Metal Panels	S	S	S	S	S	S	P/S	P/S	P/S

P = Allowed as a Primary Material S = Allowed as a Secondary Material -- = Material Not Allowed

B. Building Material Images

Primary and secondary building materials are illustrated below. Allowed building materials may be used individually or in combination. Examples of each type of material are shown below.

<p>1. Stucco</p> <ul style="list-style-type: none"> a. Authentic b. Synthetic (scored) c. Synthetic (not scored) 	 <p>1a</p>	 <p>1b</p>	 <p>1c</p>
<p>2. Masonry</p> <ul style="list-style-type: none"> a. Brick b. Stone c. Patterned Pre-Cast Concrete d. Cement Board Siding e. Terra Cotta & Ceramic Block f. Detailed Concrete g. Cast Stone h. Prefabricated Brick Panels 	 <p>2a</p>	 <p>2b</p>	 <p>2c</p>
	 <p>2d</p>	 <p>2e</p>	 <p>2f</p>
	 <p>2g</p>	 <p>2h</p>	
<p>3. Siding</p> <ul style="list-style-type: none"> a. Shingled b. Horizontal Lap Board (Wood and Cement Board Siding) c. Vertical Board and Batten 	 <p>3a</p>	 <p>3b</p>	 <p>3c</p>
<p>4. Metal</p> <ul style="list-style-type: none"> a. Metal Panels 	 <p>4a</p>	 <p>4a</p>	

ARTICLE 6. LAND USE PROVISIONS

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Div. 6.1. Permitted Uses

Sec. 6.1.1. Use Classification

A. Allowed Uses

Sec. 6.1.2 establishes allowed principal and accessory uses. No building or lot may be used except for a purpose permitted in the sub-district in which it is located. Uses not specifically listed must be approved by the FBC Administrator in accordance with Sec. 6.1.1.B.

B. Unlisted Uses

1. Principal Uses

- a. A principal use not specifically listed in Sec. 6.1.2 is prohibited. If a principal use is not listed then the FBC Administrator will, upon the request of any interested party, make a determination within which sub-district, if any, a proposed use is allowed.
- b. When determining whether a proposed use is similar to a listed use, the FBC Administrator will consider the following criteria:
 - i. The actual or projected characteristics of the proposed use;
 - ii. The relative amount of site area or floor area and equipment devoted to the proposed use;
 - iii. Relative amounts of sales;
 - iv. The customer type;
 - v. The relative number of employees;
 - vi. Hours of operation;
 - vii. Building and site arrangement;
 - viii. Types of vehicles used and their parking requirements;

- ix. The number of vehicle trips generated;
 - x. How the proposed use is advertised;
 - xi. The likely impact on surrounding properties; and
 - xii. Whether the activity is likely to be found independent of the other activities on the site.
- c. Where a use not listed is found by the FBC Administrator not to be similar to any other permitted use, the use can only be permitted following a text amendment.

2. Accessory Uses

An accessory use not specifically listed is Sec. 6.1.2 is prohibited unless the FBC Administrator determines the accessory use:

- a. Is clearly incidental to and customarily found in connection with an allowed principal use;
- b. Is serving an allowed principal use;
- c. Is subordinate in area, extent and purpose to the principal use served;
- d. Contributes to the comfort, convenience or needs of occupants, business or industry in the principal use served; and
- e. Is located on the same lot as the principal use served.

C. Key to the Allowed Use Table

1. Permitted Uses (P)

A “P” in a cell indicates that a use is allowed by-right in the respective sub-district. Permitted uses are subject to all other applicable regulations of this Code and the City of Fort Worth Zoning Ordinance. A “P*” in any cell means that supplemental use standards apply. The specific section number of the supplemental standards are noted in the right-hand column, titled “Supplemental Use Standards.”

2. Special Exception Required (SE)

An “SE” in a cell indicates that a use is allowed only if reviewed and approved as a special exception use in the respective sub-district, in accordance with the review procedures of Chapter 3, Article 3 of the City of Fort Worth Zoning Ordinance. An “SE*” in any cell means that supplemental standards use also apply. The specific section number of the supplemental standards are noted in the right-hand column, titled “Supplemental Use Standards.”

3. Uses Not Allowed

A “--” indicates that a use is not allowed in the respective sub-district.

Sec. 6.1.2. Allowed Use Table

	SY-HSH	SY-HCO	SY-TMC	SY-TNF	SY-TNX	SY-TNE	SY-TSA	SY-ENX	SY-ECC	Supplemental Use Standards
Residential Uses										
Household Living										
One-family detached dwelling	--	--	--	--	--	--	--	--	--	
Two-family detached	--	--	--	--	--	--	--	--	--	
Duplex/two-family attached dwelling	--	--	--	--	--	--	--	--	--	
One-family attached (townhouse, rowhouse)	--	--	P	--	P	P	P	P	P	
Multifamily dwelling	P*	--	P	--	P	P	P*	P	P	Sec. 6.21
One dwelling unit (when part of a business)	P	--	P	--	P	P	P	P	P	
Group Living										
Boarding House	--	--	--	--	--	--	--	--	--	
Community Home	--	--	--	--	P*	P*	P*	P*	P*	§ 5.110 (City Zoning Ordinance)
Group Home I	--	--	--	--	P*	P*	P*	P*	P*	§ 5.115 (City Zoning Ordinance)
Group Home II	--	--	--	--	P*	P*	P*	P*	P*	§ 5.115 (City Zoning Ordinance)
Halfway House	--	--	--	--	--	--	--	--	--	
Shelter	--	--	--	--	--	--	--	--	--	
Public and Civic Uses										
Education										
College or University	--	--	--	--	--	--	--	--	--	
Day Care Center (Child or Adult)	--	--	--	--	P*	P*	P*	P*	P*	§ 5.111 (City Zoning Ordinance)
School, Elementary or Secondary (Public)	--	--	--	--	--	P	P	P	--	
School, Elementary or Secondary (Private)	--	--	--	--	--	P	P	P	--	
Business College or Commercial School	P	P	P	P	P	P	P	P	P	
Government										
Animal Shelter	--	--	--	--	--	--	--	--	--	
Correctional Facility	--	--	--	--	--	--	--	--	--	
Government Maintenance Facility	--	--	--	--	--	--	--	--	--	
Government Office Facility	P	P	P	P	P	P	P	P	P	

P = Permitted P* = Permitted must also meet supplemental use standards SE = Special Exception Required
 SE* = Special Exception required and must also meet supplemental use standards -- = Not Permitted

	SY-HSH	SY-HCO	SY-TMC	SY-TNF	SY-TNX	SY-TNE	SY-TSA	SY-ENX	SY-ECC	Supplemental Use Standards
Government										
Governmental Vehicle Storage/ Junkyard	--	--	--	--	--	--	--	--	--	
Museum, Library or Fine Art Center	P	P	P	P	P	P	P	P	P	
Probation or Parole Office	--	--	--	--	--	--	--	--	P	
Health Care Facilities										
Ambulance Dispatch Station	--	--	--	--	--	--	--	--	P	
Assisted Living Facility	--	--	--	--	P	P	P	P	P	
Blood Bank	--	--	--	--	--	--	--	--	P	
Care Facility	--	--	--	--	P	P	P	P	P	
Health Services Facility, including Doctor's or Medical Office					P	P	P	P	P	
Hospice	--	--	--	--	P	P	P	P	P	
Hospital	--	--	--	--	--	--	--	--	--	
Massage Therapy and Spa	P	P	P	P	P	P	P	P	P	
Nursing Home (with Full Medical Services)	--	--	--	--	P	P	P	P	P	
Recreation										
Center, Community Recreation or Welfare	--	--	--	--	P	P	P	P	P	
Center, Community Recreation or Welfare (private or non-profit)	--	--	--	--	P	P	P	P	P	
Country Club (private)	--	--	--	--	--	--	--	--	--	
Country Club (public)	--	--	--	--	--	--	--	--	--	
Golf Course	--	--	--	--	--	--	--	--	--	
Golf Driving Range	--	--	--	--	--	--	--	--	--	
Park or Playground (public or private)	P	P	P	P	P	P	P	P	P	
Religious										
Place of Worship	P	P	P	P	P	P	P	P	P	
Place of Worship Auxiliary Use	P	P	P	P	P	P	P	P	P	

P = Permitted P* = Permitted must also meet supplemental use standards SE = Special Exception Required
 SE* = Special Exception required and must also meet supplemental use standards -- = Not Permitted

LAND USE PROVISIONS | Permitted Uses

	SY-HSH	SY-HCO	SY-TMC	SY-TNF	SY-TNX	SY-TNE	SY-TSA	SY-ENX	SY-ECC	Supplemental Use Standards
Utilities										
Electric Power Substation	--	--	--	--	SE	SE	SE	SE	SE	
Gas Lift Compressor Station	--	--	--	--	SE	SE	SE	SE	SE	Ch. 15, Gas City Code
Gas Line Compressor Station	--	--	--	--	SE	SE	SE	SE	SE	Ch. 15, Gas City Code
Power Plant or Central Station Light	--	--	--	--	--	--	--	--	--	
Stealth Telecommunications Towers	--	--	--	--	SE*	SE*	SE*	SE*	SE*	§ 5.137 (City Zoning Ordinance)
Telecommunications Antenna (on structure)	--	SE*	SE*	SE*	SE*	SE*	SE*	SE*	SE*	§ 5.133 (City Zoning Ordinance)
Telecommunications Tower	--	--	--	--	SE*	SE*	SE*	SE*	SE*	§ 5.137 (City Zoning Ordinance)
Utility Transmission or Distribution Line	SE*	SE*	SE*	SE*	SE*	SE*	SE*	SE*	SE*	§ 5.140 (City Zoning Ordinance)
Wastewater (Sewage) Treatment Facility	--	--	--	--	--	--	--	--	--	
Water Supply, Treatment or Storage Facility	--	--	--	--	SE	SE	SE	SE	SE	
Commercial Uses										
Entertainment and Eating										
Amusement, Indoor	P	P	P	P	P	P	P	P	P	
Amusement, Outdoor	--	--	--	--	--	--	--	--	--	
Baseball, Softball Facility (commercial)	--	--	--	--	--	--	--	--	--	
Bar, Tavern, Cocktail Lounge; Club, Private or Teen	P	P	P	P	P	P	P	P	P	
Brewpub	P	P	P	P	P	P	P	P	P	
Circus	--	--	--	P	--	P	P	--	--	
Club, Commercial or Business	P	P	P	P	P	P	P	P	P	
Drive-In Restaurant or Business	--	--	--	--	--	--	--	--	P*	Sec. 6.2.2
Health or Recreation Club	P	P	P	P	P	P	P	P	P	
Indoor Recreation	P	P	P	P	P	P	P	P	P	
Lodge or Civic Club	P	P	P	P	P	P	P	P	P	
Museum/Cultural Facility	P	P	P	P	P	P	P	P	P	
Racing: Horse, Dog or Automotive	--	--	--	--	--	--	--	--	--	

P = Permitted P* = Permitted must also meet supplemental use standards SE = Special Exception Required
 SE* = Special Exception required and must also meet supplemental use standards -- = Not Permitted

	SY-HSH	SY-HCO	SY-TMC	SY-TNF	SY-TNX	SY-TNE	SY-TSA	SY-ENX	SY-ECC	Supplemental Use Standards
Entertainment and Eating										
Restaurant, Cafe, Cafeteria	P*	P*	P*	P*	P*	P*	P*	P*	P*	Chap 9, Restaurants
Sexually Oriented Business	--	--	--	--	--	--	--	--	--	
Shooting or Weapons Firing Range	--	--	--	--	--	--	--	--	--	
Stable, Commercial, Riding, Boarding or Rodeo Arena	P	P	P	P	--	P	P	--	--	
Swimming Pool, Commercial	--	--	--	--	--	--	--	--	--	
Theater, Drive-In	--	--	--	--	--	--	--	--	--	
Theater, Movie Theater or Auditorium	P*	P*	P*	P*	P*	P*	P*	P*	P*	§ 5.138 (City Zoning Ordinance)
Lodging										
Bed and Breakfast Home	--	--	--	--	--	--	--	--	--	
Bed and Breakfast Inn	P	P	P	P	P	P	P	P	P	
Hotel, Motel or Inn	P	P	P	P	P	P	P	P	P	
Office										
Bank, Financial Institution	P	P	P	P	P	P	P	P	P	
Office	P	P	P	P	P	P	P	P	P	
Retail Sales and Service										
Antique Shop	P	P	P	P	P	P	P	P	P	
Appliance, Sales, Supply or Repair	P	P	P	P	P	P	P	P	P	
Bakery	P	P	P	P	P	P	P	P	P	
Barber or Beauty Shop	P	P	P	P	P	P	P	P	P	
Book, Stationary Stores or Newsstand	P	P	P	P	P	P	P	P	P	
Burglar Alarm Sales and Service	P	P	P	P	P	P	P	P	P	
Caterer or Wedding Service	P	P	P	P	P	P	P	P	P	
Clothing/Wearing Apparel Sales, New	P	P	P	P	P	P	P	P	P	
Clothing/Wearing Apparel Sales, Used	P	P	P	P	P	P	P	P	P	
Convenience Store	P	P	P	P	P	P	P	P	P	
Copy Store or Commercial Print Without Off-Set Printing	P	P	P	P	P	P	P	P	P	
Retail Sales and Service										

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LAND USE PROVISIONS | Permitted Uses

	SY-HSH	SY-HCO	SY-TMC	SY-TNF	SY-TNX	SY-TNE	SY-TSA	SY-ENX	SY-ECC	Supplemental Use Standards
Dance Studio	P	P	P	P	P	P	P	P	P	
Dressmaking, Custom; Millinery Shop	P	P	P	P	P	P	P	P	P	
Duplicating Services	P	P	P	P	P	P	P	P	P	
Farmer's Market	P	P	P	P	P	P	P	P	P	
Feed Store, No Processing/Milling	P	P	P	P	P	P	P	P	P	
Firewood Sales	P*	P*	P*	P*	P*	P*	P*	P*	P*	§ 5.113 (City Zoning Ordinance)
Furniture Sales in a Building (new/used)	P	P	P	P	P	P	P	P	P	
Furniture Sales with Outside Storage/Display (new/used)	--	P	P	P	--	P	--	--	P	
Furniture Upholstery, Refinishing or Resale	P	P	P	P	P	P	P	P	P	
General Merchandise Store	P	P	P	P	P	P	P	P	P	
Greenhouse or Plant Nursery	--	--	--	--	P	P	P	P	P	
Grocery Store, Meat Market	P	P	P	P	P	P	P	P	P	
Gunsmithing, Repair or Sales	P	P	P	P	P	P	P	P	P	
Home Improvement Sales	P	P	P	P	P	P	P	P	P	
Interior Decorating	P	P	P	P	P	P	P	P	P	
Laundry or Dry Cleaning Collection Office	--	--	--	--	P	P	P	P	P	
Laundry, Dry Cleaning or Washeteria	--	--	--	--	P	P	P	P	P	
Leather Goods Shop	P	P	P	P	P	P	P	P	P	
Liquor or Package Store	P	P	P	P	P	P	P	P	P	
Livestock Auction	P	P	P	P	--	P	P	--	--	
Locksmith	P	P	P	P	P	P	P	P	P	
Medical Supplies/Equipment Sales	P	P	P	P	P	P	P	P	P	
Mini-Warehouse	--	--	--	--	--	--	--	--	--	
Mortuary or Funeral Home	P	P	P	P	P	P	P	P	P	
Newspaper Distribution Center	--	--	--	--	--	--	--	--	--	
Optician	P	P	P	P	P	P	P	P	P	
Retail Sales and Service										

P = Permitted P* = Permitted must also meet supplemental use standards SE = Special Exception Required
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	SY-HSH	SY-HCO	SY-TMC	SY-TNF	SY-TNX	SY-TNE	SY-TSA	SY-ENX	SY-ECC	Supplemental Use Standards
Pawn Shop	--	--	--	--	--	--	--	--	P	
Pharmacy (Drug Store)	P	P	P	P	P	P	P	P	P	
Photograph, Portrait/Camera Shop or Photo Finishing	P	P	P	P	P	P	P	P	P	
Recording Studio	P*	P*	P*	P*	P*	P*	P*	P*	P*	§ 5.128 (City Zoning Ordinance)
Retail Sales, General	P	P	P	P	P	P	P	P	P	
Saddle or Harness, Repair or Sales	P	P	P	P	P	P	P	P	P	
Shoe Shine Shop	P	P	P	P	P	P	P	P	P	
Studio, Art or Photography	P	P	P	P	P	P	P	P	P	
Tailor, Clothing or Apparel Shop	P	P	P	P	P	P	P	P	P	
Tattoo Parlor	P	P	P	P	P	P	P	P	P	
Taxidermist Shop	P	P	P	P	P	P	P	P	P	
Veterinary Clinic w/Indoor Kennels	--	P	P	P	P	P	P	P	P*	§ 5.142 (City Zoning Ordinance)
Veterinary Clinic w/Outdoor Kennels	--	P	P	P	--	P	P	--	P	
Vehicle Sales and Service										
Auto Parts Supply, Retail	--	--	--	--	--	--	--	--	P	
Automotive Repair; Paint and Body Shop	--	--	--	--	--	--	--	--	--	
Car Wash, Full or Self-Service	--	--	--	--	--	--	--	--	P	
Gasoline Sales	--	--	--	--	--	--	--	--	P	
Mobile Home or Manufactured Housing Sales	--	--	--	--	--	--	--	--	--	
Recreational Vehicle (RV) Sales/ Service	--	--	--	--	--	--	--	--	--	
Service Station	--	--	--	--	--	--	--	--	--	
Towing Yard w/ Office	--	--	--	--	--	--	--	--	--	
Truck Stop w/ Fuel and Accessory Services	--	--	--	--	--	--	--	--	--	
Vehicle Junkyard	--	--	--	--	--	--	--	--	--	
Vehicle Sales or Rental Showrooms or Kiosks; Including Automobiles, Motorcycles, Boats or Trailers	--	--	P	P	--	P	P	--	P	
Vehicle Steam Cleaning	--	--	--	--	--	--	--	--	P	
Light Industrial Uses										

P = Permitted P* = Permitted must also meet supplemental use standards SE = Special Exception Required
 SE* = Special Exception required and must also meet supplemental use standards -- = Not Permitted

LAND USE PROVISIONS | Permitted Uses

	SY-HSH	SY-HCO	SY-TMC	SY-TNF	SY-TNX	SY-TNE	SY-TSA	SY-ENX	SY-ECC	Supplemental Use Standards
Light Industrial Services										
Assaying	--	--	--	--	--	--	--	--	--	
Assembly of Pre-Manufactured Parts, Except for Vehicles, Trailers, Airplanes or Mobile Homes	--	--	--	--	--	--	--	--	--	
Bottling Works, Milk or Soft Drinks	--	--	--	--	--	--	--	--	--	
Blacksmithing or Wagon Shop	P	P	P	P	P	P	P	P	P	
Brewery, Distillery or Winery	P	P	P	P	P	P	P	P	P	
Carpet and Rug Cleaning	--	--	--	--	--	--	--	--	--	
Chicken Battery or Brooder	--	--	--	--	--	--	--	--	--	
Coal, Coke or Wood Yard	--	--	--	--	--	--	--	--	--	
Cottage Manufacturing Uses	P	P	P	P	P	P	P	P	P	
Crematorium	--	--	--	--	--	--	--	--	--	
Electroplating	--	--	--	--	--	--	--	--	--	
Fabricating of Manufactured Housing, Temporary or Office Building	--	--	--	--	--	--	--	--	--	
Food Processing (no slaughtering)	P	P	P	P	P	P	P	P	P	
Galvanizing, Small Utensils	--	--	--	--	--	--	--	--	--	
Machine Shops	--	--	--	--	--	--	--	--	--	
Manufacture of Artificial Flowers, Ornaments, Awnings, Tents, Bags, Cleaning/Polishing Preparations, Boats Under 28'	--	--	--	--	--	--	--	--	--	
Manufacture of Aluminum, Brass or Others Metals or from Bone, Paper, Rubber, leather	--	--	--	--	--	--	--	--	--	
Manufacture of Basket Material, Bicycles, Boots/Shoes, Boxes, Caskets	--	P	P	P	--	P	P	--	P	
Manufactured Home/RV Repair	--	--	--	--	--	--	--	--	--	
Monument/Marble Works, Finishing and Carving Only	--	P	P	P	--	P	P	--	P	

P = Permitted P* = Permitted must also meet supplemental use standards SE = Special Exception Required
 SE* = Special Exception required and must also meet supplemental use standards -- = Not Permitted

	SY-HSH	SY-HCO	SY-TMC	SY-TNF	SY-TNX	SY-TNE	SY-TSA	SY-ENX	SY-ECC	Supplemental Use Standards
Light Industrial Services										
Monument Works, Stone	--	P	P	P	--	P	P	--	P	
Paint Mixing or Spraying	--	--	--	--	--	--	--	--	--	
Paper Box Manufacture	--	--	--	--	--	--	--	--	--	
Pattern Shop	--	P	P	P	--	P	P	--	P	
Printing, Lithographing, Book-Binding, Newspapers or Publishing	--	P	P	P	--	P	P	--	P	
Rubber Stamping, Shearing/Punching	--	P	P	P	--	P	P	--	P	
Rubber Stamp Manufacture	--	--	--	--	--	--	--	--	--	
Sheet Metal Shop	--	--	--	--	--	--	--	--	--	
Warehouse or Bulk Storage	P	P	P	P	P	P	P	P	P	
Welding Shop, Custom Work (not structural)	--	P	P	P	--	P	P	--	P	
Yards, Contractors, Lumber or Storage, Automobiles, Storage Yards, Building Materials	--	--	--	--	--	--	--	--	--	
Heavy Industrial Uses										
All Heavy Industrial Manufacturing										
Transportation										
Airport, Aviation Field, Helistop or Landing Area	--	--	--	--	--	--	--	--	--	
Passenger Station	--	P	P	P	--	P	P	--	--	
Railroad Freight or Classification Yard	--	--	--	--	--	--	--	--	--	
Railroad Roundhouse or Railroad Car Repair Shop	--	P	--	P	--	--	--	--	--	
Railroad Tracks, Team, Spur or Storage	--	P	P	P	--	P	P	--	--	
Terminal: Truck, Freight, Rail or Water	--	--	--	--	--	--	--	--	--	

P = Permitted P* = Permitted must also meet supplemental use standards SE = Special Exception Required
 SE* = Special Exception required and must also meet supplemental use standards -- = Not Permitted

LAND USE PROVISIONS | Permitted Uses

	SY-HSH	SY-HCO	SY-TMC	SY-TNF	SY-TNX	SY-TNE	SY-TSA	SY-ENX	SY-ECC	Supplemental Use Standards
Waste Related										
Landfill, Recycling Center, Household Hazardous Waste or Waste Tire Facility	--	--	--	--	--	--	--	--	--	
Pet Cemetery	--	--	--	--	--	--	--	--	--	
Recycling Collection Facility	--	--	--	--	--	--	--	--	SE*	§ 5.130 (City Zoning Ordinance)
Salvage Yard (other than automotive)	--	--	--	--	--	--	--	--	--	
Wholesale Trade										
Wholesale: Bakery, Produce Market or Wholesale House	P	P	P	P	P	P	P	P	P	
Wholesale Office or Sample Room	--	--	--	--	--	--	--	--	P	
Other Uses										
Agricultures										
Agricultural Uses	--	P	P	P	--	P	P	--	--	
Community Garden	--	--	P	P	P	P	P	P	P	
Stockyards or Feeding Pens (commercial/noncommercial)	--	P	P	P	--	P	P	--	--	
Fresh Water Fracture Ponds and Production	--	--	--	--	--	--	--	--	--	
Gas Drilling and Production	--	--	P*	P*	P*	P*	P*	P*	P*	Ch. 15, Gas City Code
Oil Drilling and Production	--	--	--	--	--	--	--	--	--	
Accessory Uses										
Accessory Use or Building	P	P	P	P	P	P	P	P	P	
Home Occupation	P*	--	P*	--	P*	P*	P*	P*	P*	§ 5.116A (City Zoning Ordinance)
Outdoor Display	P*	P*	P*	P*	P*	P*	P*	P*	P*	Sec. 7.5.2
Limited Outdoor Storage	P*	P*	P*	P*	P*	P*	P*	P*	P*	Sec. 7.5.3
General Outdoor Storage	--	--	--	--	--	--	--	--	--	Sec. 7.5.4
Satellite Antenna (dish)	P	P	P	P	P	P	P	P	P	
Solar Energy Equipment	P	P	P	P	P	P	P	P	P	
Wind Energy Equipment	P	P	P	P	P	P	P	P	P	
Rain Water Harvesting Equipment	P	P	P	P	P	P	P	P	P	
Utility Equipment (includes electrical transformers, gas meters, etc.)	P	P	P	P	P	P	P	P	P	

P = Permitted P* = Permitted must also meet supplemental use standards SE = Special Exception Required

SE* = Special Exception required and must also meet supplemental use standards

-- = Not Permitted

	SY-HSH	SY-HCO	SY-TMC	SY-TNF	SY-TNX	SY-TNE	SY-TSA	SY-ENX	SY-ECC	Supplemental Use Standards
Recreational Vehicle Park	--	--	P	P	--	P	P	--	--	
Temporary Uses										
Amusement, Outdoor	SE*	SE*	SE*	SE*	SE*	SE*	SE*	SE*	SE*	§ 5.400 (City Zoning Ordinance)
Batch Plant, Concrete or Asphalt	--	--	--	--	--	--	--	--	--	
Garage or Other Occasional Sale	P	--	P	--	P	P	P	P	P	
Model Home	--	--	--	--	--	--	--	--	--	
Residence for Security Purposes	SE*	SE*	SE*	SE*	SE*	SE*	SE*	SE*	SE*	§ 5.404 (City Zoning Ordinance)
Special Event (subject to City's special events ordinance)	P	P	P	P	P	P	P	P	P	
Temporary construction offices, storage sheds, trailers, barricades, fences	P*	P*	P*	P*	P*	P*	P*	P*	P*	<u>Sec. 6.2.3</u>
Trailer, Portable, Sales or Storage	P	P	P	P	P	P	P	P	P	
Vendor, Food, Mobile Food Court	P*	P*	P*	P*	P*	P*	P*	P*	P*	<u>Sec. 6.2.4</u>
Vendor, Merchandise	P*	P*	P*	P*	P*	P*	P*	P*	P*	<u>Sec. 6.2.4</u>
Vendor, Transient	P*	P*	P*	P*	P*	P*	P*	P*	P*	<u>Sec. 6.2.4</u>
Sales from Kiosks	P	P	P	P	P	P	P	P	P	

P = Permitted P* = Permitted must also meet supplemental use standards SE = Special Exception Required
 SE* = Special Exception required and must also meet supplemental use standards -- = Not Permitted

Div. 6.2. Use Standards

Sec. 6.2.1. Supplemental Standards for Multifamily Dwelling

- A. In TSA-55, a multifamily dwelling is only permitted south of Exchange avenue.
- B. MIn HSH-40, a multifamily dwelling is only allowed in the upper stories of a building. A lobby or other entrance is allowed on the ground floor.
- C. Multifamily is not permitted in the following subdistricts:
 - 1. TSA-105
 - 2. TSA-130
 - 3. TNE-68
 - 4. TNE-105
 - 5. ECC-68
 - 6. TNX-80

Sec. 6.2.2. Drive-in Restaurant or Business

- A. Adequate space must be made available on-site for the stacking, storage and queuing of vehicle.
- B. Where allowed, vehicles using drive-in or drive-thru facilities may not encroach on or interfere with the public use of streets and sidewalks by vehicles or pedestrians.
- C. All drive-thru, including but not limited to menu boards, stacking lanes, trash receptacles, ordering box, drive up windows, and other objects associated with the drive-thru, must be located to the side or rear of the building. Drive-thru windows and lanes may not be placed between a public street (not including an alley) and the associated building.

Sec. 6.2.3. Temporary Construction Facilities

- A. Temporary construction offices, storage sheds, trailers, barricades and fences will be allowed as necessary during the construction or restoration of buildings.
- B. Facilities must be placed as inconspicuously as possible.
- C. Construction fences must ensure the safety of pedestrians and motorists. Screening designs should have elements or references to the associated building under construction, with the exception of art project on the construction fence.
- D. It is not permitted to advertise for any off-site or non-property related entity (e.g., general contractor, financial institution).
- E. Off-site construction storage and construction trailers must meet the following:
 - 1. Any plans for off-site storage of construction materials or construction trailers for new construction projects must be included with construction plans.
 - 2. Construction trailers must be located within the designated limits of construction.
 - 3. Sites used of off-site construction materials or construction trailers must be cleared before any issuance of a certificate of occupancy.
 - 4. Off-site construction trailers will be limited to cases where site characteristic make it difficult or impractical to locate a trailer on the construction site.
- F. The Historic & Cultural Landmarks Commission will review plans for projects located in the Historic District and the Urban Design Commission will review plans for sites in the Transition and Edge Districts.

Sec. 6.2.4. Mobile Vendors

The requirements of § 5.406 of the City of Fort Worth Zoning Ordinance apply, except as listed below:

- A. § 5.406.C.3.
- B. § 5.406.C.4.
- C. § 5.406.C.13.
- D. § 5.406.D.1.
- E. § 5.406.D.2.
- F. § 5.406.F.1.e. is replaced as follows:

Restrooms must be provided within the boundaries of the Mobile Vendor Food Court. At least 1 restroom must be provided for each Mobile Vending Unit.
- G. § 5.406.F.2.
- H. § 5.406.F.3.
- I. § 5.406.F.5.
- J. § 5.406.F.6.
- K. § 5.406.F.7.

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Div. 7.1. Parking and Access

Sec. 7.1.1. Pedestrian Access

A. Access Required

All development must provide safe, direct and convenient pedestrian access connecting public streets and parking lots to primary building entrances, and to all other uses in the development that allow for public access.

B. Pedestrian Facilities

1. Pedestrian access must consist of an accessible, easily discernible, well-lit, and ADA compliant walkway a minimum of 5 feet in width.
2. The pedestrian access surface located on private property must be paved with fixed, non-slip semi-pervious or impervious materials.
3. Pedestrian access routes between buildings and parking areas must be physically separated from drive aisles, except when crossing a drive aisle.
4. Where a pedestrian walkway crosses a drive aisle, the walkway must have a continuous surface treatment across the drive aisle.

Sec. 7.1.2. Vehicle Parking

Vehicle parking spaces must be provided in accordance with § 6.201, Off-Street Parking Requirements, of the City of Fort Worth Zoning Ordinance.

Sec. 7.1.3. Bicycle Parking

Bike parking spaces must be provided in accordance with § 6.204, Bicycle Parking, of the City of Fort Worth Zoning Ordinance.

Sec. 7.1.4. Location of Vehicle Parking

Required vehicle parking must be located on the same lot as the use they are intended to serve, except as listed below.

A. On-Street Parking

1. One on-street parking space may be substituted for every required parking space, provided the on-street space is located on a public right-of-way immediately abutting the subject property. On-street parking spaces do not count towards the parking maximum.
2. Each on-street parking space may only be counted for one property. Where a space straddles an extension of a property line, the space may only be counted by the owner whose property abuts 50% or more of the on-street parking space.

B. Remote Parking

1. All required parking spaces, except required accessible spaces, can be located off site if the remote parking area is located within 500 feet from the primary entrance of the use served.
2. Up to 50% of the required parking spaces may be located more than 500 feet off site, if the parking area is located within 1,320 feet from the primary entrance of the use served.
3. All remote parking spaces used to meet the vehicle parking requirement must be located within the boundaries of the Stockyards Form District.
4. The distance of the off-site parking area is measured in walking distance from the nearest point of the off-site parking area to the primary entrance of the use served.
5. All off-site parking areas must have a City-approved remote parking agreement as part of the approved site plan.

Sec. 7.1.5. Parking Setbacks

A. General

1. The parking setback applies to that portion of the lot that fronts a designated Frontage.
2. All parking spaces must be located behind the parking setback line (surface and structured).
3. Parking below and covered by the ground may encroach into a required parking setback but cannot extend into a required easement or the right-of-way.
4. The parking setback is measured perpendicular from the lot line inward.

B. Historic Districts

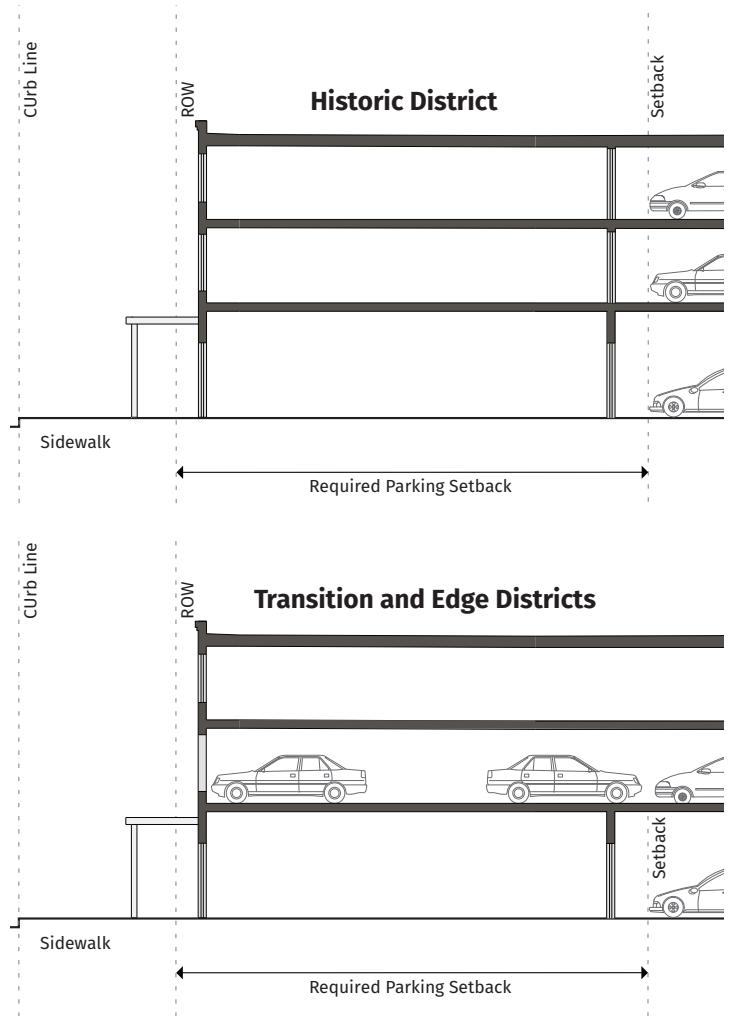
The parking setback applies to all surface parking and the ground and upper stories of all buildings.

C. Transition Districts

1. The parking setback applies to all surface parking and the ground stories of all buildings.
2. Parking spaces on upper stories that face a designated Frontage must be screened in accordance with [Sec. 7.1.6.](#)

D. Edge Districts

1. The parking setback applies to all surface parking and the ground stories of all buildings.
2. Parking spaces on upper stories that face a designated Frontage must be screened in accordance with [Sec. 7.1.6.](#)

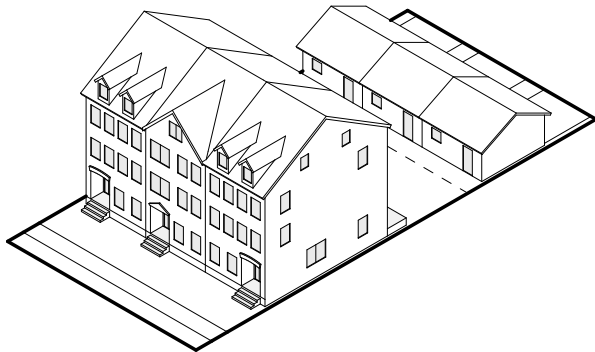


Sec. 7.1.6. Parking Structure Screening

- A. Where upper stories of structured parking are located at the perimeter of a building facing a designated Frontage they must be screened to hide park and shield lighting with glazing, metal grillwork, louvers, vegetation or another type of architectural treatment.
- B. Sloped ramps cannot be discernible along the perimeter of the parking structure.
- C. The ground floor facade treatment (building materials, windows and architectural detailing) must continued on upper stories.

Sec. 7.1.7. Residential Garages

- A. Residential garages must be placed entirely to the rear of the unit and be rear-accessed. The garage can be attached or detached.
- B. All garage doors must face a rear alley or rear access drive.



- 3. Loading areas may not be placed between a public street (not including an alley) and the associated building.
- 4. Loading areas must be located to the rear of buildings Screening?.
- 5. No designated loading area is allowed within 50 feet of a ground floor residential use (measured from the residential lot line to the closest point of the loading area).

Sec. 7.1.8. Vehicle Loading

A. Applicability

If determined necessary by the FBC Administrator, adequate space must be made available on-site for the unloading and loading of goods, materials, items or stock for delivery and shipping, otherwise on-site loading space is not required.

B. Location

If a loading area is provided or required, it must meet the following.

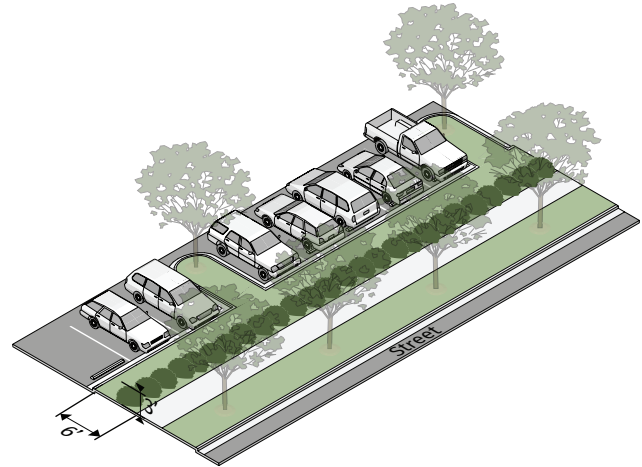
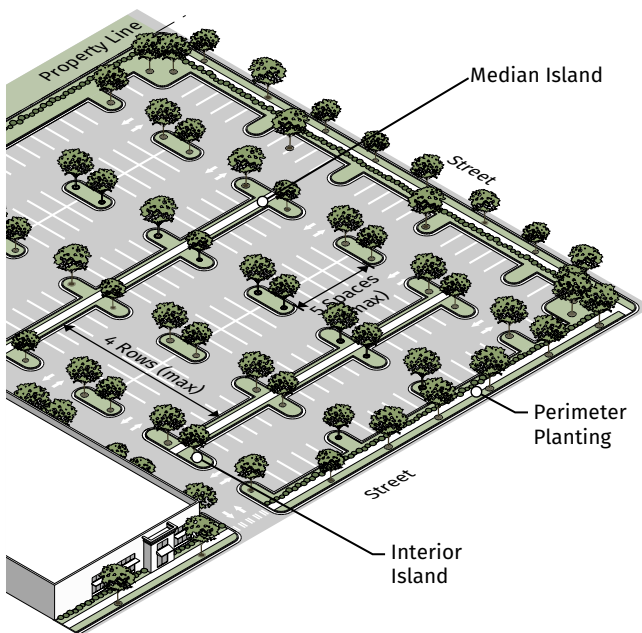
- 1. With the exception of areas specifically designated by the City, loading and unloading activities are not permitted on a public street, not including an alley.
- 2. Loading and unloading activities may not encroach on or interfere with the use of sidewalks, drive aisles, stacking areas and parking areas.

Div. 7.2. Landscaping

Sec. 7.2.1. Parking Lots

A. Applicability

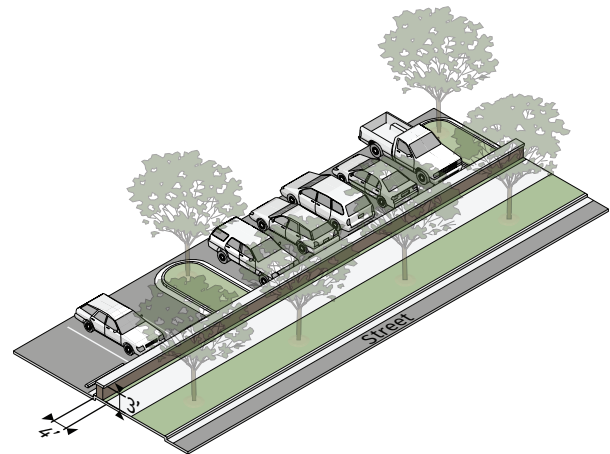
Parking lot landscaping is required for all on-site surface vehicle parking areas with more than 10 spaces. Multiple platted lots contained on a single site plan, under one owner or development entity, and any separate parking areas connected with drive aisles are considered a single parking area.



- i. All required shrubs must be of a species that under typical conditions are expected to reach a minimum height and spread of 3 feet within 3 years of planting. All shrubs must be a minimum of 2 feet tall when planted.
- ii. All required shrubs must form at least one continuous row of shrubs.
- iii. All perimeter screening shall not exceed four (4) feet in height.

2. Perimeter Planting with Wall

A minimum 4-foot wide landscape strip with a 3-foot high wall.



B. Trees in Surface Parking Lots

All new construction projects shall provide at least 40% tree canopy coverage of surface parking lots.

C. Perimeter Planting

One of the following perimeters screen is required along the outer perimeter of all parking areas (of any size) abutting a public or private street (not including an alley), excluding breaks for pedestrians, bicycles and driveways.

1. Perimeter Planting with Shrubs

- a. A minimum 6-foot wide landscape strip planted with 3-foot high continuous row of shrubs.

D. Curbing

All curbing must have openings to allow drainage to enter and percolate through landscaped areas.

Sec. 7.2.2. Plant Material

A. General Provisions

1. An automatic irrigation system is required in all landscape areas, and must be installed prior to plant of landscape materials.
2. No artificial plants, trees, or other vegetation may be installed as required landscaping.
3. Native or locally-adapted plants and species are preferred.
4. Required landscaping must be installed for full root contact with the surrounding sub-grade. Planters planted on paved surfaces are not permitted.
5. Shrubs cannot be planted within the critical root zone of any tree.

B. Large Canopy Trees

1. Large canopy trees must be selected from § 6.302 Table F. Preferred Tree List (City of Fort Worth Zoning Ordinance).
2. Large canopy trees planted to meet the street tree or parking lot landscaping requirements must have a minimum caliper of 3 inches and have a 6-foot clear trunk before branching.

C. Small and Medium Canopy Trees

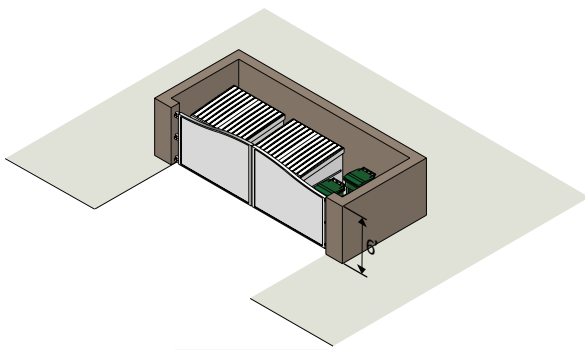
1. Small and medium canopy trees must be selected from § 6.302 Table F. Preferred Tree List (City of Fort Worth Zoning Ordinance).
2. Small and medium canopy single-stem trees planted to meet the street tree or parking lot landscaping requirements must have a minimum caliper of 2 inches and have a 5-foot clear trunk before branching.

3. Small and medium canopy multi-stem trees planted to meet the street tree or parking lot landscaping requirements must have a minimum caliper of 2½ inches and have a 5-foot clear trunk before branching.

Sec. 7.2.3. Screening

A. Service Areas

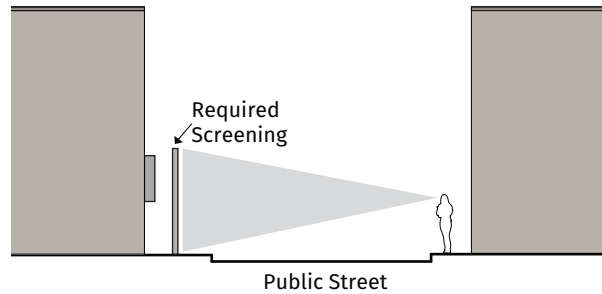
1. Trash and recycling collection and other similar service areas must be located to the rear of buildings.
2. Service areas must be screened on 3 sides by a wall a minimum 6 feet in height or to the top of the equipment, whichever is higher up to 8 feet maximum and on the 4th side by a solid gate at a minimum of 6 feet in height.



3. The gate and wall must be maintained in good working order and must remain closed except when trash pick-ups occur.
4. Trash and recycling collection and other similar service areas must be located on a concrete base.

B. Wall-Mounted Equipment

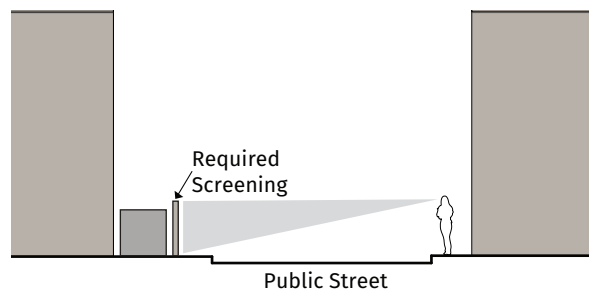
1. When feasible, wall-mounted equipment, not including antennas, must be located on non-street-facing building facades or structures.
2. Wall-mounted equipment, not including antennas, located on any building facade or structure that is visible from a private or public street (not including an alley) must be fully screened by landscaping or an opaque wall or fence that is compatible with the principal building in terms of texture, quality, material and color.



3. Screening must be of a height equal to the height of the mechanical equipment being screened.

C. Ground-Mounted Equipment

1. Ground-mounted mechanical equipment must be located to the rear of buildings.
2. Ground-mounted mechanical equipment above 30 inches in height that is visible from a public street (not including an alley) must be fully screened by landscaping or an opaque wall or fence that is compatible with the principal building in terms of texture, quality, material and color.

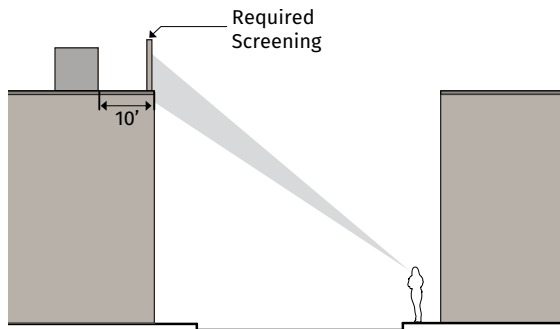


3. Screening must be of a height equal to or greater than the height of the mechanical equipment being screened.

D. Roof-Mounted Equipment

1. Roof-mounted equipment must be set back at least 10 feet from the edge of the roof and screened from ground level view from abutting property or abutting private or public street (not including an alley).

2. New buildings must provide a parapet wall up to 6 feet in height or other architectural element that is compatible with the principal building in terms of texture, quality, material and color that fully screens roof-mounted equipment from ground level view.



3. For buildings with no or low parapet walls, roof-mounted equipment must be screened on all sides by an opaque screen compatible with the principal building in terms of texture, quality, material and color.

Sec. 7.2.4. Walls and Fences

A. Materials

1. Walls must be constructed of high quality materials including decorative blocks, brick, stone, cast-stone, split-faced block, stucco over standard concrete masonry blocks, glass block; or other material approved by the FBC Administrator.
2. Fences must be constructed of high quality materials including; wood, wrought iron; composite fencing; aluminum; metal; or other material approved by the FBC Administrator.
3. No wall or fence may be constructed of tires, junk, or other discarded materials.
4. Chain-link fence, barbed wire or concertina wire is not allowed.

B. Location

1. Walls and fences may be located on the lot line.
2. No wall or fence may be located within any required easement.
3. The maximum length of a continuous, unbroken and uninterrupted wall or fence plane is 50 feet. Breaks must be provided through the use of columns, landscaped areas, transparent sections or a change in material.

C. Height

1. Wall or fence height is measured from the subject property grade to the highest point of the wall or fence.
2. A wall or fence abutting a common lot line may be no more than 8 feet in height.
3. A wall or fence located in front yard or side street yard may be no more than 4 feet in height.

Div. 7.3. Site Lighting

Sec. 7.3.1. Applicability

A. New Fixtures

All lighting fixtures installed outside of the public right-of-way after the effective date of this Code must conform to all applicable standards of this Division.

B. Existing Fixtures

1. Routine maintenance, including changing the lamp, ballast, starter, photo control, fixture housing, lens and other required components, is allowed for all existing fixtures.
2. The installation of site lighting, replacement of site lighting and changes to existing light fixture wattage, type of fixture, mounting or fixture location must be made in compliance with this Division.

Sec. 7.3.2. Lighting Standards

A. Light Level Measuring

1. Light levels are specified, calculated and measured in footcandles. All footcandles values are maintained footcandles.
2. Measurements are to be made at ground level, with the light-registering portion of the meter held parallel to the ground pointing up.

B. Prohibited Sources

The following light fixtures and sources cannot be used:

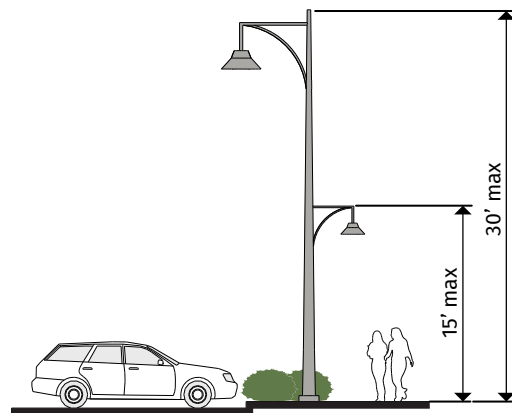
1. Cobra-head-type fixtures having dished or drop lenses or refractors, which contain sources that are not incandescent; and
2. Temporary searchlights and other high-intensity narrow-beam, moving uplight fixtures.

C. Design and Installation

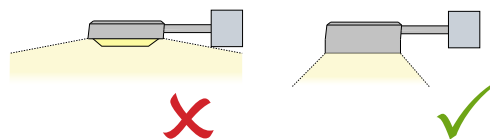
1. The maximum light level of any light fixture measured at the right-of-way line of a street cannot exceed an average of 2.5 footcandles. The uniformity ratio should be no more than 4:1.
2. Light sources must have a Color Rendering Index (CRI) value of 80 or higher.
3. Lighting must not be oriented onto adjacent properties, streets or sidewalks.
4. Service connections for all freestanding lighting fixtures must be installed underground.

D. Parking and Pedestrian Areas

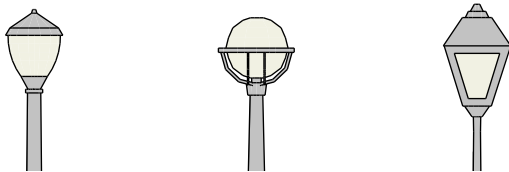
1. Light fixtures within vehicle parking areas may be no higher than 30 feet.
2. Light fixtures within pedestrian areas mounted on poles may be no higher than 15 feet.



3. All light fixtures must be full cutoff, except as listed in paragraph 5. below.

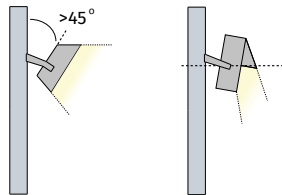


4. Non-cutoff (unshielded) fixtures can be used when the maximum initial lumens generated by each fixture is less than 9,500 initial lamp lumens. These fixtures generally feature globes or vertical glass planes and must be coated with an internal white frosting to diffuse light.

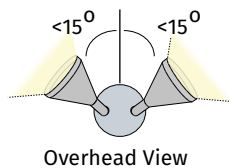


E. Flood Lights and Flood Lamps

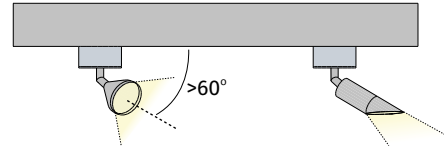
1. Flood light fixtures must either be aimed down at least 45 degrees from vertical or the front of the fixture shielded so that no portion of the light bulb extends below the bottom edge of the shield.



2. Any flood light fixture located within 50 feet of a street right-of-way must be mounted and aimed perpendicular to the right-of-way, with a side-to-side horizontal aiming tolerance not to exceed 15 degrees, except for small building mounted accents used for lighting signs and building features



3. All adjustable flood lamps emitting 1,000 or more lumens must be aimed at least 60 degrees down from horizontal or shielded so that the main beam is not visible from adjacent properties or the right-of-way, except for flagpole lighting.

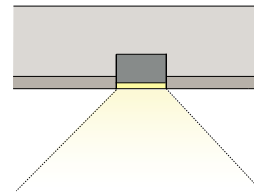


F. Vehicular Canopies

Lighting under vehicular canopies must be less than 24 maintained footcandles and be designed to prevent glare off-site. Acceptable lighting designs include the following:

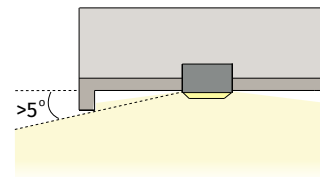
1. Recessed

Recessed fixture incorporating a lens cover that is either recessed or flush with the bottom surface of the canopy;



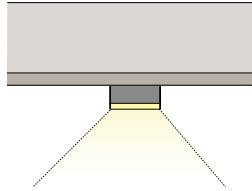
2. Shielded

Light fixture incorporating shields or is shielded by the edge of the canopy itself, so that light is restrained to 5 degrees or more below the horizontal plane;



3. Surface Mounted

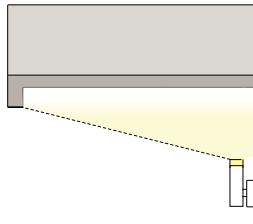
Surface mounted fixture incorporating a flat glass that provides a cutoff design or shielded light distribution; or



3. Only lighting used to accent architectural features, landscaping or art may be directed upward, provided that the fixture is located, aimed or shielded to minimize light spill into the night sky.

4. Indirect

Indirect lighting where light is beamed upward and then reflected down from the underside of the canopy, provided the fixture is shielded so that direct illumination is focused exclusively on the underside of the canopy.



G. Building Lighting

1. Lighting fixtures must be selected, located, aimed and shielded so that direct illumination is focused exclusively on the building facade, plantings and other intended site features and away from adjoining properties and the street right-of-way.
2. All wall pack fixtures must be full cutoff fixtures.



Div. 7.4. Signs

Sec. 7.4.1. Applicability

The sign requirements of Chapter 6, Article 4 of the City of Fort Worth Zoning Ordinance apply, except as listed below:

- A. § 6.403.(f), Window Signs.
- B. § 6.408, Regulations Governing On-Premise Attached Signs in Commercial and Industrial Districts.
- C. § 6.409, Regulations Governing On-Premise Detached Signs in Commercial and Industrial Districts.

Sec. 7.4.2. Sign Types Allowed By District

Signs are allowed by district as set below. Specific requirements for each sign type are shown on the following pages.

	Historic		Transition					Edge	
	HSH	HCO	TMC	TNF	TNX	TSA	TNE	ENX	ECC
A-Frame Sign	P	P	P	P	P	P	P	P	P
Awning Sign	P	P	P	P	P	P	P	P	P
Canopy Sign	P	P	P	P	P	P	P	P	P
Crown Sign	--	--	P	P	--	P	P	--	P
Monument Sign	--	--	--	--	--	--	--	--	P
Projecting Sign	P	P	P	P	P	P	P	P	P
Ranch Entrance Sign	--	--	P	P	--	P	P	--	--
Shingle Sign	P	P	P	P	P	P	P	P	P
Wall Sign	P	P	P	P	P	P	P	P	P
Window Sign	P	P	P	P	P	P	P	P	P

KEY: P = Sign allowed -- = Sign not allowed

Sec. 7.4.3. Sign Placement

- A. For the purpose of this Division, a Frontage means a designated Frontage included on the map in Div. 1.4, District and Frontage Map.
- B. Signs may be placed on any building facade that faces a Frontage, subject to the allocation and sign type regulations below.
- C. Signs may also be placed on any building facade that does not face a Frontage, subject to the allocation and sign type regulations below.

Sec. 7.4.4. Sign Allocation

A. Allocation Not Transferable

Sign allocation must be used on the building facade used to measure the allocation, and may not be transferred to a different building facade.

B. A-Frame Signs

The allocation for an A-frame Sign is in Sec. 7.4.5.

C. Awning, Canopy, Projecting and Wall Signs

- 1. Awning signs, canopy signs, projecting signs and wall signs are allocated a combined sign area of 36 square feet or 1.5 square feet per linear foot of building facade facing a Frontage included on the map in Div. 1.4, District and Frontage Map, whichever is greater.
- 2. Awning signs, canopy signs, projecting signs and wall signs are allocated a combined sign area of 0.5 square feet per linear foot of building facade not facing a Frontage included on the map in Div. 1.4, District and Frontage Map.

D. Crown Signs

The allocation for a Crown Sign is found in Sec. 7.4.8.

E. Monument Signs

- 1. The allocation for a Monument Sign is found in Sec. 7.4.9.
- 2. Properties with more than 1,000 linear feet of frontage included on the map in Div. 1.4, District and Frontage Map are allowed one additional monument sign on that Frontage.
- 3. Monument signs located on the same property must be spaced a minimum of 500 feet apart.

F. Ranch Entrance Signs

The allocation for a Ranch Entrance Sign is in Sec. 7.4.11.

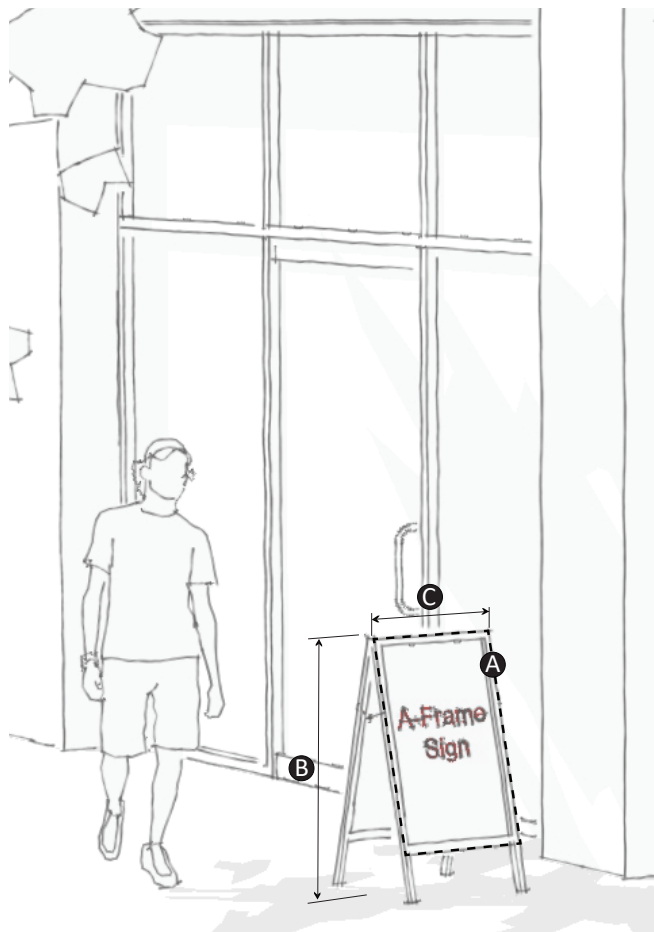
G. Shingle Signs

The allocation for a Shingle Sign is in Sec. 7.4.12.

H. Window Signs

The allocation for Window Signs is in Sec. 7.4.14.

SEC. 7.4.5. A-FRAME SIGN



Description

A movable sign not secured or attached to the ground or surface upon which it is located.

General Provisions

1. An A-frame sign must be placed along a building facade with a customer entrance to a ground-floor tenant space
2. An A-frame sign must be placed no more than 12 feet from the building facade.
3. An A-frame sign must be located at least 25 feet from any other A-frame sign.
4. An A-frame sign must be removed and placed indoors when the tenant space is not open.
5. An A-frame signs must not obstruct vehicular, bicycle or pedestrian traffic and must comply with ADA clearance and accessibility.
6. An A-frame sign must not be illuminated.

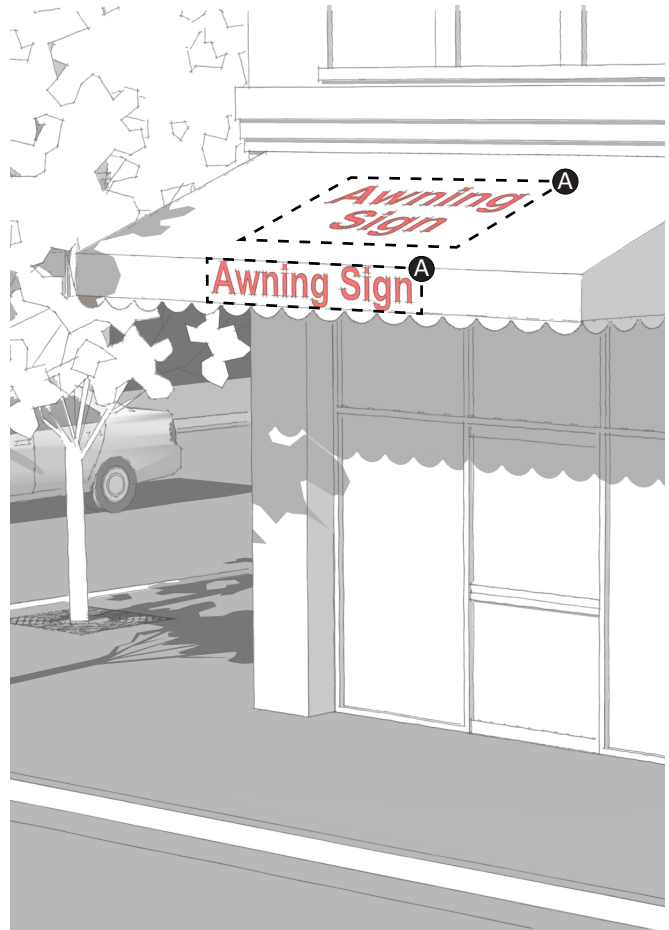
Total Sign Area Allocation

One A-frame sign is allowed per ground floor tenant space.

Dimensions

A	Area of individual sign (max)	6 SF
B	Height (max)	3'
C	Width (max)	2'

SEC. 7.4.6. AWNING SIGN



Description

A sign where graphics or symbols are painted, sewn, or otherwise adhered to the material of an awning as an integrated part of the awning itself.

General Provisions

1. Only awnings over ground-story doors or windows may contain awning signs.
2. An awning sign may be placed on the face or the valance of the awning, but must not extend outside the awning.
3. An awning sign must not be illuminated.

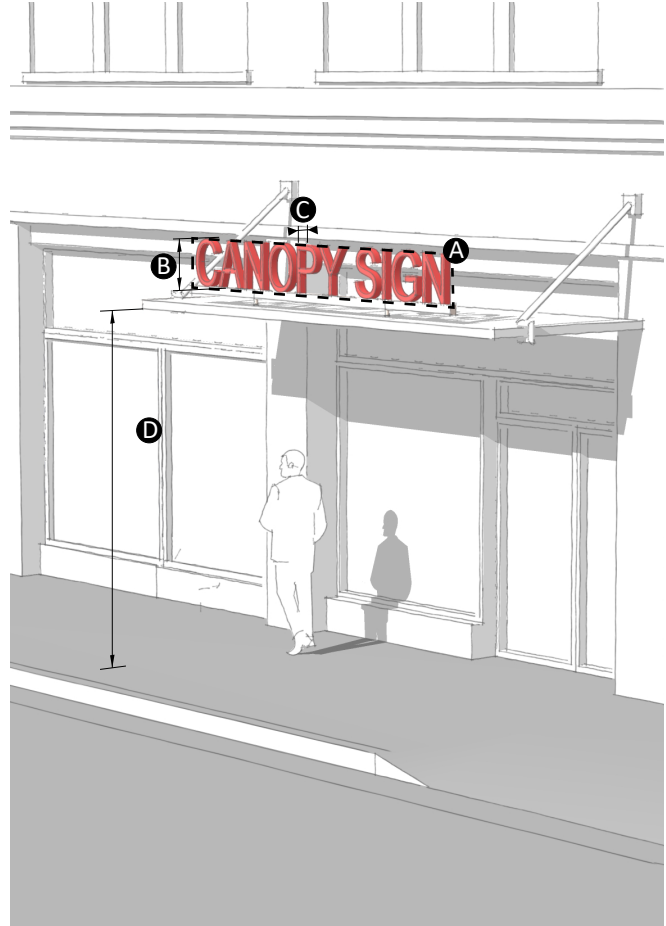
Total Sign Area Allocation

See [Sec. 7.4.4.](#)

Dimensions

A Area of awning sign (max per awning)	12 SF
---	-------

SEC. 7.4.7. CANOPY SIGN



Description

A sign attached to a canopy with a display surface parallel to the plane of the building facade.

General Provisions

1. A canopy sign may extend above or below the canopy; however, it must not extend outside the overall length or width of the canopy.
2. Only a canopy over ground-story doors or windows may contain a canopy sign.
3. A maximum of one sign is allowed per canopy.
4. A canopy sign may be externally and internally illuminated in accordance with [Sec. 7.4.15](#).

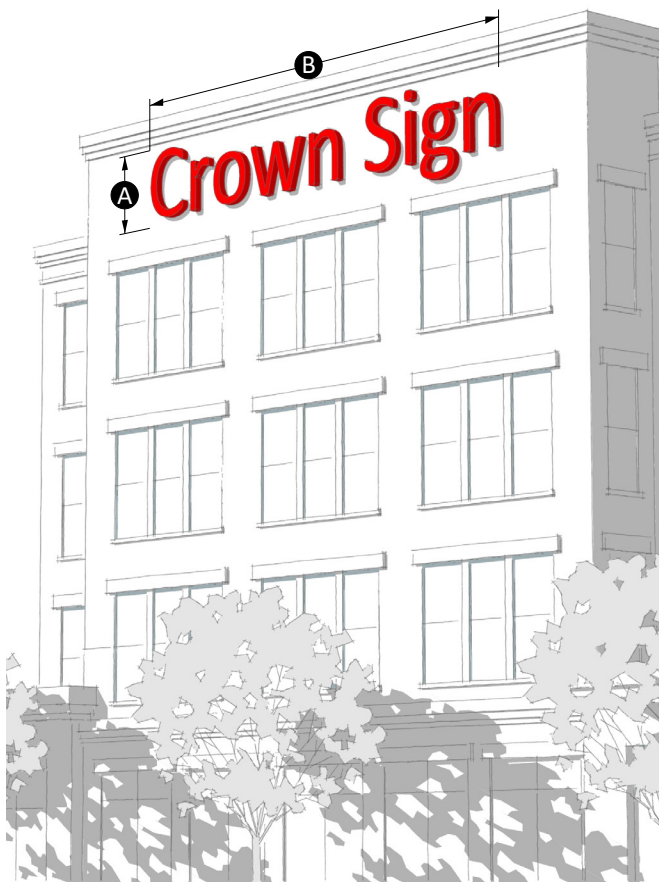
Total Sign Area Allocation

See [Sec. 7.4.4](#).

Dimensions

A	Area of individual sign (max)	64 SF
B	Height (max)	6'
C	Depth (max)	8"
D	Clear height above sidewalk (min)	9'
D	Clear height above parking area or driveway (min)	14'

SEC. 7.4.8. CROWN SIGN



Description

A sign attached to the wall of a building or structure at least 4 stories in height, the display surface of which does not project more than 2 feet from the outside wall of the building or structure.

General Provisions

1. A crown sign is only allowed on building facades at least 4 stories in height.
2. A crown sign must not be placed below the start of the 4th story.
3. A crown sign must not extend above the roof line.
4. A crown sign must not cover windows or architectural details.
5. No more than 2 crown signs are allowed per building and no more than 1 crown sign per building facade is allowed.
6. A crown sign may be externally or internally illuminated in accordance with [Sec. 7.4.15](#).

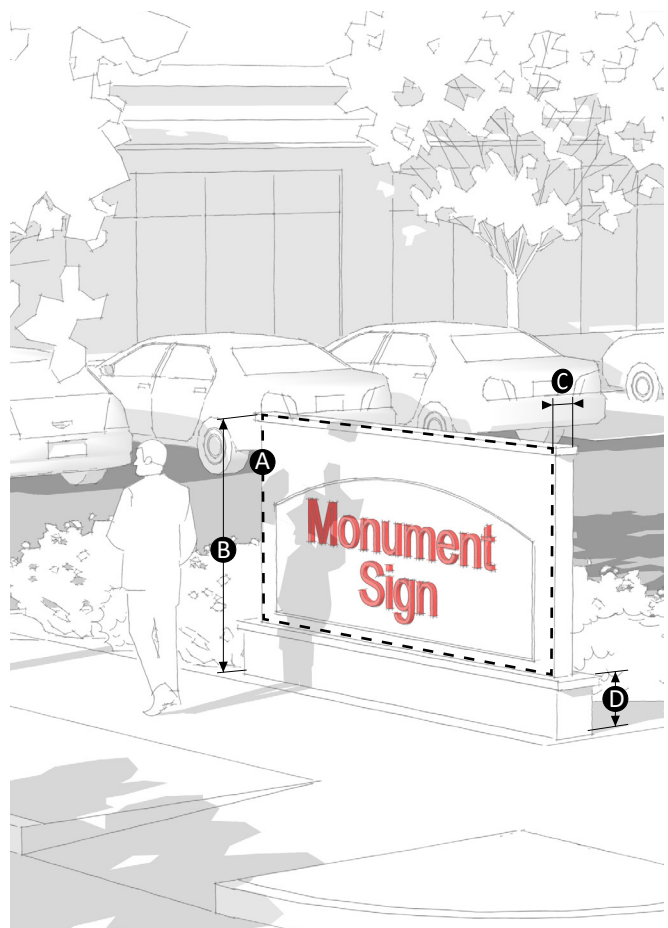
Total Sign Area Allocation

Each allowed sign can be no more than 80 SF in area.

Dimensions

A Height (max)	8'
Projection - measured from building facade (max)	2'
B Width (max % of facade width)	75%

SEC. 7.4.9. MONUMENT SIGN



Description

A permanently affixed sign which is wholly independent of a building for support and attached to the ground along its entire length.

General Provisions

1. A monument sign must be set back at least 5 feet from a front lot line and 10 feet from a common lot line.
2. A monument sign may be externally or internally illuminated in accordance with [Sec. 7.4.15](#).

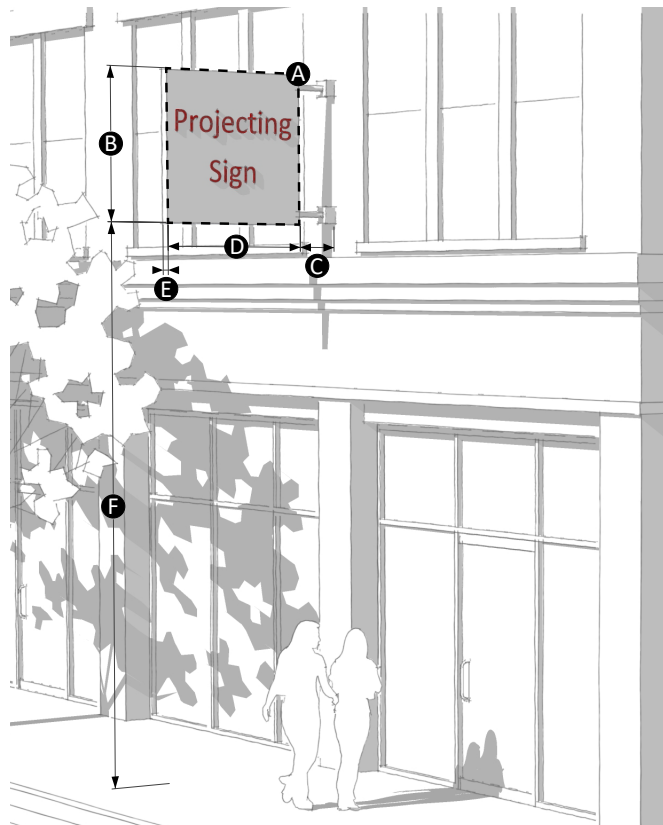
Total Sign Area Allocation

One sign no more than 64 SF in area.

Dimensions

A	Area of individual sign (max)	64 SF
B	Height, including base (max)	6'
C	Depth (max)	2'
D	Sign base height (min/max)	1'/4'

SEC. 7.4.10. PROJECTING SIGN



Description

A sign attached to the building facade at a 90-degree angle, extending more than 1 foot from the outside wall of the building or structure.

General Provisions

1. A projecting sign must be at least 25 feet from any other projecting sign.
2. A projecting sign may be erected on a building corner. Allocation of sign area from both streets may be used.
3. A projecting sign must be placed no higher than 24 feet above the sidewalk, measured from the top of the sidewalk to the highest point of the sign.
4. The top of a projecting sign must be no higher than the top of the building, except that on a one-story building, the top of a projecting sign may extend a maximum of 2 feet above the top of the building.
5. A projecting sign may be externally or internally illuminated in accordance with [Sec. 7.4.15](#).

Total Sign Area Allocation

See [Sec. 7.4.4](#).

Dimensions

A	Area of individual sign (max)	36 SF
B	Height (max)	6'
C	Spacing from building facade (min/max)	1/2'
D	Projection width (max)	6'
E	Sign depth (max)	1'
F	Clear height above sidewalk (min)	9'
F	Clear height above parking area or driveway (min)	14'

SEC. 7.4.11. RANCH ENTRANCE SIGN



Description

A sign located on private property over an entrance driveway or other private access.

General Provisions

1. Only one ranch entrance sign per property is allowed.
2. A ranch entrance sign must be located at least 10 feet from any side lot line.
3. The sign structure must be constructed of timber and metal.
4. A ranch entrance sign may only be externally illuminated in accordance with [Sec. 7.4.15](#).

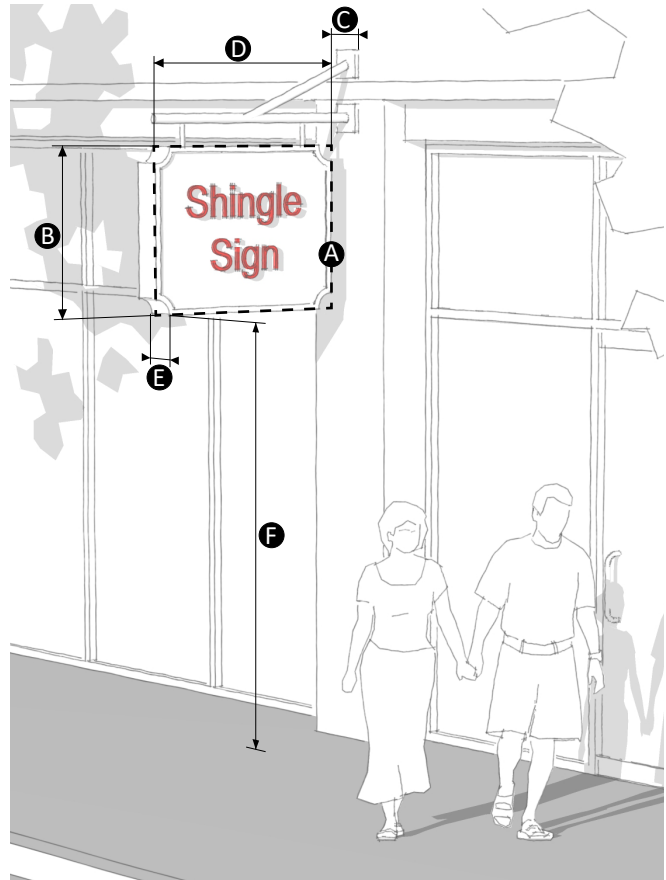
Total Sign Area Allocation

One sign no more than 48 SF in area.

Dimensions

A	Area of individual sign (max)	48 SF
B	Clear height above driveway (min/max)	20'

SEC. 7.4.12. SHINGLE SIGN



Description

A sign attached to the building facade at a 90-degree angle that hangs from a bracket or support extending more than 1 foot from the outside wall of the building or structure.

General Provisions

1. The hanging bracket must be an integral part of the sign design.
2. A shingle sign must be located below the window sills of the 2nd story on a multi-story building or below the roof line on a single-story building.
3. A shingle sign must be located within 5 feet of a ground story tenant entrance.
4. A shingle sign must be located at least 25 feet from any other shingle sign.
5. A shingle sign must not be illuminated.

Total Sign Area Allocation

One shingle sign is allowed per ground story tenant space.

Dimensions

A	Area of individual sign (max)	9 SF
B	Height (max)	3'
C	Spacing from building facade (min/ max)	6"/1'
D	Projection width (max)	3'
E	Sign depth (max)	6"
F	Clear height above sidewalk (min)	9'
F	Clear height above parking area or driveway (min)	14'

SEC. 7.4.13. WALL SIGN



Description

A sign attached to the wall or surface of a building or structure, the display surface of which does not project more than 1 foot from the outside wall of the building or structure.

General Provisions

1. A wall sign must be placed no higher than 24 feet above the sidewalk, measured from the top of the sidewalk to the highest point of the sign.
2. A wall sign must not extend above the roof line or above a parapet wall of a building with a flat roof.
3. A wall sign must not cover windows or architectural details.
4. A wall sign may be externally or internally illuminated in accordance with [Sec. 7.4.15](#).

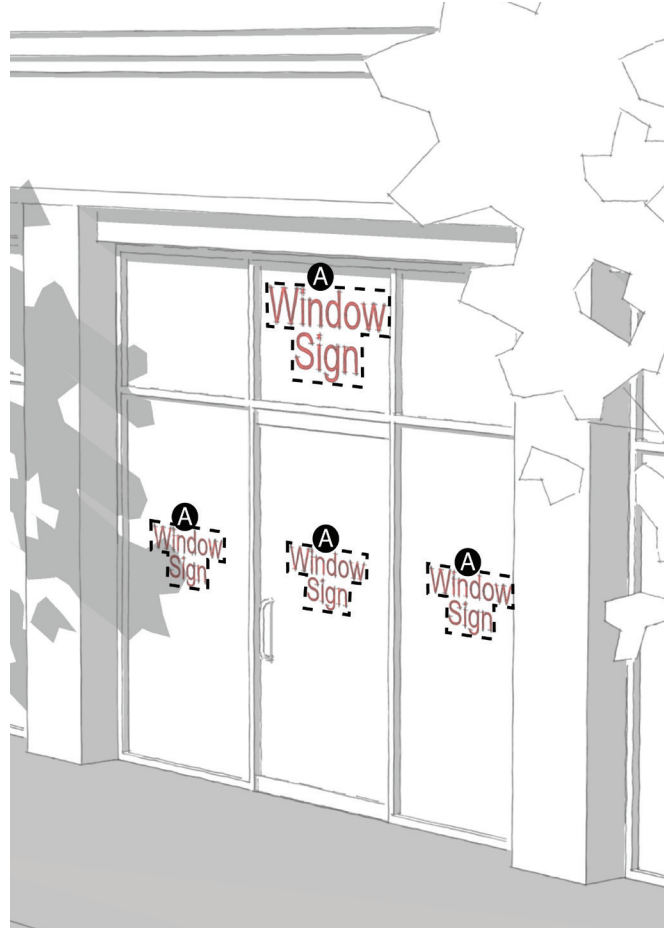
Total Sign Area Allocation

See [Sec. 7.4.4](#).

Dimensions

A	Area of individual sign (max)	No max except total allocation
B	Projection - measured from building facade (max)	1'

SEC. 7.4.14. WINDOW SIGN



Description

A sign affixed to the inside of a window or door, or a sign placed within a building less than 10 feet from a window or door so as to be plainly visible and legible through a window or door.

General Provisions

1. Window signs are only allowed on transparent ground story windows and doors.
2. Window signs are not transferable, and must be placed on the window or door used to measure the allocation.
3. A window sign must not be illuminated.

Total Sign Area Allocation

20% of each transparent ground story window and door

Dimensions

<p>A Maximum area of each transparent ground story window or door</p>	<p>20%</p>
--	------------

Sec. 7.4.15. Illumination

Illumination of signs must be in accordance with the following requirements.

1. Illumination Permitted by Sign Type

	Internal	External
A-Frame Sign	No	No
Awning Sign	No	No
Canopy Sign	Yes	Yes
Crown Sign	Yes	Yes
Monument Sign	Yes	Yes
Projecting Sign	Yes	Yes
Ranch Sign	No	Yes
Shingle Sign	No	No
Wall Sign	Yes	Yes
Window Sign	No	No

2. Prohibited Light Sources

- a. Blinking, flashing and chasing.
- b. Colored lights used in any manner so as to be confused with or construed as traffic control devices.
- c. Direct reflected light that creates a hazard to operators of motor vehicles.
- d. Lights that outline property lines, sales areas, roof lines, doors, windows or similar areas are prohibited, except for seasonal lighting or very low luminosity lighting displays using multiple lamps.

3. Internal Illumination

- a. For internally illuminated signs on a background, the background must be opaque or a darker color than the message of the sign.
- b. Internally illuminated signs using channel letters may be internally lit or back-lit.



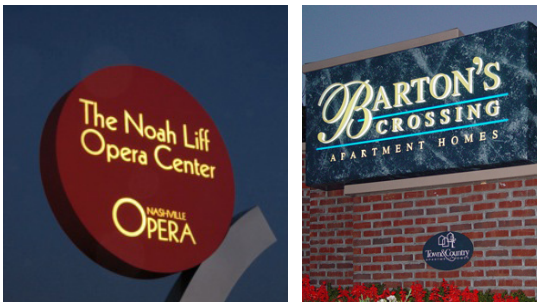
External light sources



Internally lit channel letters



Back lit channel letters



Internally lit signs with darker backgrounds

4. External Illumination

- a. Bare bulb illumination (including neon) is allowed.
- b. Lighting directed toward a sign must be shielded so that it illuminates only the face of the sign and does not shine directly onto public right-of-way or adjacent properties.
- c. Projecting light fixtures used for externally illuminated signs must be simple and unobtrusive in appearance and not obscure the sign.

Div. 7.5. Outdoor Display and Storage

Sec. 7.5.1. Applicability

The requirements of this Division apply where merchandise, material or equipment is stored outside of a completely enclosed building.

Sec. 7.5.2. Outdoor Display

A. Defined

1. The outdoor display of products actively available for sale.
2. The outdoor placement of ice storage bins, soft drink, video rentals or similar vending machines is considered outdoor display and must meet the standards below except for Sec. 7.5.2.B.2.

B. Standards

1. Outdoor display is only allowed with an allowed nonresidential use with ground floor frontage.
2. Outdoor display must be removed and placed inside a fully-enclosed building at the end of each business day.
3. Outdoor display may not encroach upon any right-of-way or sidewalk. Outdoor display may not impair the ability of pedestrians to use the sidewalk. There must be a minimum of 6 feet of clear distance of sidewalk at all times.
4. Outdoor display must abut the primary facade with the principal customer entrance, and may not extend more than 6 feet from the facade or occupy more than 25% of the horizontal length of the facade.
5. Outdoor display cannot exceed 6 feet in height.

Sec. 7.5.3. Limited Outdoor Storage

A. Defined

1. The outdoor storage of in crates, on pallets or in shipping containers;
2. Outdoor sale areas for sheds, building supplies and garden supplies;
3. The outdoor storage of contractors' equipment; and
4. The outdoor storage of vehicles, boats, recreational vehicles, trailers or other similar vehicles.

B. Standards

Limited outdoor storage may not be more than 12 feet in height and must be fully screened from view from the public right-of-way by landscaping or an opaque wall or fence that is compatible with the principal building in terms of texture, quality, material and color.

Sec. 7.5.4. General Outdoor Storage

A. Defined

1. The overnight outdoor storage of vehicles awaiting repair; and
2. The outdoor storage of soil, mulch, stone, lumber, pipe, steel, salvage or recycled materials, and other similar merchandise, material or equipment.

B. Standards

General outdoor storage is not permitted.

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Div. 8.1. General Provisions

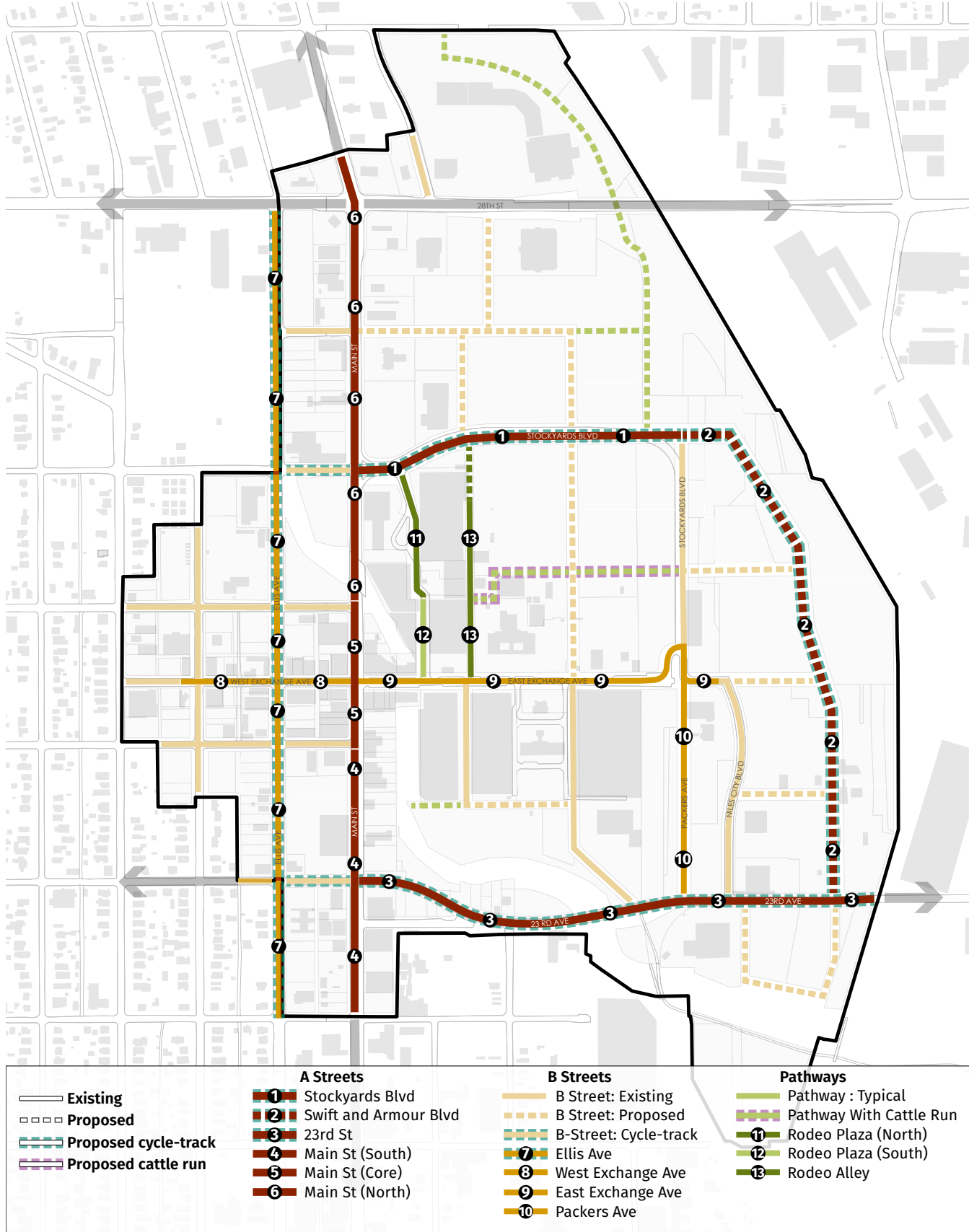
Sec. 8.1.1. Applicability

- A. Streets and pathways must be constructed in accordance with the Future Street and Pathway Map in Div. 8.2.
- B. The Director of Transportation and Public Works may modify a future street or pathway alignment as shown on the Future Streets and Pathways Map subject to the following:
 - 1. The requested modification does not increase congestion or compromise public safety;
 - 2. The requested modification does not decrease the number of connections to the overall street network;
 - 3. The requested modification does not create any lots without direct street frontage;
 - 4. The requested modification does not create a block perimeter that exceeds 1,600 feet; and
 - 5. The requested modification does not create a block length that exceeds 500 feet.
- C. Pathways designated on the Future Streets and Pathways Map can be used to meet the maximum block perimeter and length standards.
- D. A block may be bounded by a natural or man-made obstruction such as a creek or rail line.

Sec. 8.1.2. Dimensional Standards

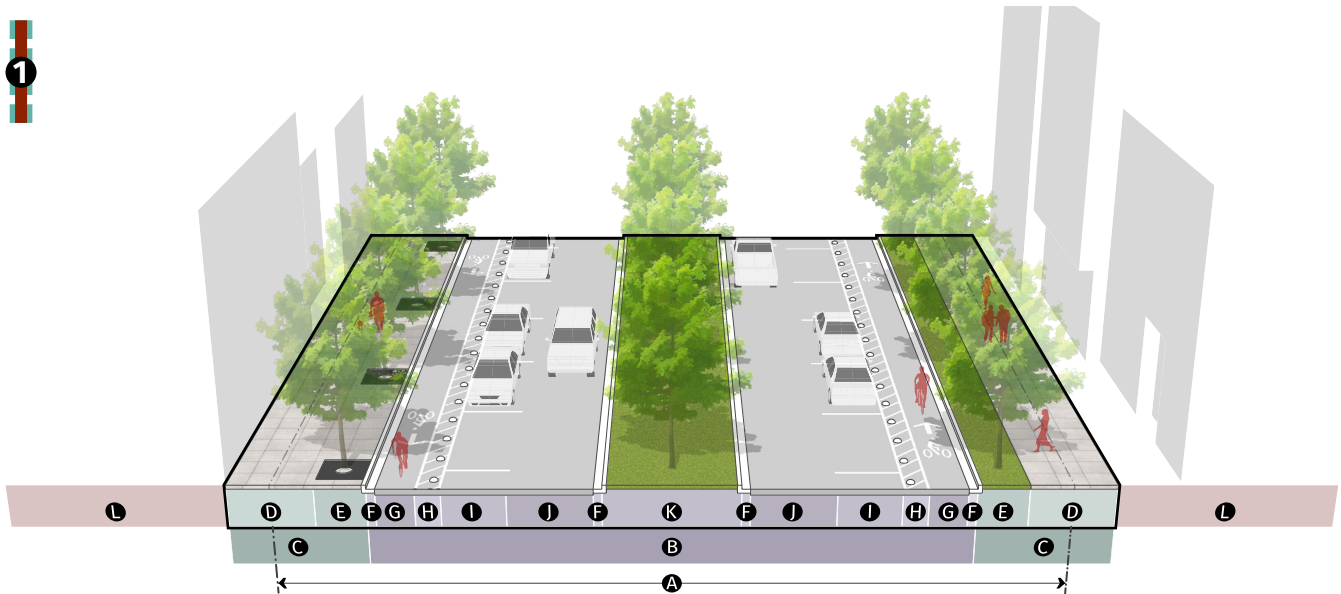
- A. The required dimensional standards for the streets and pathways identified on the Future Streets and Pathways Map are shown in Div. 8.3.
- B. All streets and pathways must be constructed with sidewalks, street trees, bike facilities, medians, travel lanes and on-street parking as shown for each street or pathway type, unless an alternative is approved by the Director of Transportation and Public Works.
- C. Modifications to the street and pathway dimensional standards may be allowed by the Transportation and Public Works Director where necessary to address specific conditions. The modifications must be the minimum necessary to address specific conditions, while preserving the integrity of the street and minimizing impacts on the pedestrian or cyclist experience.

Div. 8.3. Street and Pathway Types



SEC. 8.3.1. A STREET: STOCKYARDS BOULEVARD

Public Realm



A Right-of-way	97' min
B Curb-to-curb	65' min
C Streetscape	16' min

Streetscape

D Paved pedestrian zone	10' min
E Parkway depth	6' min
Street tree planting type	Landscape/pavers/grates
Tree spacing	
Small canopy	15' on-center avg.
Medium canopy	25' on-center avg.
Large canopy	35' on-center avg.
Roadway & pedestrian lighting	Required: installed per TPW specifications

Curb-to-Curb

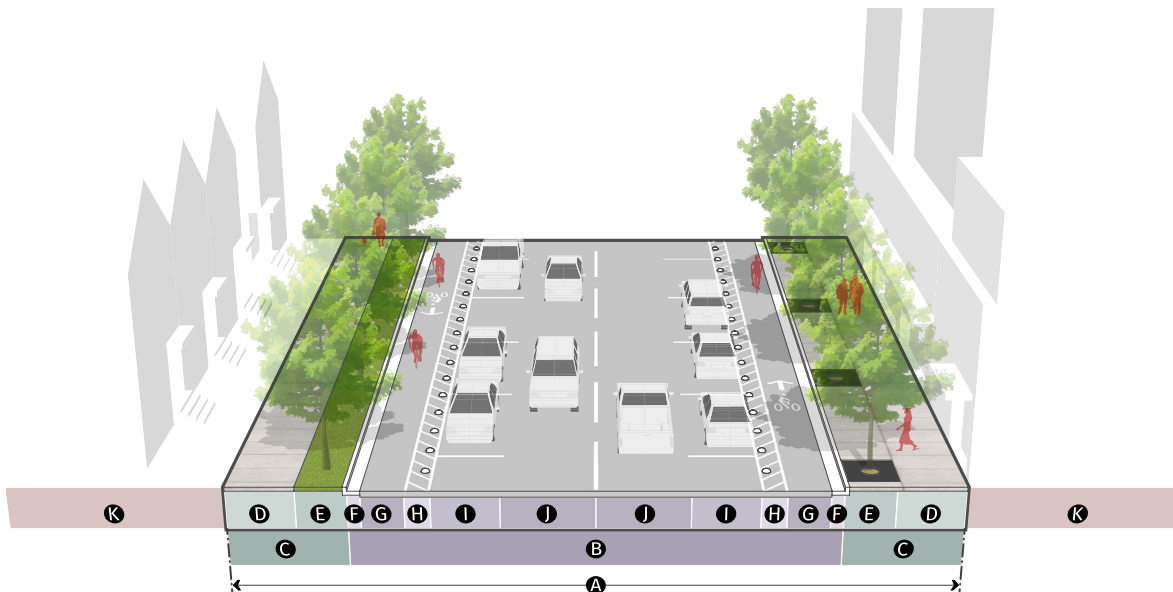
F Gutter	1' min
G Bicycle lane	4'6" min
H Bicycle buffer	3' min
I Parking lane	7'6" min (parallel)
J Travel lane	10' min / 11' max
K Median	11' min / 16' max

Large canopy trees required in median spaced 35' on-center avg.

Frontage

L See applicable sub-district

SEC. 8.3.2. A STREET: SWIFT & ARMOUR BOULEVARD



Public Realm

A Right-of-way	80' min
B Curb-to-curb	54' min
C Streetscape	13' min

Streetscape

D Paved pedestrian zone	8' min
E Parkway depth	5' min
Street tree planting type	Landscape/pavers/grates
Tree spacing	
Small canopy	15' on-center avg.
Medium canopy	25' on-center avg.
Large canopy	35' on-center avg.
Roadway & pedestrian lighting	Required: installed per TPW specifications

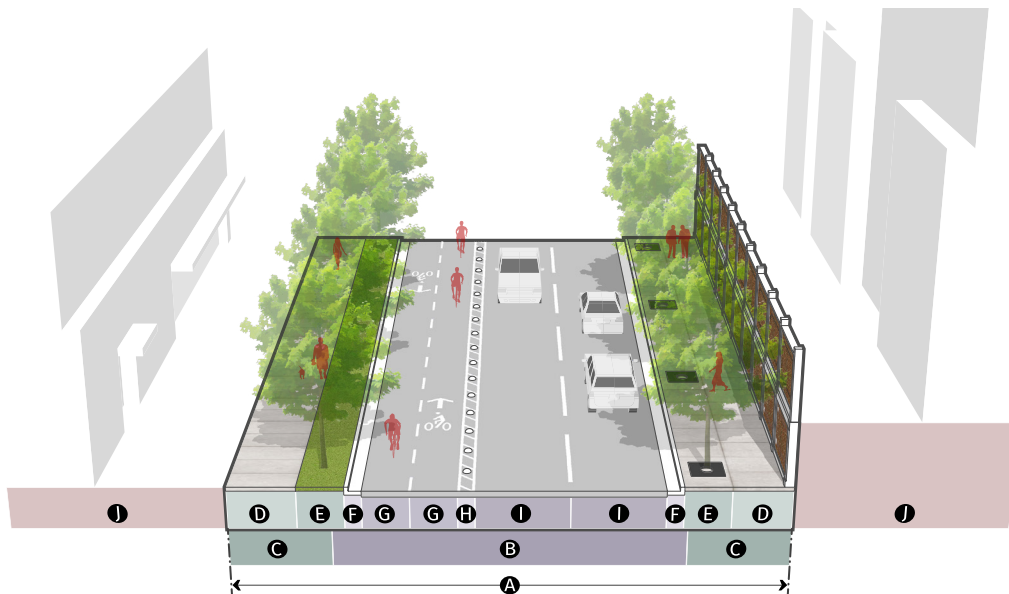
Curb-to-Curb

F Gutter	1' 6" min
G Bicycle lane	4'6" min
H Bicycle buffer	3' min
I Parking lane	8' min (parallel)
J Travel lane	10' min / 11' max

Frontage

K See applicable sub-district	
--------------------------------------	--

SEC. 8.3.3. A STREET: 23 STREET



Public Realm	
A Right-of-way	65' min
B Curb-to-curb	37' min
C Streetscape	14' min

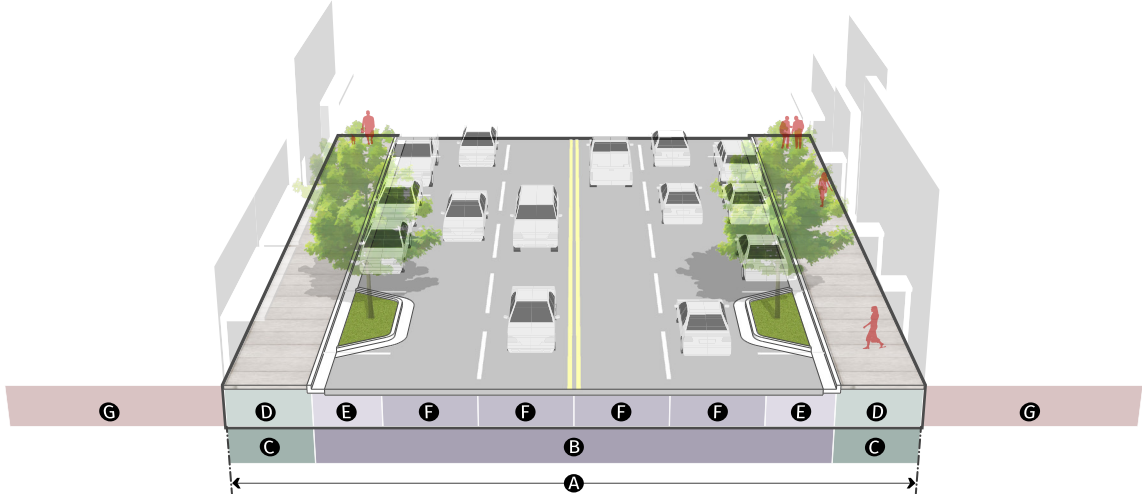
Streetscape	
D Paved pedestrian zone	8' min
E Parkway depth	6' min
Street tree planting type	Landscape/pavers/grates
Tree spacing	
Small canopy	15' on-center avg.
Medium canopy	25' on-center avg.
Large canopy	35' on-center avg.
Roadway & pedestrian lighting	Required: installed per TPW specifications

Curb-to-Curb	
F Gutter	1'6" min
G Bicycle lane	5' min
H Bicycle buffer	2' min
I Travel lane	10' min / 11' max

Frontage	
J See applicable sub-district	

SEC. 8.3.4. A STREET: MAIN STREET (SOUTH)

4



Public Realm

A Right-of-way	80' min
B Curb-to-curb	60' min
C Streetscape	10' min

Streetscape

D Paved pedestrian zone	10' min
Roadway & pedestrian lighting	Required: installed per TPW specifications

Curb-to-Curb

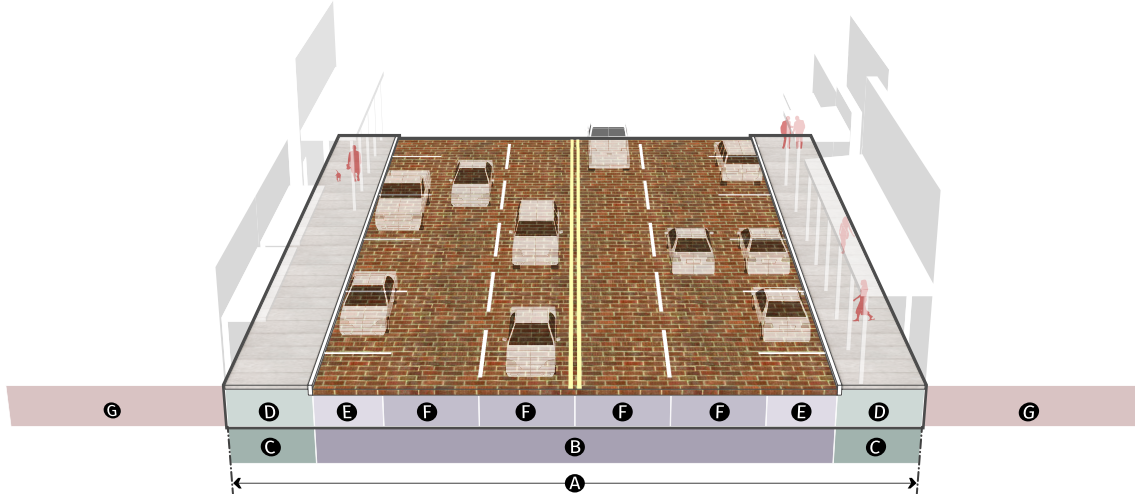
E Parking lane (includes gutter)	8' min (parallel)
Street tree planting	Bulb-out planter
Tree spacing	
Large canopy	100' on-center avg.
F Travel lane	10' min / 11' max

Frontage

G See applicable sub-district	
--------------------------------------	--

SEC. 8.3.5. A STREET: MAIN STREET (CORE)

5



Public Realm	
A Right-of-way	80' min
B Curb-to-curb	60' min
C Streetscape	10' min

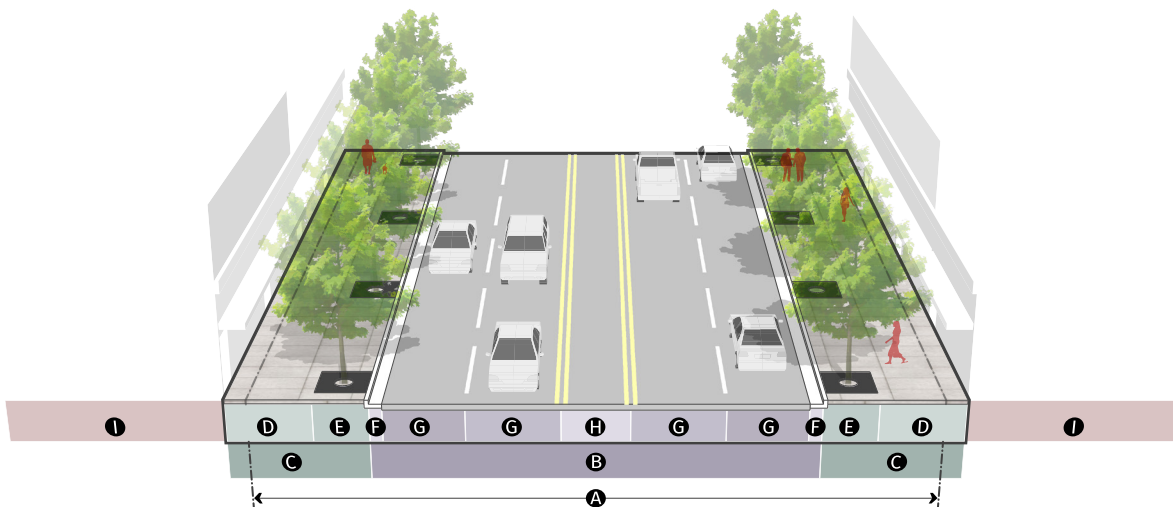
Streetscape	
D Paved pedestrian zone	10' min
Street tree planting	Not allowed
Roadway & pedestrian lighting	Required: installed per TPW specifications

Curb-to-Curb	
E Parking lane, brick paver	8' min (parallel)
F Travel lane, brick paver	10' min / 11' max

Frontage	
G See applicable sub-district	

SEC. 8.3.6. A STREET: MAIN STREET (NORTH)

6



Public Realm

A Right-of-way	Varies
B Curb-to-curb	Varies
C Streetscape	16' min

Streetscape

D Paved pedestrian zone	10' min
E Parkway depth	6' min
Street tree planting type	Grates
Tree spacing	
Small canopy	15' on-center avg.
Medium canopy	25' on-center avg.
Large canopy	35' on-center avg.
Roadway & pedestrian lighting	Required: installed per TPW specifications

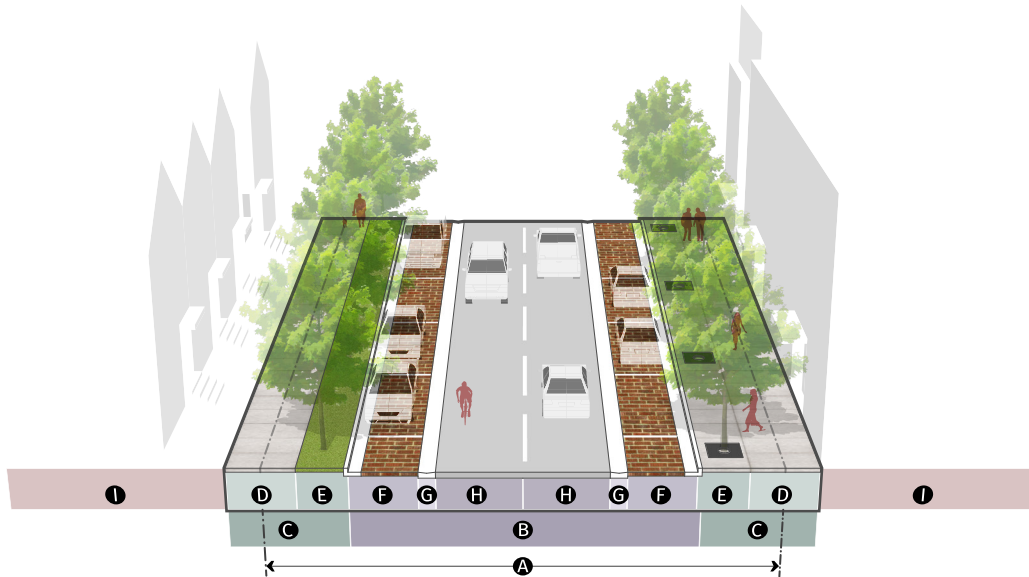
Curb-to-Curb

F Gutter	1'6" min
G Travel lane	10' min / 11' max
H Median / turn lane	Varies

Frontage

I See applicable sub-district

SEC. 8.3.7. B STREET: EXISTING



Public Realm

A Right-of-way	60' min
B Curb-to-curb	40' min
C Streetscape	14' min

Streetscape

D Paved pedestrian zone	8' min
E Parkway depth	6' min
Street tree planting type	Landscape/pavers/grates
Tree spacing	
Small canopy	15' on-center avg.
Medium canopy	25' on-center avg.
Large canopy	35' on-center avg.
Roadway & pedestrian lighting	Required: installed per TPW specifications

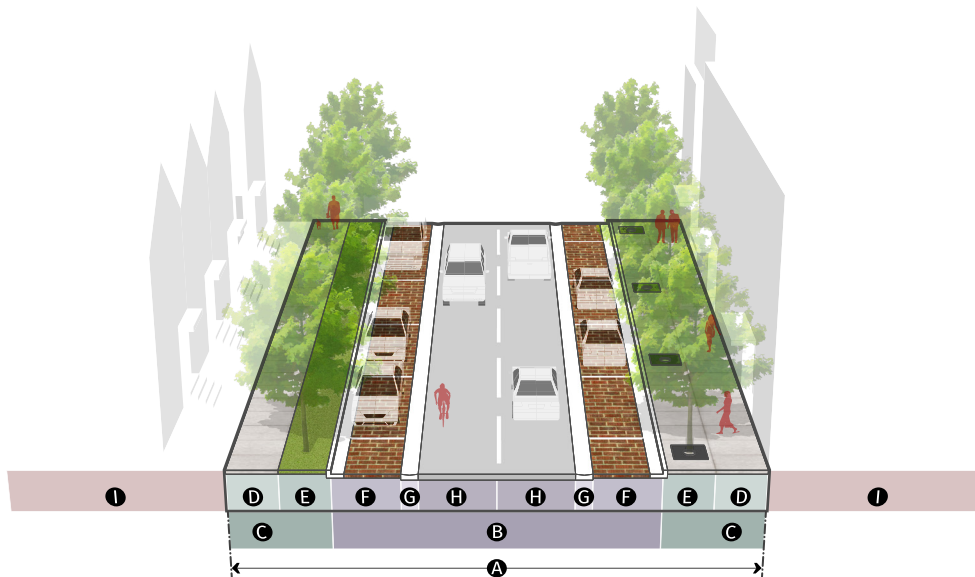
Curb-to-Curb

F Parking lane, brick paver (includes gutter)	8' min (parallel)
G Valley gutter	2' min
H Travel lane	10' min / 11' max
Bicycle facilities	Shared travel lane

Frontage

I See applicable sub-district

SEC. 8.3.8. B STREET: PROPOSED



Public Realm

A Right-of-way	60' min
B Curb-to-curb	38' min
C Streetscape	11' min

Streetscape

D Paved pedestrian zone	6' min
E Parkway depth	5' min
Street tree planting type	Landscape/pavers/grates
Tree spacing	
Small canopy	15' on-center avg.
Medium canopy	25' on-center avg.
Large canopy	35' on-center avg.
Roadway & pedestrian lighting	Required: installed per TPW specifications

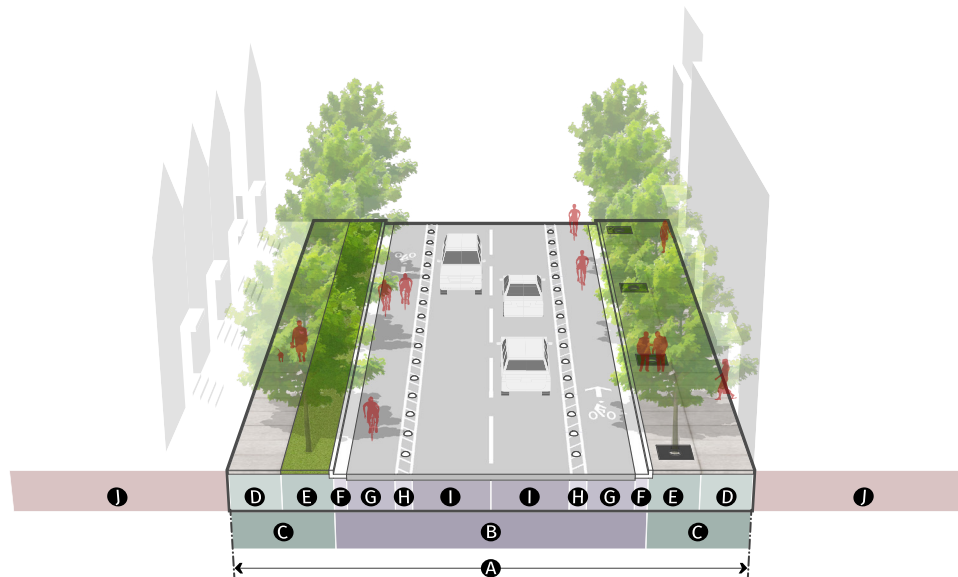
Curb-to-Curb

F Parking lane, brick paver (includes gutter)	7' min (parallel)
G Valley gutter	2' min
H Travel lane	10' min / 11' max
Bicycle facilities	Shared travel lane

Frontage

I See applicable sub-district	
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SEC. 8.3.9. B STREET: CYCLE-TRACK



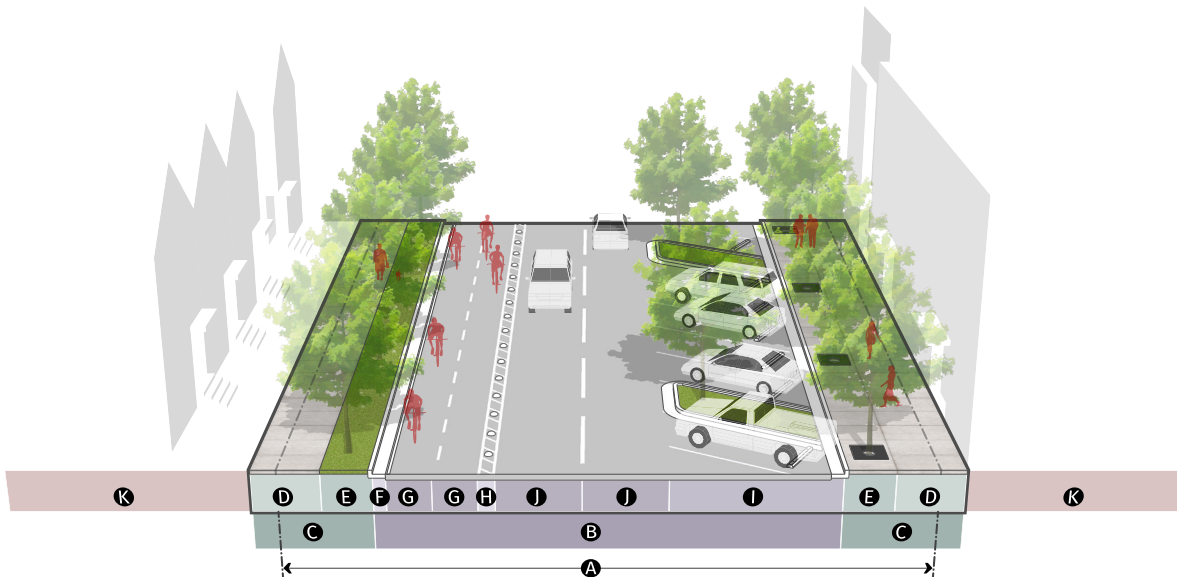
Public Realm	
A Right-of-way	60' min
B Curb-to-curb	37' min
C Streetscape	11'6" min

Streetscape	
D Paved pedestrian zone	6' min
E Parkway depth	5'6" min
Street tree planting type	Landscape/pavers/grates
Tree spacing	
Small canopy	15' on-center avg.
Medium canopy	25' on-center avg.
Large canopy	35' on-center avg.
Roadway & pedestrian lighting	Required: installed per TPW specifications

Curb-to-Curb	
F Gutter	1'6" min
G Bicycle lane	5' min
H Bicycle buffer	2' min
I Travel lane	10' min / 11' max

Frontage	
I See applicable sub-district	

SEC. 8.3.10. B STREET: ELLIS AVENUE



Public Realm

A Right-of-way	76' min
B Curb-to-curb	53'6" min
C Streetscape	13' min

Streetscape

D Paved pedestrian zone	8' min
E Parkway depth	5' min
Street tree planting type	Landscape/pavers/grates
Tree spacing	
Small canopy	15' on-center avg.
Medium canopy	25' on-center avg.
Large canopy	35' on-center avg.
Roadway & pedestrian lighting	Required: installed per TPW specifications

Curb-to-Curb

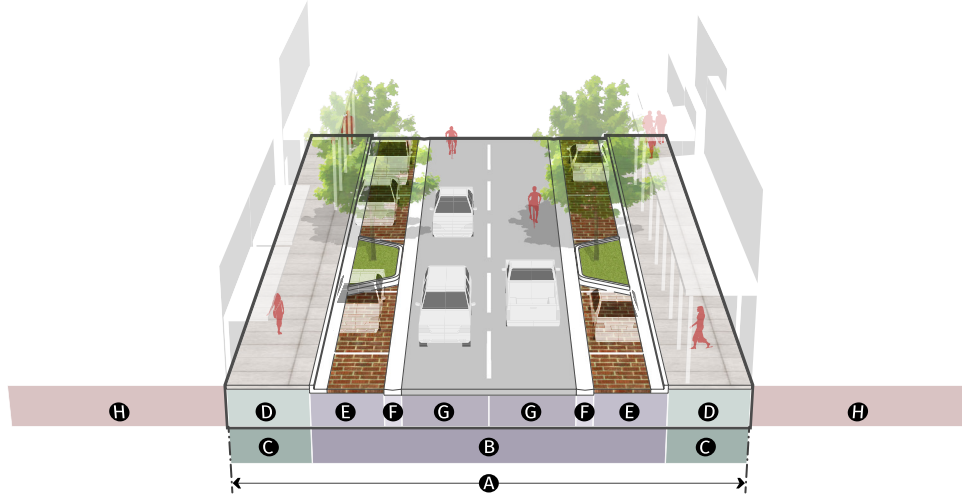
F Gutter	1'6" min
G Bicycle lane	5' min
H Bicycle buffer	2' min
I Parking lane (including gutter)	20' min (angled)
J Travel lane	10' min / 11' max

Frontage

K See applicable sub-district

SEC. 8.3.11. B STREET: WEST EXCHANGE AVENUE

8



Public Realm	
A Right-of-way	60' min
B Curb-to-curb	40' min
C Streetscape	10' min

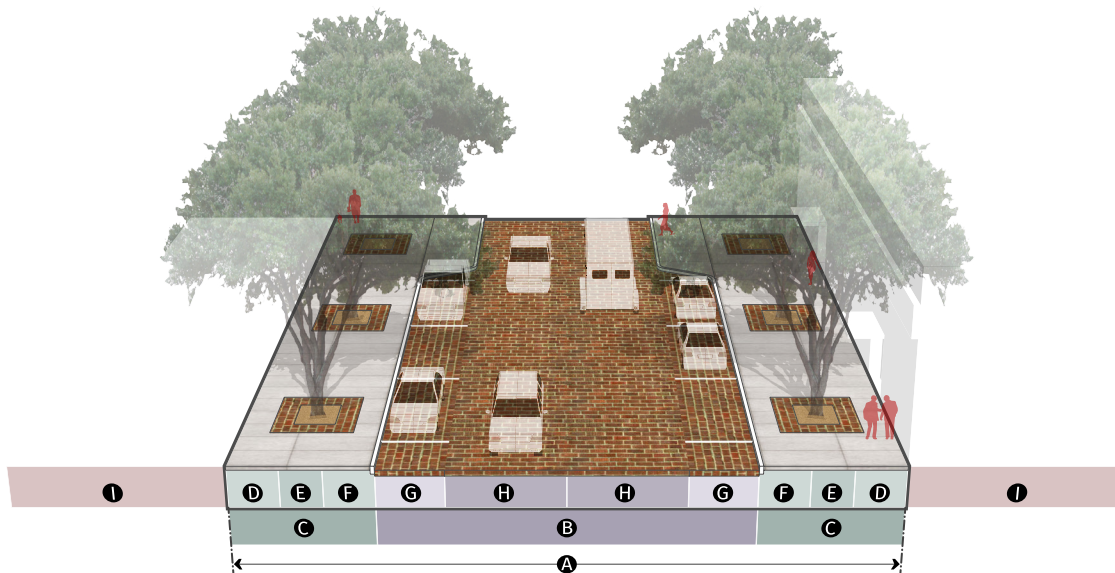
Streetscape	
D Paved pedestrian zone	10' min
Roadway & pedestrian lighting	Required: installed per TPW specifications

Curb-to-Curb	
E Parking lane, brick paver (includes gutter)	8' min (parallel)
Street tree planting type	Bulb-out planter
Tree spacing: large canopy	100' on-center avg.
F Valley gutter	2' min
G Travel lane	10' min / 11' max

Frontage	
H See applicable sub-district	

SEC. 8.3.12. B STREET: EAST EXCHANGE AVENUE

9



Public Realm

A Right-of-way	78' min
B Curb-to-curb	44' min
C Streetscape	17' min

Streetscape

D Paved pedestrian zone	6' min
E Parkway depth	5' min
Street tree planting type	Tree well
Tree spacing: large canopy	35' on-center avg.
F Paved pedestrian zone	6' min
Roadway & pedestrian lighting	Required: installed per TPW specifications

Curb-to-Curb

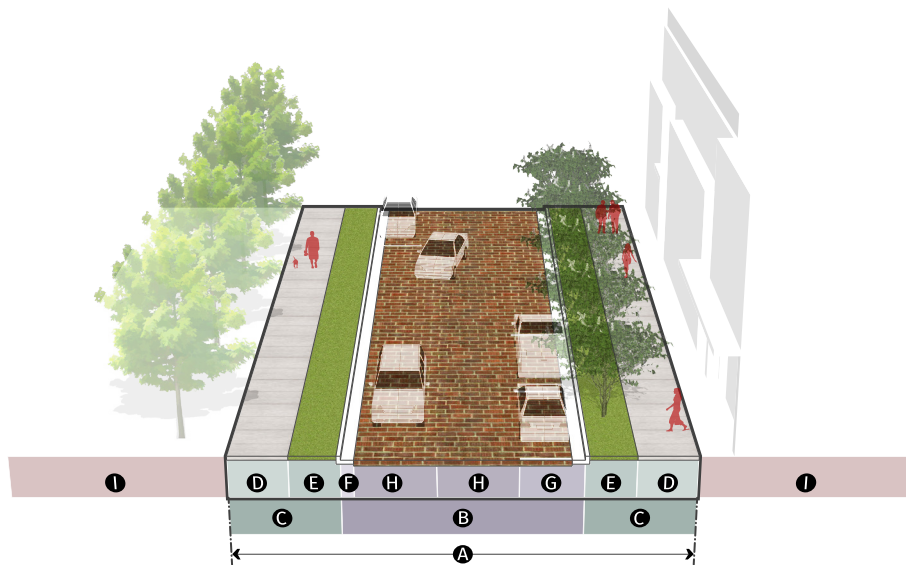
G Parking lane, brick paver	8' min (parallel)
H Travel lane, brick paver	12' min / 14' max
Bicycle facilities	Shared travel lane

Frontage

I See applicable sub-district

SEC. 8.3.13. B STREET: PACKERS AVENUE

10



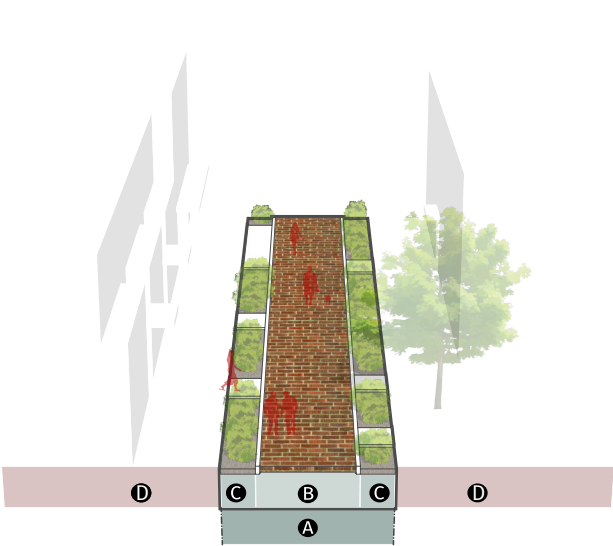
Public Realm	
A Right-of-way	54' min
B Curb-to-curb	28' min
C Streetscape	13' min

Streetscape	
D Paved pedestrian zone	7' min
E Parkway depth	6' min
Street tree planting type	Landscape/pavers/grates
Tree spacing	
Small canopy	15' on-center avg.
Medium canopy	25' on-center avg.
Large canopy	35' on-center avg.
Roadway & pedestrian lighting	Required: installed per TPW specifications

Curb-to-Curb	
F Gutter	1'6" min
G Parking lane, brick paver (includes gutter) lane	8' min (parallel alternating sides)
H Travel lane, brick paver	9' min / 10' max
Bicycle facilities	Shared travel lane

Frontage	
I See applicable sub-district	

SEC. 8.3.14. PATHWAY: TYPICAL



Public Realm

A Easement 20' min

Easement

B Paved pedestrian zone, brick pavers 10' min

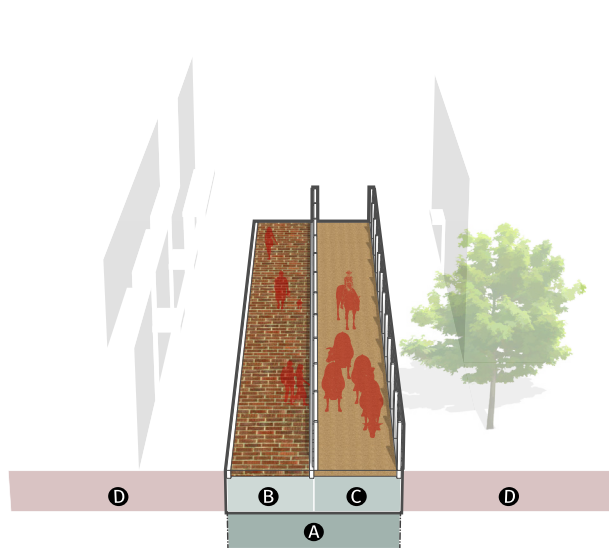
C Remainder of easement 10' min total
 Remainder of easement Landscape/pavers/grates material

Pedestrian lighting Required: installed per TPW specifications

Frontage

D See applicable sub-district

SEC. 8.3.15. PATHWAY: WITH CATTLE RUN



Public Realm

A Easement 20' min

Easement

B Paved pedestrian zone, brick pavers 10' min

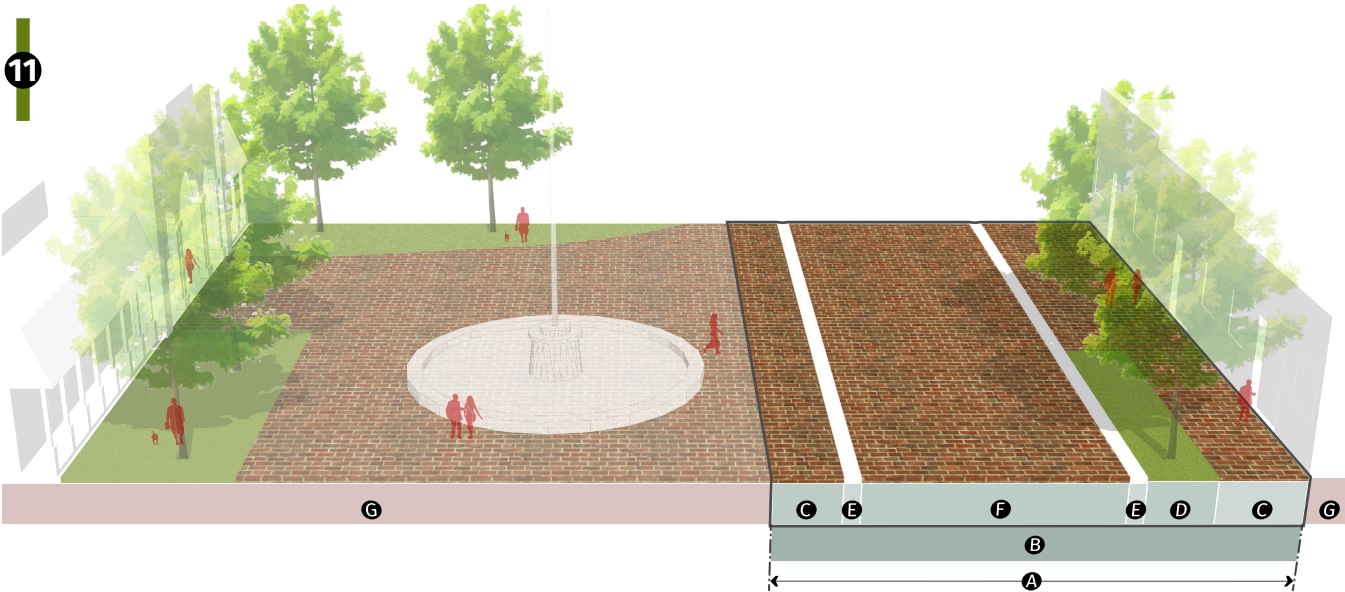
C Livestock-run 10' min

Required:
Pedestrian lighting installed per TPW specifications

Frontage

D See applicable sub-district

SEC. 8.3.16. PATHWAY: RODEO PLAZA (NORTH)



Public Realm

A Right-of-way 60' min

Right-of-Way

B Shared space, pavers 60' min

C Paved pedestrian zone 10' min

D Parkway depth 6' min

E Valley gutter 2' min

Street tree planting type Landscape/pavers/grates

Tree spacing: large canopy 35' on-center avg.

F Shared travel way 30' min

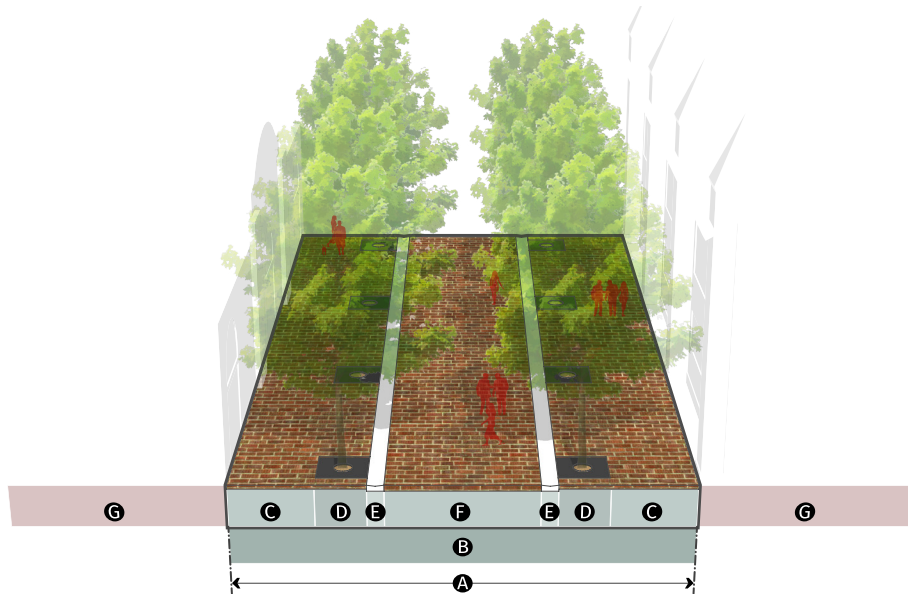
Roadway & pedestrian lighting Required: installed per TPW specifications

Frontage

G See applicable sub-district

SEC. 8.3.17. PATHWAY: RODEO PLAZA (SOUTH)

12



Public Realm

A Right-of-way 54' min

Right-of-Way

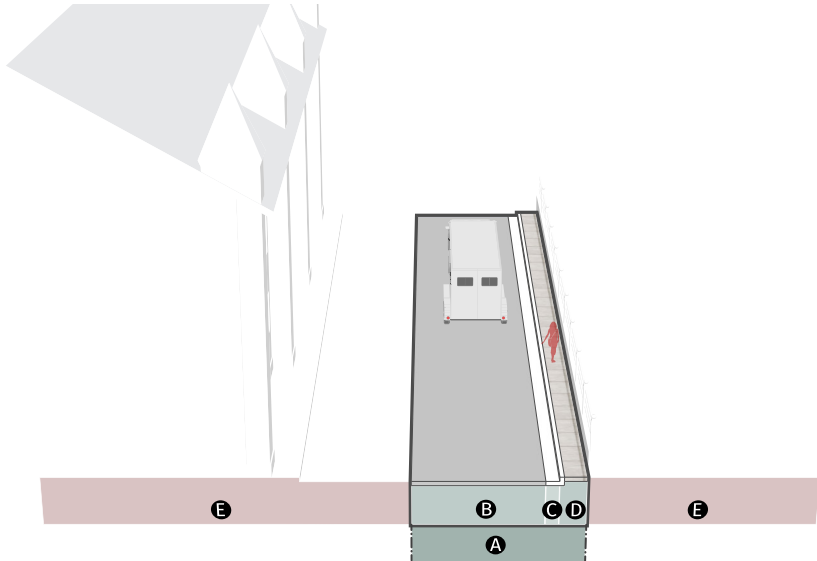
- B** Shared space, pavers 54' min
- C** Paved pedestrian zone 10' min
- D** Parkway depth 6' min
- Street tree planting type Grates
- Tree spacing: large canopy 35' on-center avg.
- E** Valley gutter 2' min
- F** Shared travel way 18' min
- Roadway & pedestrian lighting If installed must be per TPW specifications

Frontage

G See applicable sub-district

SEC. 8.3.18. PATHWAY: RODEO ALLEY

13



Public Realm

A Right-of-way 19' min

Right-of-Way

B Shared travel lane 15' min

C Gutter 1'6" min

D Paved pedestrian zone 2'6" min

Roadway & pedestrian lighting If installed must be per TPW specifications

Frontage

E See applicable sub-district

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Div. 9.1. Code Administration

Sec. 9.1.1. Authority

The Administrator of the Stockyards Form District is the FBC Administrator. The FBC Administrator is responsible for the day-to-day administration of this Code.

Sec. 9.1.2. Delegation of Authority

The FBC Administrator may designate any staff member to represent the FBC Administrator in any function assigned by this Code. The FBC Administrator remains responsible for any final action.

Div. 9.2. Historic Districts

Applications for development approval in the Historic Districts will be reviewed in accordance with § 4.401, Historic Preservation Overlay District, of the Code of Ordinances.

Div. 9.3. Transition and Edge Districts

Sec. 9.3.1. Applicability

All private construction projects in the Transition and Edge Districts, with the exception of interior construction or exterior in-kind replacement work, are subject to review by the FBC Administrator or the Urban Design Commission. All buildings, streets, and public spaces by public entities are also subject to review.

Sec. 9.3.2. Administrative vs. UDC Review

Projects that conform to all standards of this Code may be approved administratively by the FBC Administrator without review by the Urban Design Commission. The Urban Design Commission will review applications that require major modifications.

Sec. 9.3.3. Certificates of Appropriateness

The FBC Administrator or Urban Design Commission will issue a Certificate of Appropriateness for approved projects.

Sec. 9.3.4. Review Process

A. Step 1: Project Consultation

1. Before submitting an application for review, an applicant must schedule a meeting with the FBC Administrator to discuss the review procedures and applicable standards for approval. This meeting is not intended as an approval meeting, but to provide the applicant with an overview of the application requirements and to identify issues or opportunities relating to compliance with the requirements of this Code.
2. The FBC Administrator will inform the applicant of requirements as they apply to the proposed project, provide a preliminary list of issues that will likely be of concern during formal application review, suggest possible modifications to the project, and identify any technical studies that may be necessary for the review process when a formal application is submitted.
3. The FBC Administrator will provide the applicant with a list of required application materials/information in order to submit a complete application for review.

B. Step 2: Application Submittal

Applications must be submitted to the FBC Administrator on forms and in such numbers as required by the Planning and Development Department.

1. All applications must be sufficient for processing before the FBC Administrator is required to review the application. The FBC Administrator

will notify the applicant whether or not the application is complete or whether additional information is required.

2. An application is sufficient for processing when it contains all of the information necessary to decide whether or not the development as proposed will comply with all of the requirements of this Code.

C. Step 3: Application Review

Upon determination of a complete application, the FBC Administrator will promptly distribute the application for review by City departments and external agencies.

1. The FBC Administrator will determine whether the application conforms to all applicable requirements of the Code.
2. Final action on an application will be based solely on findings as to compliance with all applicable provisions of this Code and other applicable technical requirements.
3. Where an application is denied, the reasons for denial must be stated in writing, specifying the provisions of the Code or other applicable technical requirements that are not in compliance. A revised application may be submitted for further consideration.
4. The FBC Administrator may send any administrative cases to the Urban Design Commission when they feel it needs additional oversight.

Sec. 9.3.5. Code Modifications

A. Purpose

1. Specific site features (steep slopes, flood plain, drainage, lot shape, physical barriers or easements) may create conditions that make compliance with a specific Code standard impractical or undesirable. It is also recognized

that alternative design solutions may achieve the principles stated above but may not comply with a specific standard.

2. This section establishes the procedures for considering requests for a modification to the standards. These are divided into minor modifications approved by the FBC Administrator (see [Sec. 9.3.5.C](#)) and major modifications approved by the Urban Design Commission (see [Sec. 9.3.5.D](#)).
3. It is the responsibility of the applicant to meet the burden of clearly demonstrating the reason for the requested code modification and to provide sufficient documentation to illustrate how the modification is related to a site constraint and/or how the modification would equal or exceed the existing standard in terms of achieving the following guiding principles.

B. Guiding Principles

The standards established in this Code are intended to achieve the following principles:

1. Implement [Sec. 1.1.4](#), Intent;
2. Maintain a safe, walkable and attractive urban environment along the street;
3. Encourage creativity, architectural diversity, and exceptional design;
4. Maximize opportunities for redevelopment and investment;
5. Require excellence in the design of the public realm (building on Fort Worth's history of civic art) and of buildings that front public spaces.
6. Promote the preservation and creation of distinctive neighborhoods that provide diverse urban housing options;
7. Promote development that will support transit and commercial services the community desires;

8. Protect integrity of established and significant historic/civic landmarks;
9. Increase the tree canopy;
10. Maximize connectivity and access; and
11. Support adopted plan policies and recommendations.

C. Minor Code Modifications

During the review process, the FBC Administrator is authorized to approve the following minor code modifications at the request of an applicant.

1. Building Setbacks

- a. Increase of up to 5 feet of a required maximum primary or side street setback.
- b. Decrease of up to 2 feet of a required minimum primary or side street setback.
- c. Decrease of up to 2 feet of a required common lot line or alley setback.

2. Build-to

Decrease of up to 10% of a primary or side street build-to requirement.

3. Parking Setbacks

- a. Decrease of up to 5 feet of a required primary or side street parking setback.
- b. Decrease of up to 2 feet of a required common lot line or alley setback.

4. Building Height

Increase of up to 2 feet of the maximum building height.

5. Building Mass

Increase of up to 10 feet of the maximum length of a street-facing building facade.

6. Transparency

- a. Decrease of up to 5% of the minimum percentage of windows and doors that must cover a street-facing building facade.
- b. Increase of up to 5 feet of a maximum allowed blank wall area on a street-facing building facade.

7. Story Height

- a. Decrease of up to 1 foot of a required minimum ground floor elevation or up to 18 inches for accessibility needs.
- b. Increase of up to 2 feet of a required maximum ground floor elevation.
- c. Increase of up to 5 feet of a required maximum ground floor elevation if there is a slope of 10% or greater (as measured parallel to the street).
- d. Decrease of up to 1 foot of a required minimum ground story floor height.

8. Pedestrian Access

Increase of up to 10 feet of the maximum required distance between street-facing entrances.

9. Landscaping

Where conflicts arise, perimeter plantings or other required landscaping abutting a street edge may be substituted for streetscape planting within the public right-of-way.

10. Streetscape

Staff may administratively approve any modifications to streetscape requirements caused by utility conflicts, fire hydrants, shallow underground utilities, curb cuts or any other obvious impediment.

11. Signs

Increase of up to 20% of the maximum size of a permitted sign type.

D. Major Modifications

1. The Urban Design Commission is responsible for reviewing major modification requests that do not qualify as minor modifications, and to review appeals of staff decisions/interpretations.
2. When reviewing requests for major modifications, the Urban Design Commission must consider the guiding principles stated in Sec. 9.3.5.B.
3. When reviewing requests for major modifications, the Urban Design Commission must consider the design guidelines for the applicable district (Div. 3.4 for a Transition District or Div. 4.4 for an Edge District).
4. The Urban Design Commission's decision to approve or deny a request for a major modification is based on the following considerations:
 - a. The physical conditions of the property, such as steep slopes, flood plain, drainage, lot shape, physical barriers or easements, make compliance to the specific standard physically impossible, and this hardship is not created by the applicant; or
 - b. The applicant meets the burden of presenting an alternative means of compliance that clearly demonstrates how the code exception would equal or exceed the existing standard in terms of achieving the guiding principles stated in Sec. 9.3.5.B.; and
 - c. Conformance with the applicable design guidelines (Div. 3.4 for a Transition District or Div. 4.4 for an Edge District); and
 - d. The modification will not significantly impact adjacent property owners, the character of the area, traffic conditions, parking, public infrastructure, storm water management, and other matters affecting the public health, safety and general welfare; and
 - e. The modification will not result in a substantial departure from the basic urban principle that new development should add value to the animation and pedestrian walkability of the street edge.

Sec. 9.3.6. Urban Design Commission Recommendation to City Council

The UDC recommends that in support of ongoing heritage tourism at the Fort Worth Stockyards, the City of Fort Worth should work cooperatively with the Economic Development Department and Events Facilities Department to pursue potential opportunities for permanent parking for vehicles of audiences attending events at the Colesium, and for transport of livestock, including trucks and trailers, to be located along the storm water easement area, as related to specific requirements for utility easements and existing infrastructure located there.

Also, the UDC recommends that City should explore all potential options to preserve and enhance opportunities for museums and other cultural facilities to maintain their presence at desirable locations within the Stockyards, through coordination with the Economic Development Department and other relevant institutions, and to identify potential incentives and programs that can promote their ongoing economic viability, so that they can continue to operate in a manner that enhances heritage tourism within the Fort Worth Stockyards.

ARTICLE 10. DEFINITIONS

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Div. 10.1. General Provisions

Sec. 10.1.1. General Meaning of Words & Terms

- A. All words and terms used have their commonly accepted and ordinary meaning unless they are specifically defined in this Code or the context in which they are used clearly indicates to the contrary.
- B. When vagueness or ambiguity is found to exist as to the meaning of any word or term used, any appropriate canon, maxim, principle or other technical rule of interpretations or construction used by the courts of this state may be employed to resolve vagueness and ambiguity in language.

Sec. 10.1.2. Abbreviations

n/a: Not applicable

ROW: Right-of-Way

SF: Square Feet

Div. 10.2. Defined Terms

The following terms are defined for the purpose of this Code. Terms not defined below may be defined in Chapter 9 of the City of Fort Worth Zoning Ordinance. In such case, the definition contained in Chapter 9 should be used. If there is a conflict between a definition in Chapter 9 and this Code, the definition in this Code must be used.

Awning (see [Sec. 5.14.B](#)).

Balcony (see [Sec. 5.14.C](#)).

Building Facade means the face of a building that delineates the edge of conditioned floor space.

Canopy (see [Sec. 5.14.B](#)).

FBC Administrator means the person responsible for the day-to-day administration of this Code, or their designee.

Forecourt (see [Sec. 5.14.D](#)).

Gallery (see [Sec. 5.14.E](#)).

Porch (see [Sec. 5.14.F](#)).

Stoop (see [Sec. 5.14.G](#)).



Zoning Staff Report

Date: July 10, 2024

Case Number: ZC-24-061

Council District: 11

Zoning Map Amendment

Case Manager: [Stephen Murray](#)

Applicant: City of Fort Worth (initiated by City Council Member Martinez)

Site Location: 4812 Parker Henderson Rd **Acreage:** 1.8 acres

Request

Proposed Use: Single-family

Request: From: "I" Light Industrial
To: "A-5" One-Family

Recommendation

Land Use Compatibility: Requested change **is compatible**

Comprehensive Plan Map Consistency: Requested change **is consistent**

Comprehensive Plan Consistency: Requested change **is consistent**

Staff Recommendation: **Approval**

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- [1. Project Description and Background](#)
- [2. Surrounding Zoning and Land Uses](#)
- [3. Recent Zoning History](#)
- [4. Public Notification](#)
- [5. Development Impact Analysis](#)
 - [a. Land Use Compatibility](#)
 - [b. Comprehensive Plan Consistency](#)
6. Zoning Map with 300 ft. Notification Area
7. Area Map
8. Future Land Use Map
9. Aerial Photograph

Project Description and Background

The rezoning site is located on Parker Henderson Road just south of Martin Street. The Councilmember requested that this site be rezoned in accordance with the Comprehensive Plan. The proposed rezoning will provide a residential buffer between existing single-family and industrial uses to the east. Currently the site is being used as truck terminal and warehousing. If City Council approves the proposed amendments and the business is considered a legal nonconforming use, then it will be allowed to continue to operate.

A nonconforming use may continue and renovate, remodel, or repair a structure housing a nonconforming use if the work does not enlarge or make structural alterations to the nonconforming use. The right to operate a nonconforming use ceases when any of these occur:

1. The use is discontinued for 24 months or more,
2. The use changes to a conforming use,
3. No action shall be taken to prevent the restoration of a building destroyed to the extent of not more than 75% of its reasonable value, by fire, explosion or other casualty, or act of God, or the public enemy, nor the continued occupancy or use of such building or part thereof which existed at the time of such partial destruction

Surrounding Zoning and Land Uses

North "A-5" One-Family / undeveloped
East "K" Heavy Industrial / industrial
South "A-5" One-Family / undeveloped
West "A-5" One-Family / single-family

Recent Zoning History

- None

Public Notification

300-foot Legal Notifications were mailed on June 28, 2024.
The following organizations were notified: (emailed June 28, 2024)

Organizations Notified	
Glen Park NA	Village Creek NA
Echo Heights NA	Echo Heights Stop Six Environmental Coalition
East Fort Worth, Inc.	Streams and Valleys Inc.
Trinity Habitat for Humanity	Southeast Fort Worth Inc.
FWISD	

** Located within this registered Neighborhood Association*

Development Impact Analysis

Land Use Compatibility

Council Member Martinez is requesting to change the zoning of this site to more closely match the existing land uses. Surrounding land uses consist of single-family to the west, industrial to the east, and undeveloped (A-5 zoned) land both north and south. The proposed “A-5” is appropriate along the Parker Henderson blockface because it acts as a barrier between residential uses west and industrial uses to the east. The existing industrial is not appropriate adjacent single-family residential. The primary use for the site is currently warehouse/trucking which often results in noise and other unwanted impacts to nearby residents.

As a result, the proposed rezoning to single-family **is compatible** at this location.

Comprehensive Plan Consistency – Southeast

The adopted Comprehensive Plan currently designates the subject property as single-family, the proposed “A-5” One-Family **is consistent** with the Future Land Use Map and compatible with the following policies of the adopted Comprehensive Plan.

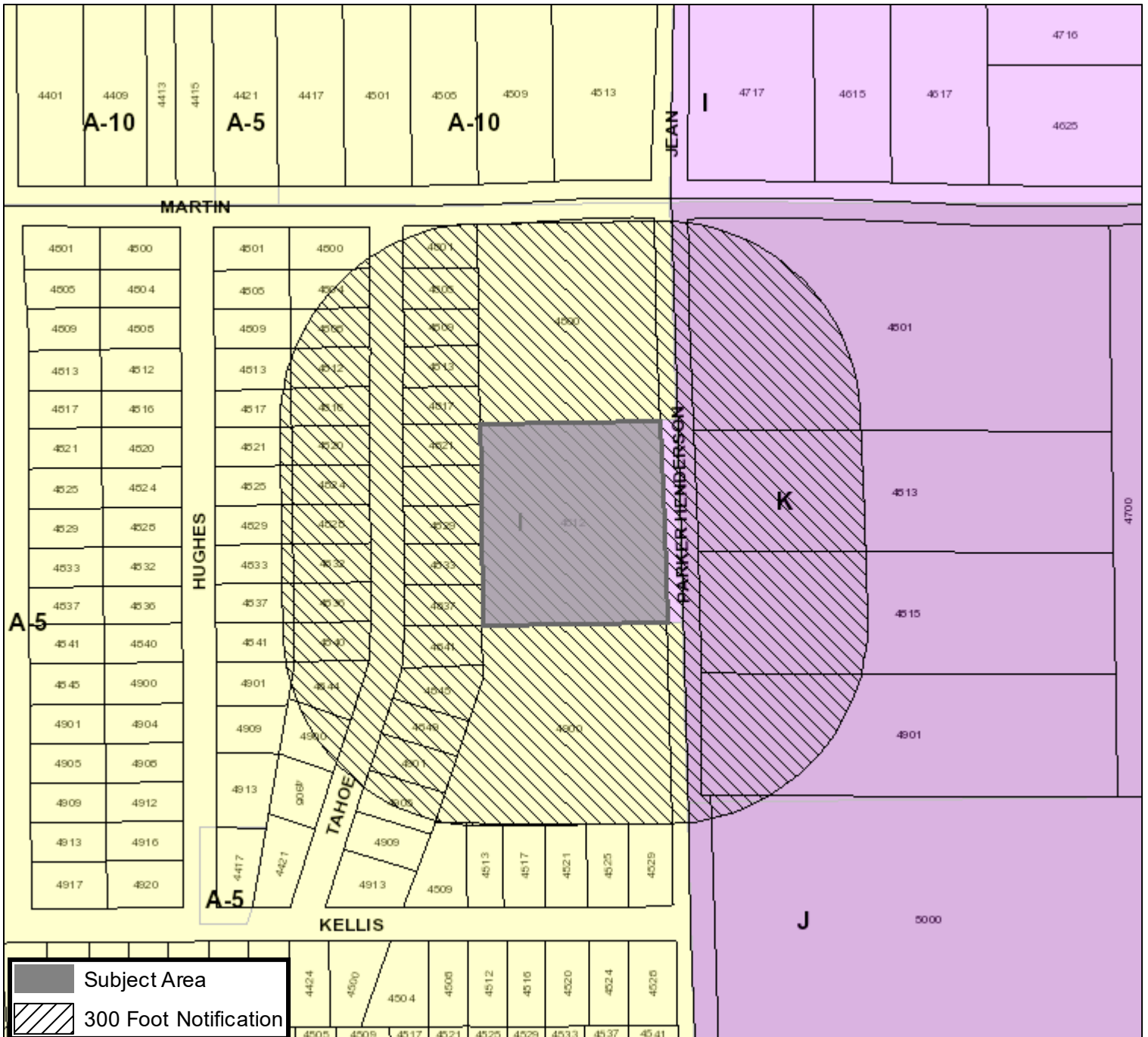
- Encourage infill development of compatible, single-family homes in existing neighborhoods to preserve and protect residential neighborhoods.
- Encourage new development in character with the existing neighborhood scale, architecture, and platting pattern, while working to improve pedestrian, bicycle, and transit access between adjacent neighborhoods and nearby destinations.
- Promote measures to ensure that all types of residential developments are compatible in scale to abutting residential developments. A dramatic difference in lot size and units per acre should be discouraged for new development immediately adjacent to existing development or platted and zoned property, unless mitigation is provided to minimize the effects of the new use.





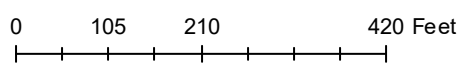
ZC-24-061

Area Zoning Map

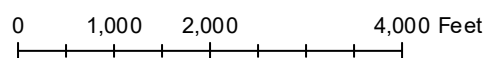
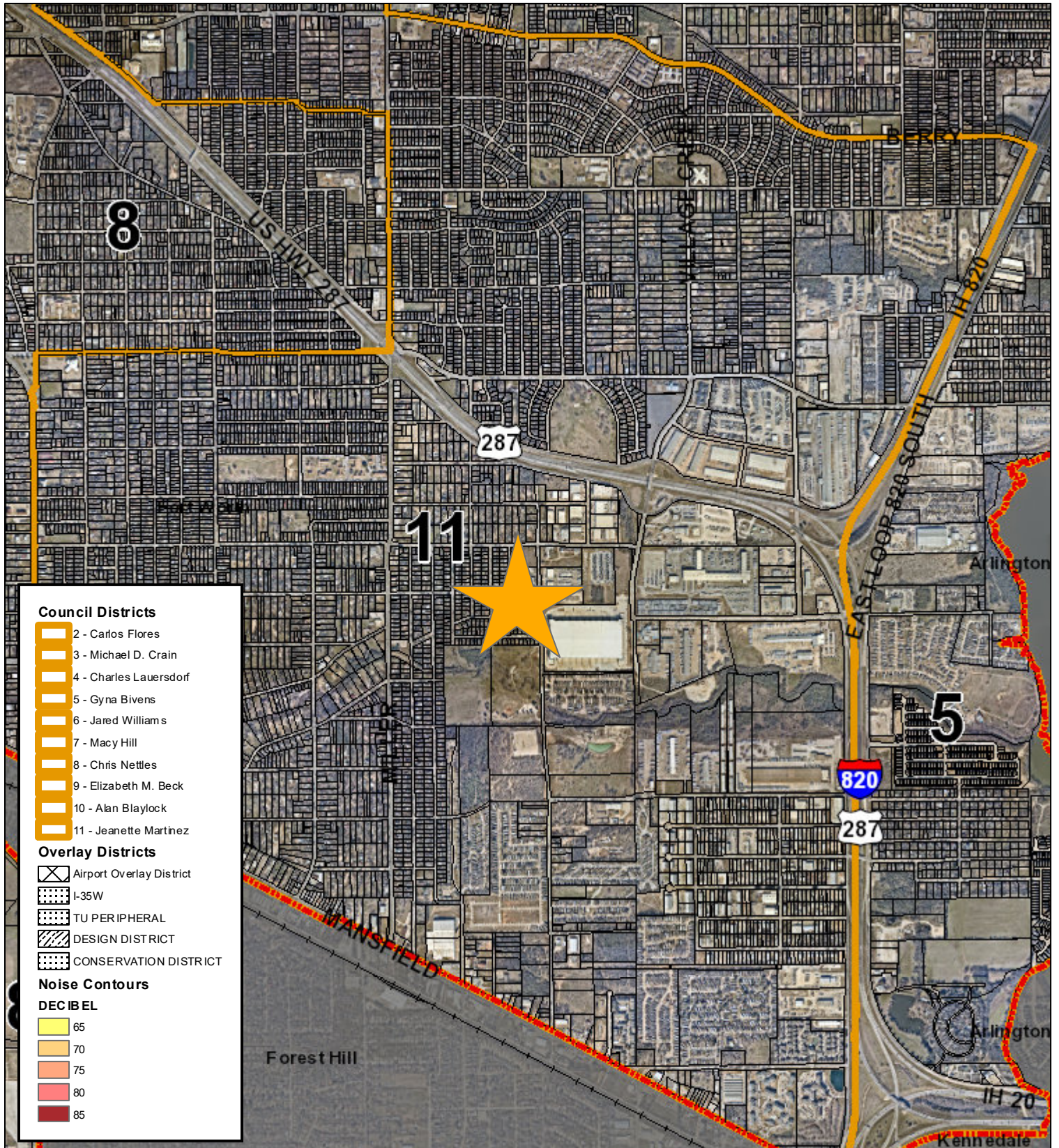
Applicant: City of Fort Worth
 Address: 4812 Parker Henderson
 Zoning From: I
 Zoning To: A-5
 Acres: 1.89650115
 Mapsco: Text
 Sector/District: Southeast
 Commission Date: 7/10/2024
 Contact: 817-392-6226



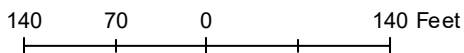
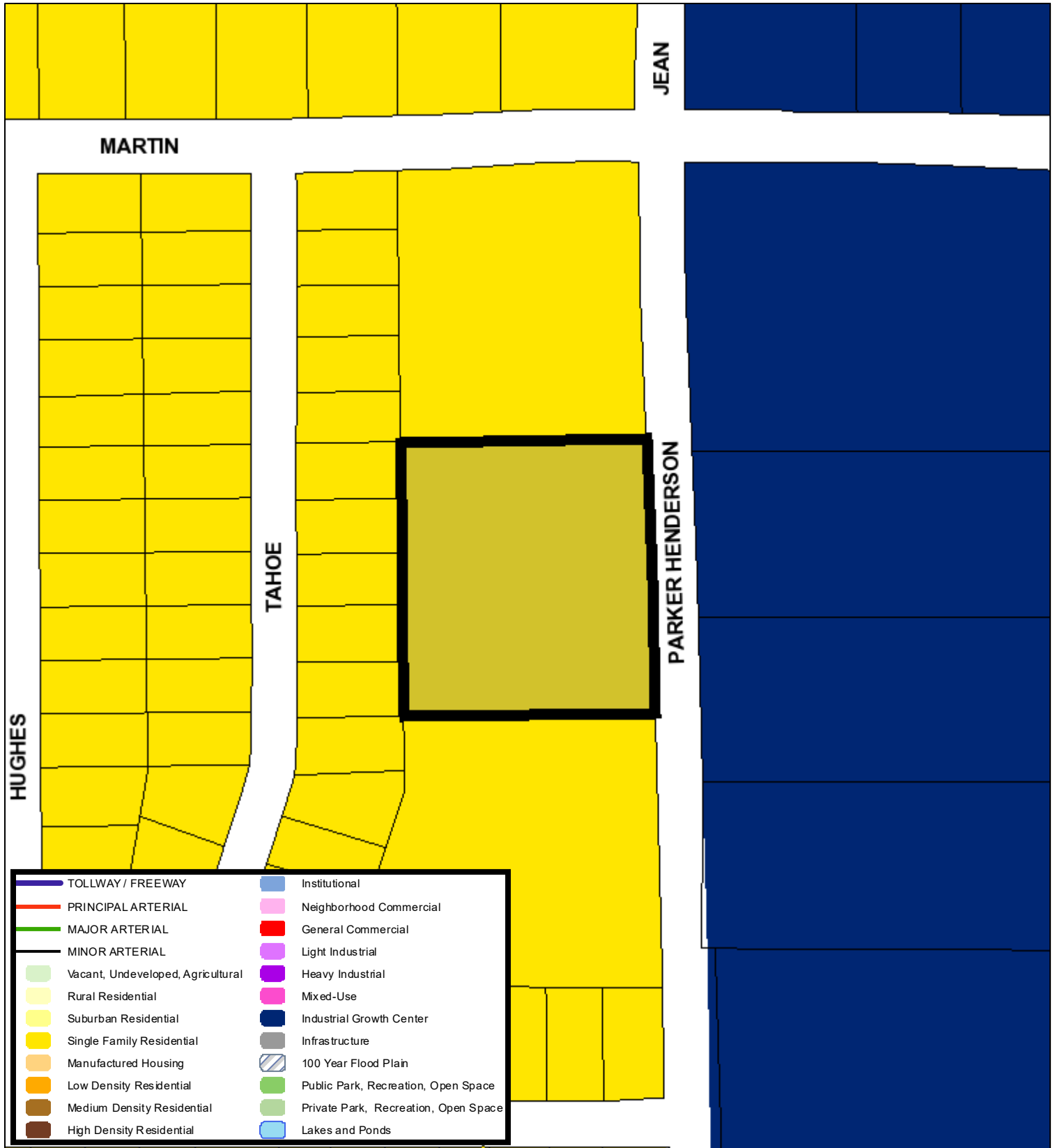
 Subject Area
 300 Foot Notification



Area Map



Future Land Use



A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



Aerial Photo Map



0 90 180 360 Feet





Zoning Staff Report

Date: July 10, 2024

Case Number: ZC-23-195

Council District: 3

Zoning Map Amendment

Case Manager: Brett Mangum

Owner / Applicant: CCA & CWB LLC / Joshua Galbreath

Site Location: 7716 Norman Avenue

Acreage: 0.50 acres

Request

Proposed Use: Apartments

Request: From: “A-5” One Family Residential w/ NASJRB Overlay

To: “CR” Low Density Multifamily w/ NASJRB Overlay

Recommendation

Land Use Compatibility: Requested change **is not compatible**

Comprehensive Plan Map Consistency: Requested change **is not consistent**

Comprehensive Plan Policy Consistency: Requested change **is not consistent**

Staff Recommendation: **Denial**

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5. [Development Impact Analysis](#)
 - a. [Land Use Compatibility](#)
 - b. [Comprehensive Plan Consistency](#)
6. Zoning Map with 300 ft. Notification Area
7. Rendering & Floorplans
8. Area Map
9. Future Land Use Map
10. Aerial Photograph

Project Description and Background

The subject site is located on the east side of Fort Worth, situated one block south of the Camp Bowie West Blvd. corridor, in Council District 3. This mid-block site is currently undeveloped. The applicant is requesting to rezone the half-acre property from “A-5” One Family Residential to “CR” Low Density Multifamily, to accommodate an apartment development with approximately 8 units, for a density of 16 dwelling units per acre of gross density. Please note that a formal Site Plan is not required for a rezoning to “CR”, however the applicant has provided staff with a rendering and floor plan (attached to this report) showing their most recent development plans in order to give staff and City officials an idea on how the developer envisions the layout and functionality of the site. Current site conditions are included for reference below, showing the surroundings which are predominately large lot residential, single family houses.







Surrounding Zoning and Land Uses

North “CB-IA” Camp Bowie-Industrial Arts / billiards & restaurant
East “A-5” One Family Residential / single family
South “A-5” One Family Residential / single family
West “PD-649” Planned Development-Specific Use / single family & cabinet shop

Recent Zoning History

- ZC-14-102, NAS JRB Overlay added

Public Notification

300-foot Legal Notifications were mailed on June 28, 2024.
The following organizations were emailed on June 28, 2024:

Organizations Notified	
Streams and Valleys Inc	Trinity Habitat for Humanity
NAS Fort Worth JRB RCC	Bomber Heights NA
Fort Worth ISD	Camp Bowie District, Inc.

Development Impact Analysis

Land Use Compatibility

Surrounding land uses in this area are mainly single family residential in use and in zoning. With the exception of a hybrid PD to the west (single family house with the addition of small scale cabinet manufacturing) and commercial to the north along Camp Bowie West, all of the uses to the east and south are exclusively residential. Norman Avenue is a quiet side street that runs one block between Williams Road and Reagan Drive, it is not a thoroughfare or otherwise given any special designation in the City’s Master Thoroughfare Plan. With the sole ingress and egress being on Norman Avenue, all traffic would utilize the same access points.

The rezoning of this site to “CR” would be disruptive to existing uses in the vicinity. The proposed zoning is **not compatible** with surrounding land uses.

Comprehensive Plan Consistency – Western Hills/Ridglea Sector

The 2023 Comprehensive Plan designates the subject property as *future single family residential*. Zoning categories in alignment with this Comprehensive Plan designation would be “A-10”, “A-7.5”, “A-5”, or “AR” One Family residential zoning. The current “A-5” zoning is in alignment and consistent with the Comprehensive Plan designation. In order to accommodate the current development and rezoning proposal, a designation of

Medium Density Residential would be required in order to accommodate a rezoning to “CR” Low Density Multifamily.

LAND USE & ZONING CONFORMANCE

COMPREHENSIVE PLAN | LAND USE

FUTURE LAND USE AND ZONING CLASSIFICATIONS

Zoning implements the Future Land Use Map, which guides the location of appropriate places to live, play, and conduct business. The future land use maps and policies are used by staff, appointed commissioners, and elected officials when making decisions regarding zoning, annexation, budgeting, and major public facilities expenditures.

APPENDIX C: FUTURE LAND USE BY SECTOR

FUTURE LAND USE	DESCRIPTION	IMPLEMENTING ZONING
RESIDENTIAL		
Rural Residential	1+ acre single-family	A-2.5, A-43
Suburban Residential	1/2+ acre single-family	A-21
Single-Family Residential	3,500+ sq. ft. lot single-family	A-10, A-7.5, A-5, AR
Manufactured Housing	Manufactured home parks and subdivisions	MH
Low Density Residential	2,500+ sq. ft. lot single-family, two-family, patio homes, townhouses, cluster housing	B, R1, R2
Medium Density Residential	Up to 36 units/acre multifamily	CR, C, D
Urban Residential	Medium to high density, residential only, pedestrian-oriented development for use between higher and lower intensity uses	UR
High Density Residential	>36 units/acre multifamily, mixed-use multifamily and pedestrian-oriented development in growth centers	UR, MU-1, MU-2, Form-Based Codes

The proposed zoning is **not consistent** with the Comprehensive Plan map designation. If the zoning change is approved as presented, staff recommends that the Future Land Use Plan designation be updated to reflect this change.

In terms of policy, this zoning change is not supported by at least five of the policies specific to the Western Hills/Ridglea area, which generally discourage the intrusion of incompatible uses. The site is within the 65 decibel noise contour from the NAS Fort Worth JRB, which will require additional sound attenuation measures as part of the building process. The city does not want to encourage more residents in the path of constant aircraft noise. Additionally, this is a mid-block site, so this site does not function as a buffer between non-residential and single family uses/zones.

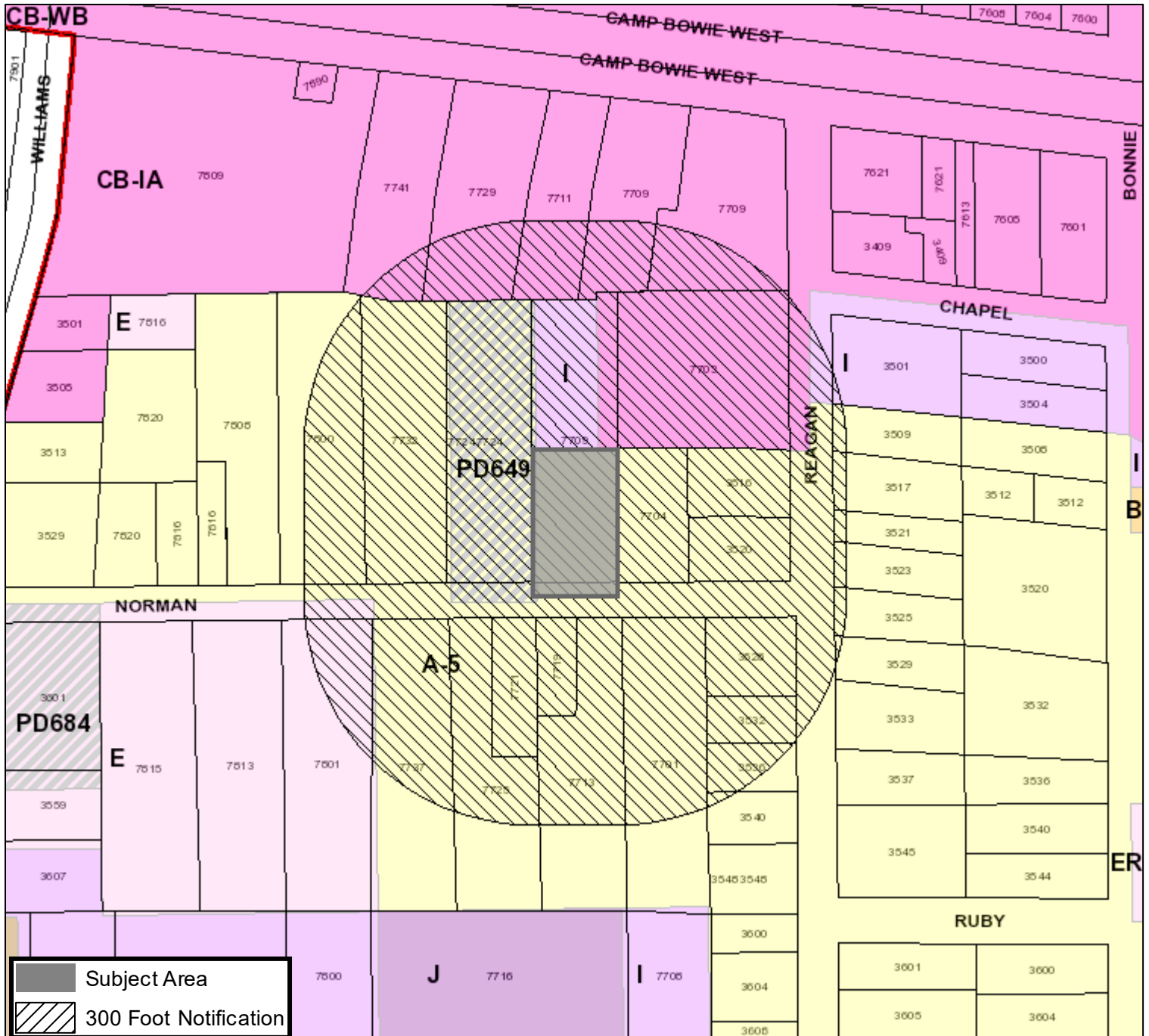
WESTERN HILLS/RIDGLEA SECTOR FUTURE LAND USE



Sector Land Use Policies

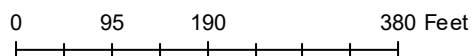
4. Discourage incompatible uses within the NASFW JRB runway Clear Zone and Accident Potential Zones. Discourage residential development or require sound mitigation within areas of noise levels greater than 65 decibels for all airports to ensure compatibility between surrounding land uses while providing additional protections to airport operations.
5. Protect residential neighborhoods from encroachment by incompatible commercial uses.
8. Reduce the density of multifamily units outside of the mixed-use growth centers.
9. Promote compatibility of infill housing with existing residential uses.
11. Promote buffers and other compatible uses between multifamily and single-family residential.

Area Zoning Map

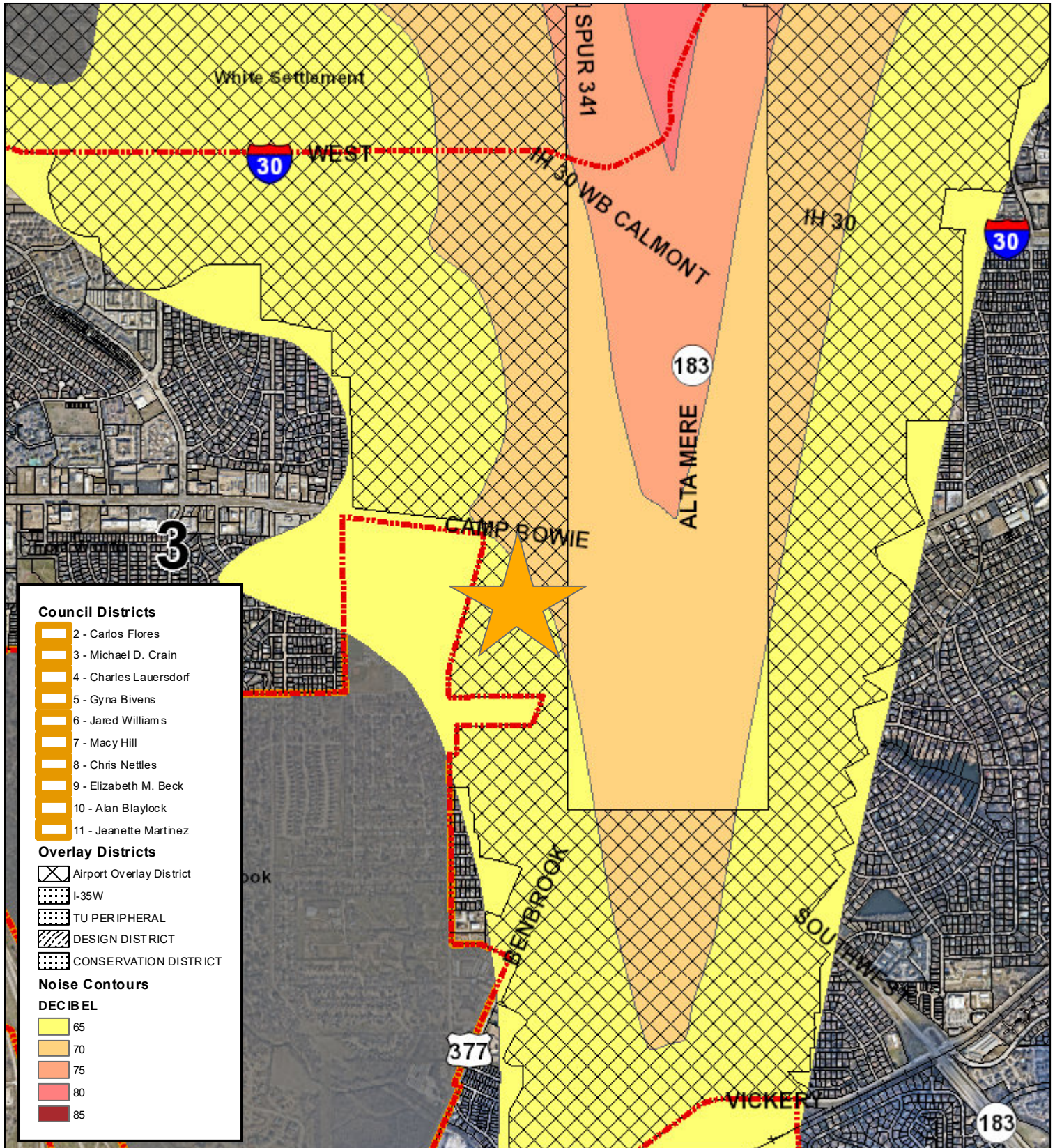
Applicant: CCA and CWB LLC
 Address: 7709 Camp Bowie West Boulevard
 Zoning From: A-5
 Zoning To: CR
 Acres: 0.50001719
 Mapsco: Text
 Sector/District: Western_Hills_Ridglea
 Commission Date: 7/10/2024
 Contact: 817-392-8043



	Subject Area
	300 Foot Notification



Area Map



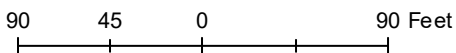
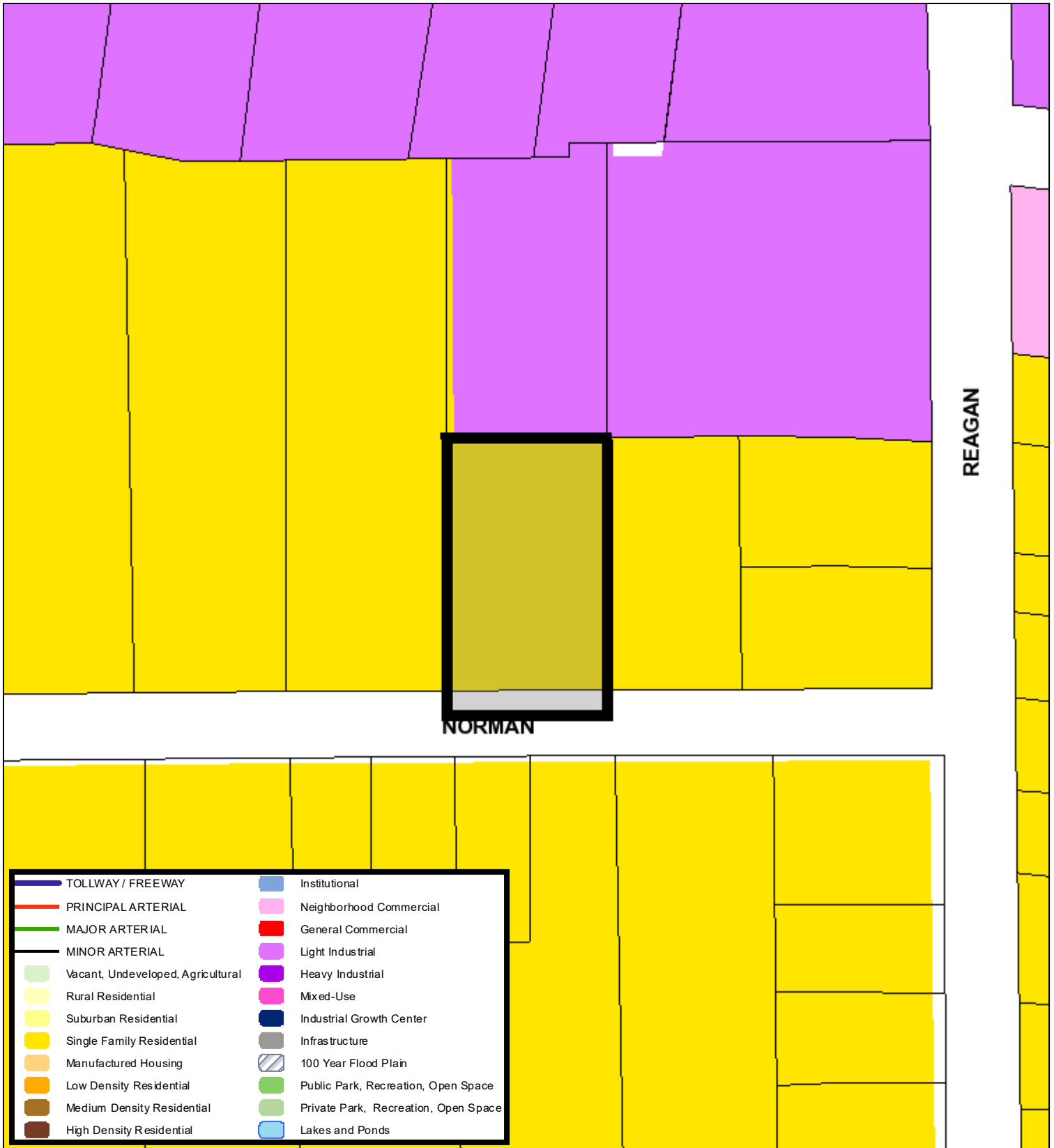
Aerial Photo Map



0 55 110 220 Feet



Future Land Use



A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.





Zoning Staff Report

Date: July 10, 2024

Case Number: ZC-24-046

Council District: 7

Zoning Map Amendment & Site Plan

Case Manager: [Alondra Salas-Beltre](#)

Owner / Applicant: Mirly, LLC/Henrietta Joy Harvison

Site Location: 2409 Neville Street

Acres: 1.4 acres

Request

Proposed Use: Alcohol Sales

Request: To: Add Conditional Use Permit (CUP) to allow bar use in “E” Neighborhood Commercial

Recommendation

Land Use Compatibility: Requested change **is compatible**

Comprehensive Plan Consistency: N/A

Staff Recommendation: **Approval subject to a two-year expiration date**

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 - b. [Comprehensive Plan Consistency](#)
6. Zoning Map with 300 ft. Notification Area
7. Site Plan
8. Area Map
9. Future Land Use Map
10. Aerial Photograph

Project Description and Background

The property is an existing art gallery located near the corner of Camp Bowie West and Neville Ave. in the Arlington Heights Neighborhood. The owner is seeking a conditional use permit to sell alcohol during art showings and other events.

The property is currently zoned "E" Neighborhood Commercial, which typically allows for alcohol sales for off-premises consumption or in restaurants, as long as gross receipts for alcoholic beverages do not exceed 50% of the total gross receipts. Selling alcohol in the existing art gallery would be a deviation from this norm, as it would introduce a bar use. Therefore, the owner is requesting a Conditional Use Permit to allow for this change. This is a proactive measure to address potential concerns from the surrounding neighborhood and allows for the option to revoke the permit in the event of any code violations.

Conditional uses are generally compatible with the permitted land uses in a given zoning district but require individual review of their proposed location, design, and configuration, as well as the imposition of conditions to ensure their appropriateness at a particular location.

Per Section 4.407 (a), the following general rules apply to all conditional uses:

- a) Approval of a conditional use permit shall authorize only the particular use or category of related uses for which the conditional use permit is issued.
- c) A conditional use shall not be enlarged, extended or otherwise modified unless approved by the City Council or approved administratively as applicable.
- d) The use of property for the purposes described in a conditional use permit shall not commence until a certificate of occupancy has been issued. A certificate of occupancy shall not be issued until all or approvals which may be required by the Codes and Ordinances of the City, including, but not limited to, a Building Permit, a Certificate of Occupancy and subdivision approval have been satisfied.

Section (d) provides the following Conditional Use Permit factors in consideration of appropriateness of a request:

- a) The proposed use is consistent with the Comprehensive Plan;
- b) The proposed use is compatible with the existing and adjacent uses.
- c) The proposed use meets all supplemental use standards specifically applicable to the use as set forth in Chapter 5;
- d) The proposed use is compatible with and preserves the character and integrity of adjacent development and neighborhoods;
- e) The proposed use is not materially detrimental to the public health, safety, and welfare, or results in material damage or prejudice to other property in the vicinity.

Surrounding Zoning and Land Uses

North "F" General Commercial / Retail uses
East "E" Neighborhood Commercial - Restricted/ residential use
South "C" Medium-density residential / Multifamily uses
West "F" General Commercial / Vacant

Recent Zoning History

- None

Public Notification

300-foot Legal Notifications were mailed on, 6/28/2024

The following organizations were notified: (emailed, 6/28/2024)

Organizations Notified	
West Side Alliance	Crestline Area NA
Sunset Heights NA	West Byers NA
Como NAC	Arlington Heights NA*
Northcrest NA	Streams and Valleys Inc
Trinity Habitat for Humanity	Camp Bowie District, Inc
Fort Worth ISD	

Development Impact Analysis

Land Use Compatibility

This section of the Arlington Heights neighborhood serves as a transition area between the more heavily commercial zoning to the north and west, the small-lot residential development to the south, and the single-family uses and zoning to the east of Penticost Street.

Considering the current combination of duplex/zero-lot line residential and low-intensity commercial uses along this section of Pershing Avenue, the transitional land uses on the blocks neighboring Camp Bowie seem appropriate. However, there is a school located across Camp Bowie Boulevard on El Campo Avenue, within a distance of less than 200 feet. If the proposed zoning change is approved, the applicant will need to seek an alcohol distance variance through the Boards of Adjustment.

The intended use is generally **compatible** with the neighboring land uses.

Comprehensive Plan Consistency – Arlington Heights

The Comprehensive Plan describes where general land use categories would be appropriate. However, it does not typically specify individual land uses. The CUP process allows the city to consider the appropriateness of an individual use in a particular location. The adopted Comprehensive Plan currently designates the subject property as “Neighborhood Commercial” on the Future Land Use Map. The proposed operation is considered more intense than that of Neighborhood Commercial.

Site Plan Comments

Zoning and Land Use

The site plan as submitted is in general compliance with the Zoning Ordinance regulations.

Stormwater

- Contact: sds@fortworthtexas.gov

Site has shallow potential high water.

No FEMA or CFRA on site.

Fire

- FWFD - (Lt. Donna York, donna.york@fortworthtexas.gov or fireplating@fortworthtexas.gov)
FYI comment: The large existing building is existing non-compliant for hydrant/building hose lay within 500'. The hose lay shortfall is approximately 100'. Fire supports the zoning change as it is an existing condition. Any new building permits may require upgrades to meet fire code. Sections 507.5.1 (2) and (3)

No other concerns noted at this time.

General information:

Failure to recognize violations of the fire code by the fire code official does not waive the requirement of meeting minimum requirements of the fire code in the future.

It is the applicant's and the owner's responsibility to meet all minimum fire code requirements at all times.

The City of Fort Worth has adopted the 2021 International Fire Code as its current fire code at the time of this review. The City of Fort Worth has also adopted Amendments #25388-03-2022.

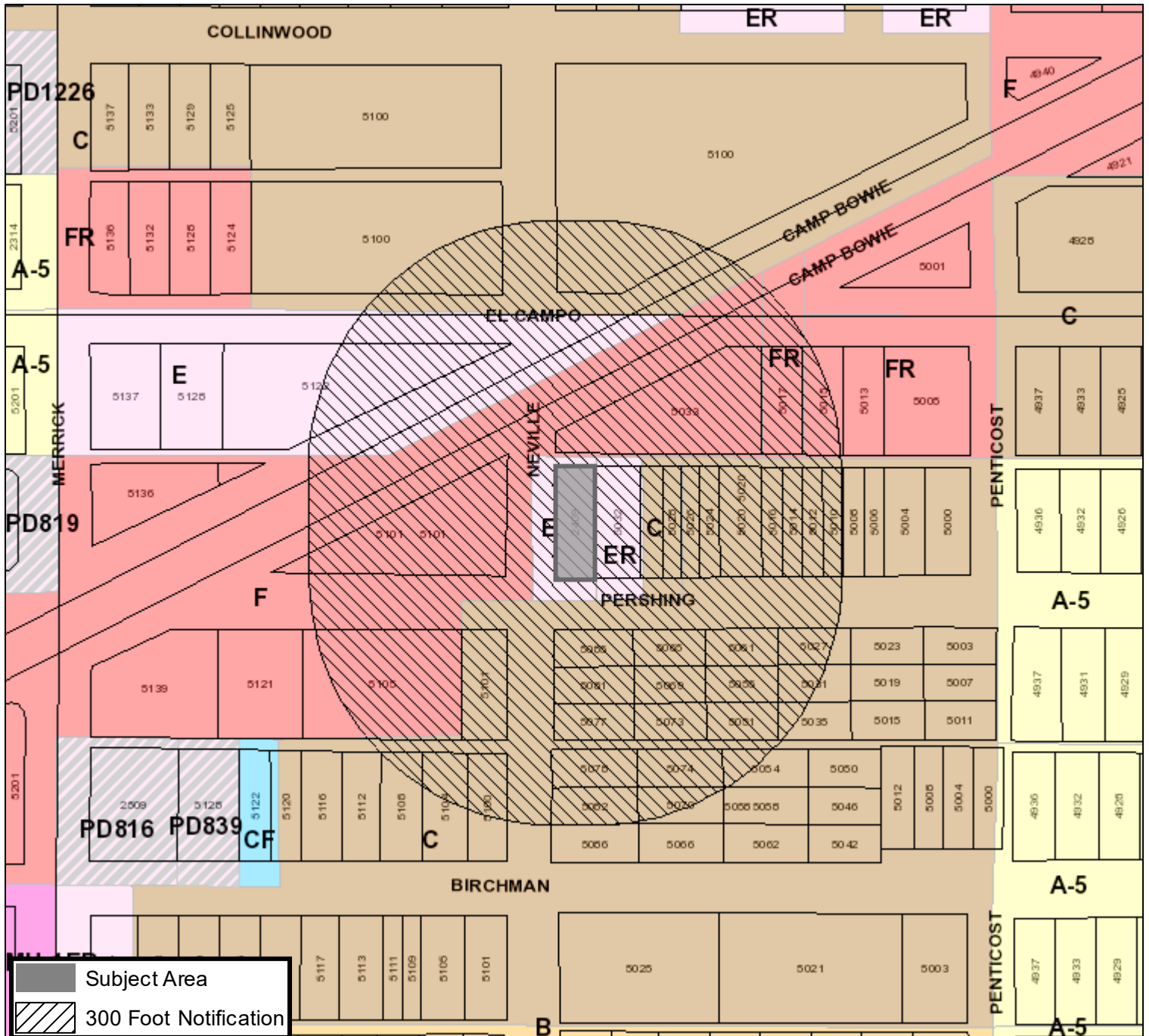
<https://www.fortworthtexas.gov/departments/fire/services/bureau>

Water

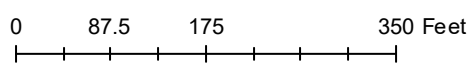
No comments

Area Zoning Map

Applicant: Mirly LLC/Henrietta Joy Harvison
 Address: 2409 Neville Street
 Zoning From: E
 Zoning To: Add a CUP for Alcohol Sales
 Acres: 0.15502353
 Mapsco: Text
 Sector/District: Arlington_Heights
 Commission Date: 7/10/2024
 Contact: 817-392-2495



Subject Area
 300 Foot Notification



Legal Description

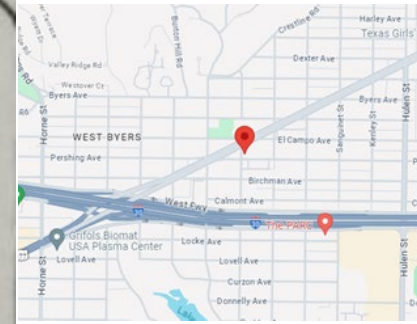
and 22, Block 74, CHAMBERLIN ARLINGTON HEIGHTS
ING ADDITION, an Addition to the City of Fort Worth,
County, Texas, according to plat recorded in Volume
21, Deed Records of Tarrant County, Texas.

Street Address

2409 Neville Street
5036 Pershing Avenue
Fort Worth, Texas 76107

Monuments:

rod at SW corner of Lot 25, Block 74
rod at SE corner of Lot 40, Block 73



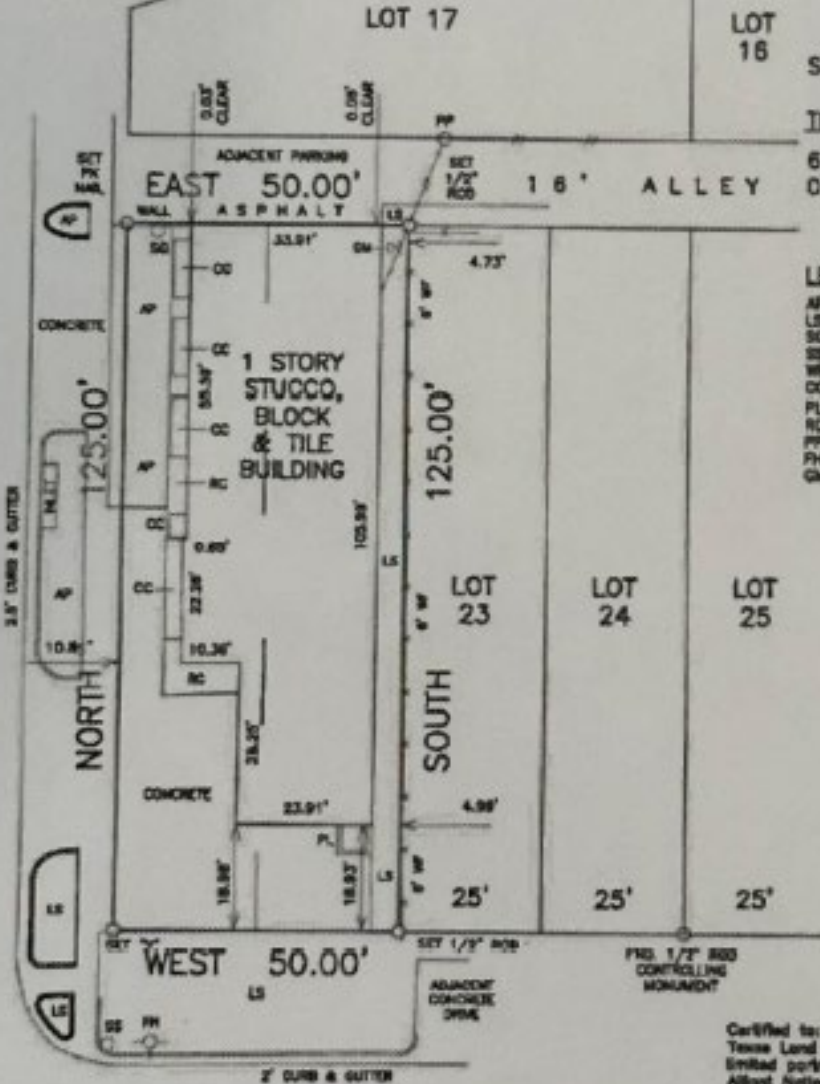
CAMP BOWIE BOULEVARD



SCALE: 1" = 30'

TRACT AREA

6,250 Square Feet
0.1435 Acres



LEGEND:

- AP = ASPHALT AREA
- LS = LANDSCAPE AREA
- SG = SIGN POLE
- SS = STOP SIGN
- WF = WOOD FENCE
- CC = COVERED CONCRETE
- PL = 0.65' PLANTER
- RC = RAISED CONCRETE
- PP = POWER POLE
- PH = FIRE HYDRANT
- GM = GAS METER

Certified to:
Texas Land & Investment, Ltd., a Texas
limited partnership
Alliant National Title Insurance Company, Inc.
Reitika Title Company

PERSHING AVENUE

(80' R/W)

rings is an assumed bearing of Due North along the east right-of-way line of Neville Street.
is subject property lies within the 100 year flood plain.

X Community 480596 Panel 0285-L Eff. Date 3-21-19
ify that this sketch of survey of the above described property is the result of an on-the-ground
red under my direct supervision, and that there are no intrusions or protrusions, except as noted.

ary 20, 2020
1848-20
P. 81
lo. 20-0242

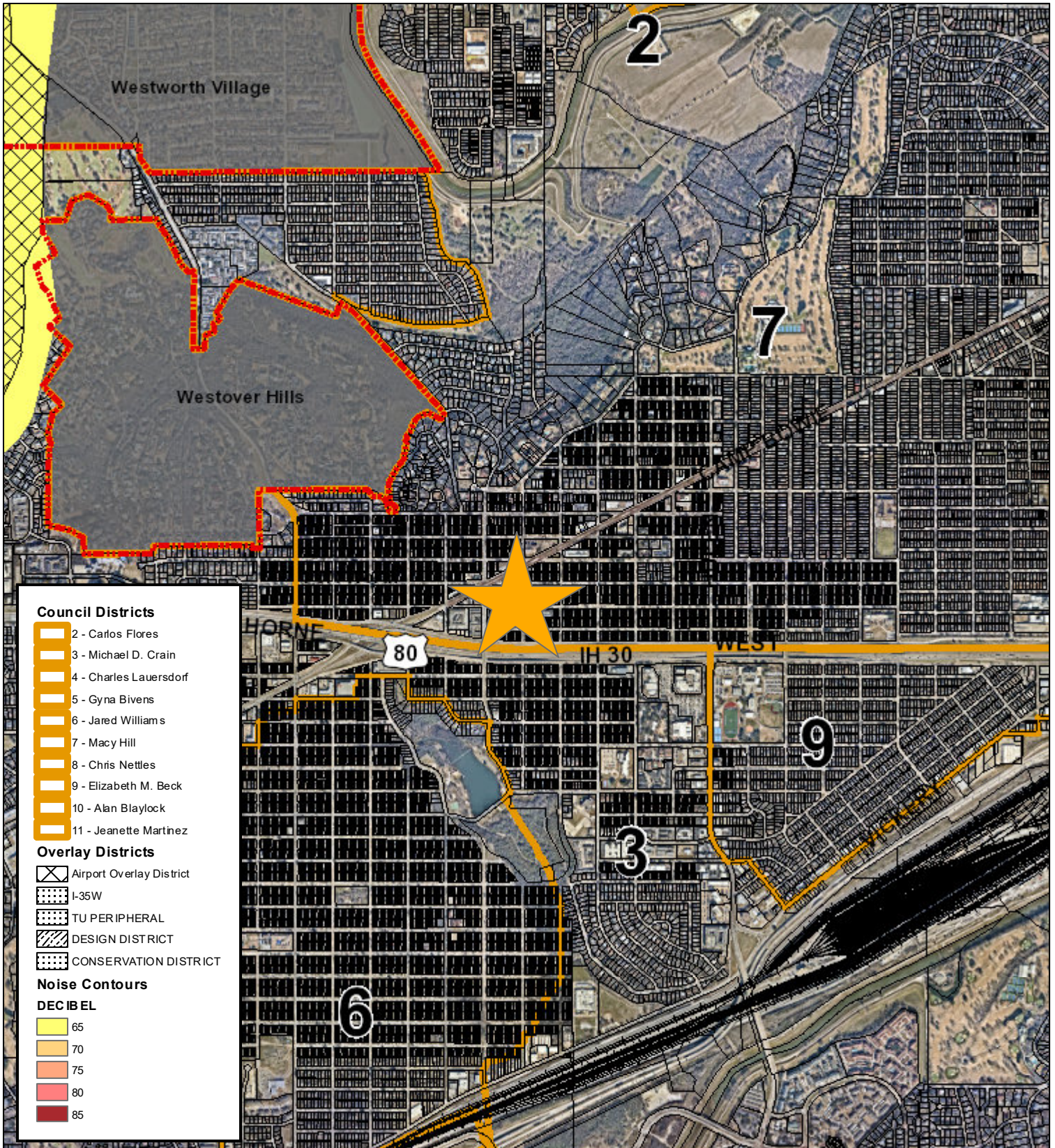


John A. Grant III

JOHN A. GRANT, III
Registered Professional Land Surveyor 4151

Development Services Director/Date
Zoning Case # ZC-24-046

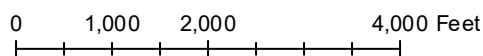
Area Map



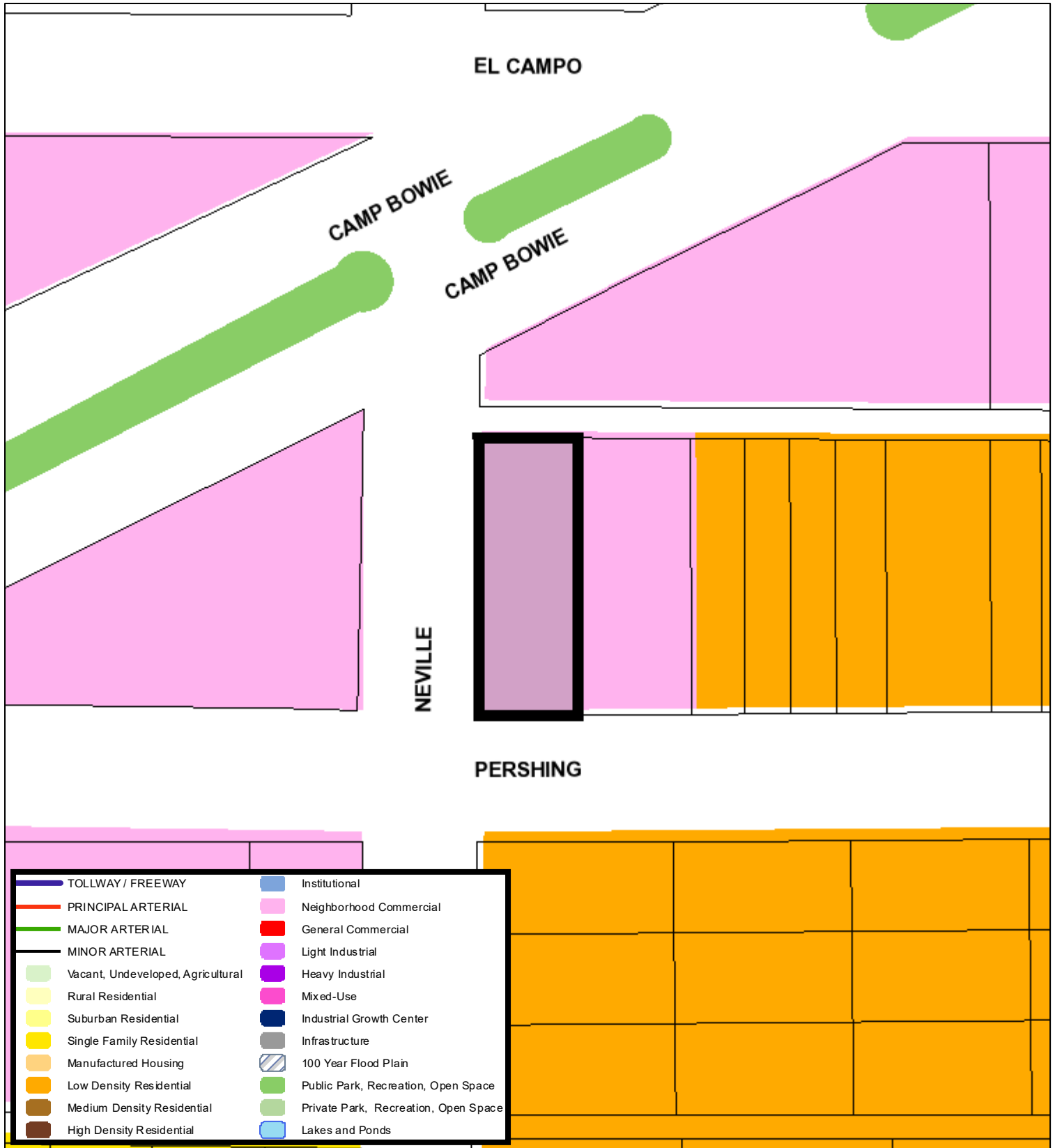
Council Districts	
	2 - Carlos Flores
	3 - Michael D. Crain
	4 - Charles Lauerdorf
	5 - Gyna Bivens
	6 - Jared Williams
	7 - Macy Hill
	8 - Chris Nettles
	9 - Elizabeth M. Beck
	10 - Alan Blaylock
	11 - Jeanette Martinez

Overlay Districts	
	Airport Overlay District
	I-35W
	TU PERIPHERAL
	DESIGN DISTRICT
	CONSERVATION DISTRICT

Noise Contours	
DECIBEL	
	65
	70
	75
	80
	85



Future Land Use

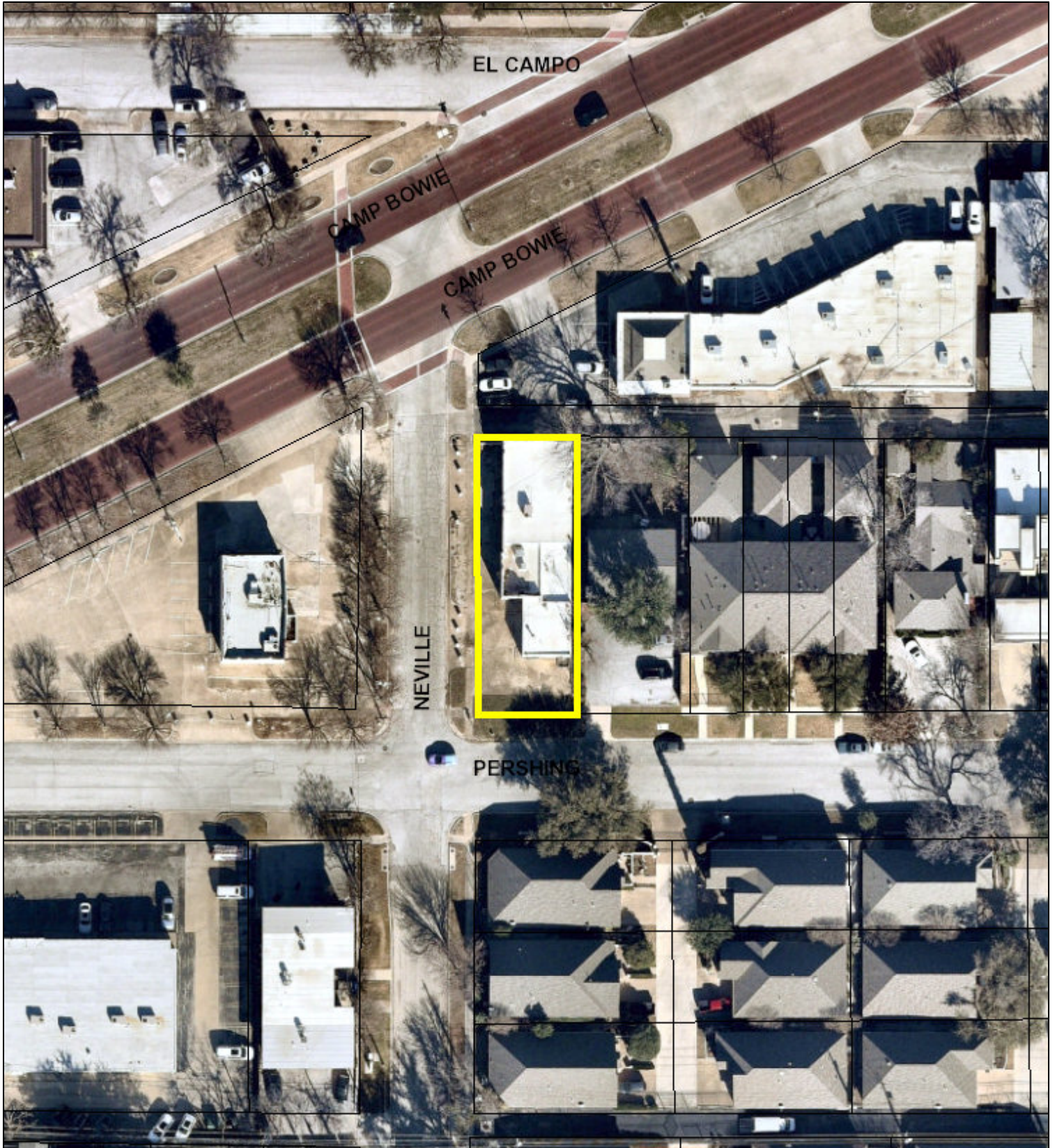


60 30 0 60 Feet

A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



Aerial Photo Map



0 40 80 160 Feet





Zoning Staff Report

Date: July 10, 2024

Case Number: ZC-24-047

Council District: 8

Zoning Map Amendment & Site Plan

Case Manager: Brett Mangum

Owner / Applicant: Oncor Electric / Kyle Hall & Rob Myers, Kimley Horn

Site Location: 1200 McPherson Road

Acreage: 2.05 acres

Request

Proposed Use: Electric Power Substation (Electrical Switching Station)

Request: To: Add Conditional Use Permit (CUP) to allow an electrical power substation in “E” Neighborhood Commercial; Site Plan included with no development standard waivers

Recommendation

Land Use Compatibility: Requested change **is compatible**

Comprehensive Plan Map Consistency: Requested change **is consistent**

Comprehensive Plan Policy Consistency: Requested change **is consistent**

Staff Recommendation: **Approval**

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4. [Public Notification](#)
5. [Development Impact Analysis](#)
 - a. [Land Use Compatibility](#)
 - b. [Comprehensive Plan Consistency](#)
 - c. [Site Plan Comments](#)
6. Zoning Map with 300 ft. Notification Area
7. Site Plan
8. Area Map
9. Future Land Use Map
10. Aerial Photograph

Project Description and Background

The proposed site is in the southeastern part of Fort Worth, off McPherson Road within Council District 8. The applicant is requesting an electrical power substation, also known as an electrical switching station. Electrical power substations are allowed by right in the industrial districts and only permitted within commercial zoning districts with approval of a Conditional Use Permit (CUP). The Site Plan shows no development waivers requested.





Conditional uses are those uses which are generally compatible with the permitted land uses in a given zoning district, but which require individual review of their proposed location, design and configuration, and the imposition of conditions in order to ensure the appropriateness of the use at a particular location. While an electrical power substation is not permitted in the “E” zoning district by right, allowing one by CUP with a Site Plan may help mitigate any neighborhood concerns, as well as give options for the CUP to be revoked in the event of code violation convictions.

The site is currently vacant land that is traversed by overhead power lines. Undeveloped commercially zoned land surrounds the site to the north and east, with a ranch to the south and west. The proposed site uses McPherson Road as the primary ingress/egress point, with two driveways into the site proposed. The Site Plan shows electrical switching equipment and one equipment building, set back approximately 20 feet from the western property line. No habitable buildings are proposed, and the site is exempt from parking requirements due to being more than 250 feet from a residential district.

Through Ordinance 23609 effective March 29, 2019, the Conditional Use Permit allows for an unlimited time period for the operation of a use unless otherwise approved by the City Council. If a time limit is established for a Conditional Use Permit, the renewal of the CUP shall be considered through the public hearing process and approved by the City Council. A CUP shall expire if no permitting action is taken within six months of approval or cease of the use for six months. A CUP may be revoked through the public hearing process if necessary after convictions of one or more code violations.

Per Section 4.407 (a), the following general rules apply to all conditional uses:

- a) Conditional use permits in residential districts shall be limited to those uses designated “CUP” in the Residential District Use Table in Chapter 4, Article 6, Section 4.603.
- b) Approval of a conditional use permit shall authorize only the particular use or category of related uses for which the conditional use permit is issued.
- c) A conditional use shall not be enlarged, extended or otherwise modified unless approved by the City Council or approved administratively as applicable.
- d) The use of property for the purposes described in a conditional use permit shall not commence until a certificate of occupancy has been issued. A certificate of occupancy shall not be issued until all or

approvals which may be required by the Codes and Ordinances of the City, including, but not limited to, a Building Permit, a Certificate of Occupancy and subdivision approval have been satisfied.

Section (d) provides the following Conditional Use Permit factors in consideration of appropriateness of a request:

- a) The proposed use is consistent with the Comprehensive Plan;
- b) The proposed use is compatible with the existing and adjacent uses.
- c) The proposed use meets all supplemental use standards specifically applicable to the use as set forth in Chapter 5;
- d) The proposed use is compatible with and preserves the character and integrity of adjacent development and neighborhoods;
- e) The proposed use is not materially detrimental to the public health, safety, and welfare, or results in material damage or prejudice to other property in the vicinity.

Surrounding Zoning and Land Uses

North “E” Neighborhood Commercial & “AG” Agricultural / undeveloped
East “E” Neighborhood Commercial / gas well & pad site
South “E” Neighborhood Commercial / ranch
West “E” Neighborhood Commercial / ranch

Recent Zoning History

- None

Public Notification

300-foot Legal Notifications were mailed on June 28, 2024.
The following organizations were emailed on June 28, 2024:

Organizations Notified	
District 6 Alliance*	Burleson ISD
Streams and Valleys Inc	Trinity Habitat for Humanity

**Located within this registered Neighborhood Association*

Development Impact Analysis

Land Use Compatibility

The applicant is proposing to construct an electrical power substation on vacant land, surrounded by mostly vacant land and a gas well pad to the east. The adjacent properties are zoned either “E” Intensive Commercial or “AG” Agricultural. The Site Plan shows no development waivers requested. The proposed zoning request for an electrical switching station **is compatible** with surrounding non-residential zoning. The proposed use and their operational characteristics would not create notable land use conflicts with the adjacent vacant land or existing infrastructure uses.

Comprehensive Plan Consistency – Far South Sector

The 2023 Comprehensive Plan designates the subject property as future “Infrastructure” and “Neighborhood Commercial” on the Future Land Use Map. The requested Conditional Use Permit (CUP) for electrical power substation **is consistent** with the future land use map designation.

The proposed CUP **is consistent** with the following policies of the Comprehensive Plan:

- Promote fiscally sustainable growth on the periphery of the city by encouraging development adjacent to existing adequate infrastructure and discouraging leapfrog development.
- Separate incompatible land uses with buffers or transitional uses. Some land uses have attributes such as height, proportion, scale, operational characteristics, traffic generated, or appearance that may not be compatible with the attributes of other uses.

Site Plan Comments

Zoning and Land Use

All zoning comments have been addressed as of 6/20:

- Add case number "ZC-24-047" in the title block.
- Add signature block with line for signature of "Director of Development Services" and line for "Date" near the project title.
- Add missing general notes:
 - This project will comply with Section 6.301, Landscaping.
 - This project will comply with Section 6.302, Urban Forestry.
 - All signage will conform to Article 4, Signs.
 - All provided lighting will conform to the Lighting Code.
- Portion of improvements appears to be within proposed right of way dedication. May need to shift wall and gates south to avoid improvements in City roadway/r-o-w.
- Add missing screening shrubs around the eight foot masonry wall along McPherson Road side. All screening shrubs shall be a minimum of three feet in height at planting, have the potential to grow to a mature height of a minimum of six feet in three years and must have a permanently installed irrigation system that provides total water coverage to all plant materials. The vegetation shall be kept in an attractive state and in good condition at all times.
- Add missing land use/zoning classifications on the site area and immediately adjacent properties abutting the site.
- Add missing setback, gross floor area, and number of stories for proposed control center building.

Platting

No response provided

Water

No response provided

Park and Recreation

Workflow cleared by Lori Gordon, but no comments provided

Fire Department

FWFD - (Lt. Adam Thornton, FirePlatting@fortworthtexas.gov)



FYI: Gas well pad site and lift compressor located Southeast of this location could affect obtaining permits. Current setbacks provided below.

Gas Well Setbacks for Non-Permitted gas well pad site:

- o 300' Building Setback radii from each gas well bore for Protected Use and Public Building Structures.
- o 200' Building Setback radii from each gas well bore for Habitable Structures"

Setbacks will need to be shown on your plat if the setback encroaches the plat lines regardless of building locations/type.

Lift Compressor on the gas well pad site:

200' Building Setback radii from the Lift Compressor for Protected Use, Public Building, or Habitable Structures
IFC 2015/CFW Adopted Amendments Jan 1, 2017 Section 5706.3.1.3.4.2 Existing Lift Compressor

Addresses will be assigned by CFW Fire Department after the plat is recorded. DO NOT SELF ADDRESS. Plats are worked within 10 days in the order received.

General Information:

Failure to recognize violations of the fire code by the fire code official does not waive the requirement of meeting minimum requirements of the fire code in the future. It is the applicant's and the owner's responsibility to meet all minimum fire code requirements at all times.

The City of Fort Worth has adopted the 2021 International Fire Code as its current fire code at the time of this review. The City of Fort Worth has also adopted Amendments that are available by searching the City Secretary's site for Ordinance #25388-03-2022.

Building Plan Review

No response provided

Transportation/Public Works Stormwater

Contact: sds@fortworthtexas.gov

No FEMA Floodplain, City Flood Risk Area, Potential High Water, or Storm Infrastructure noted on or adjacent to the site.

An accepted drainage study is required prior to commercial grading issuance and building permit issuance.

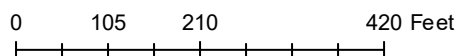
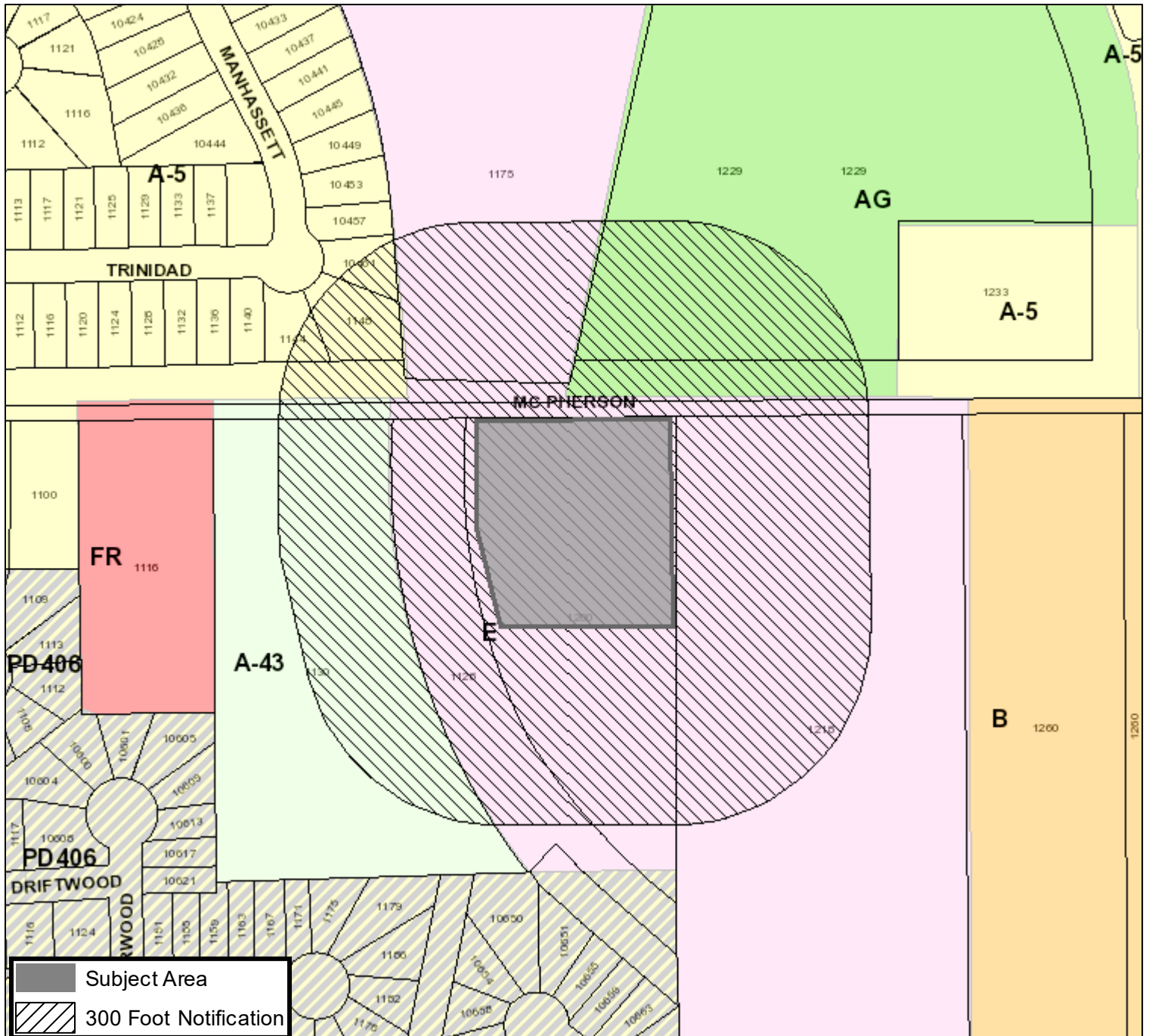
Transportation/Public Works Engineering

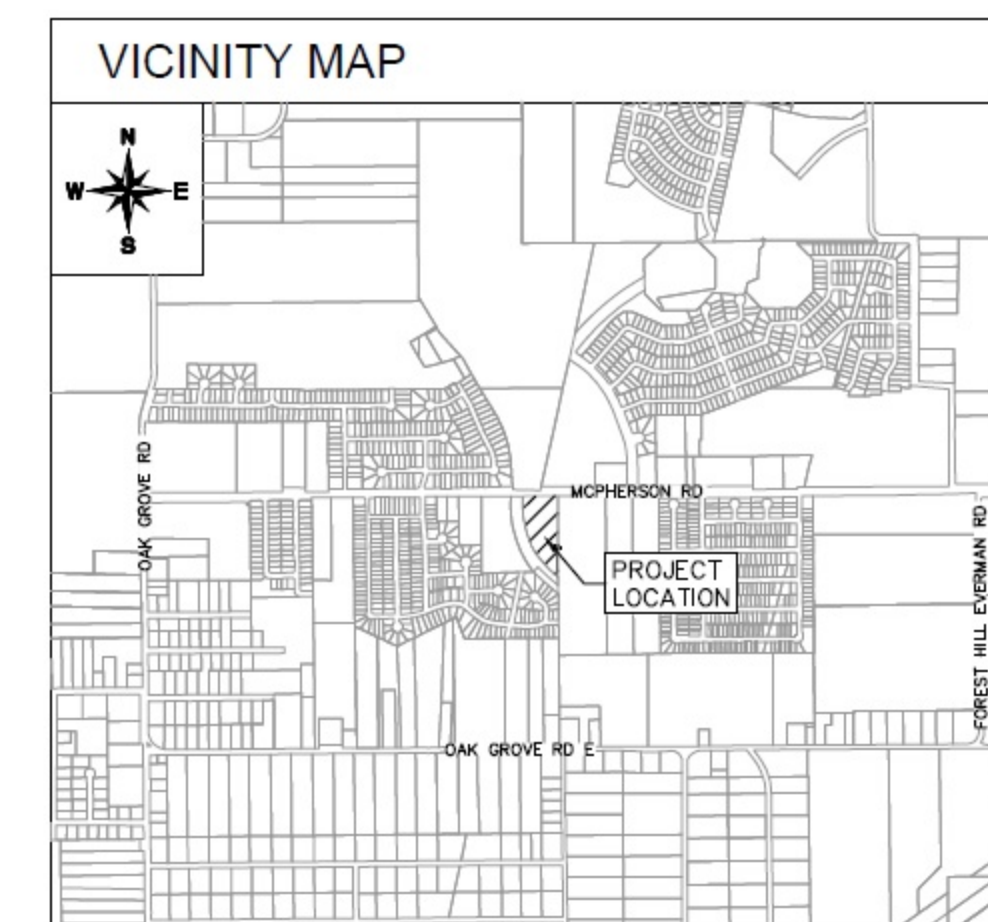
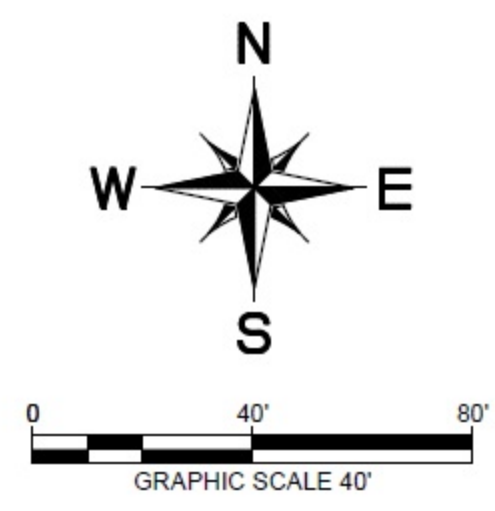
No response provided

(Comments made by Platting (Subdivision Ordinance), Transportation/Public Works, Fire, Park & Recreation, Water, and Building Plan Review Department staff cannot be waived through the Zoning Commission and City Council. Approval of the zoning site plan does not constitute the acceptance of conditions.)

Area Zoning Map

Applicant: Oncor Electric/Kyle Hall
 Address: 1200 McPherson Road
 Zoning From: E
 Zoning To: To add a CUP for an electric substation
 Acres: 2.05136674
 Mapsco: Text
 Sector/District: Far_South
 Commission Date: 7/10/2024
 Contact: 817-392-8043

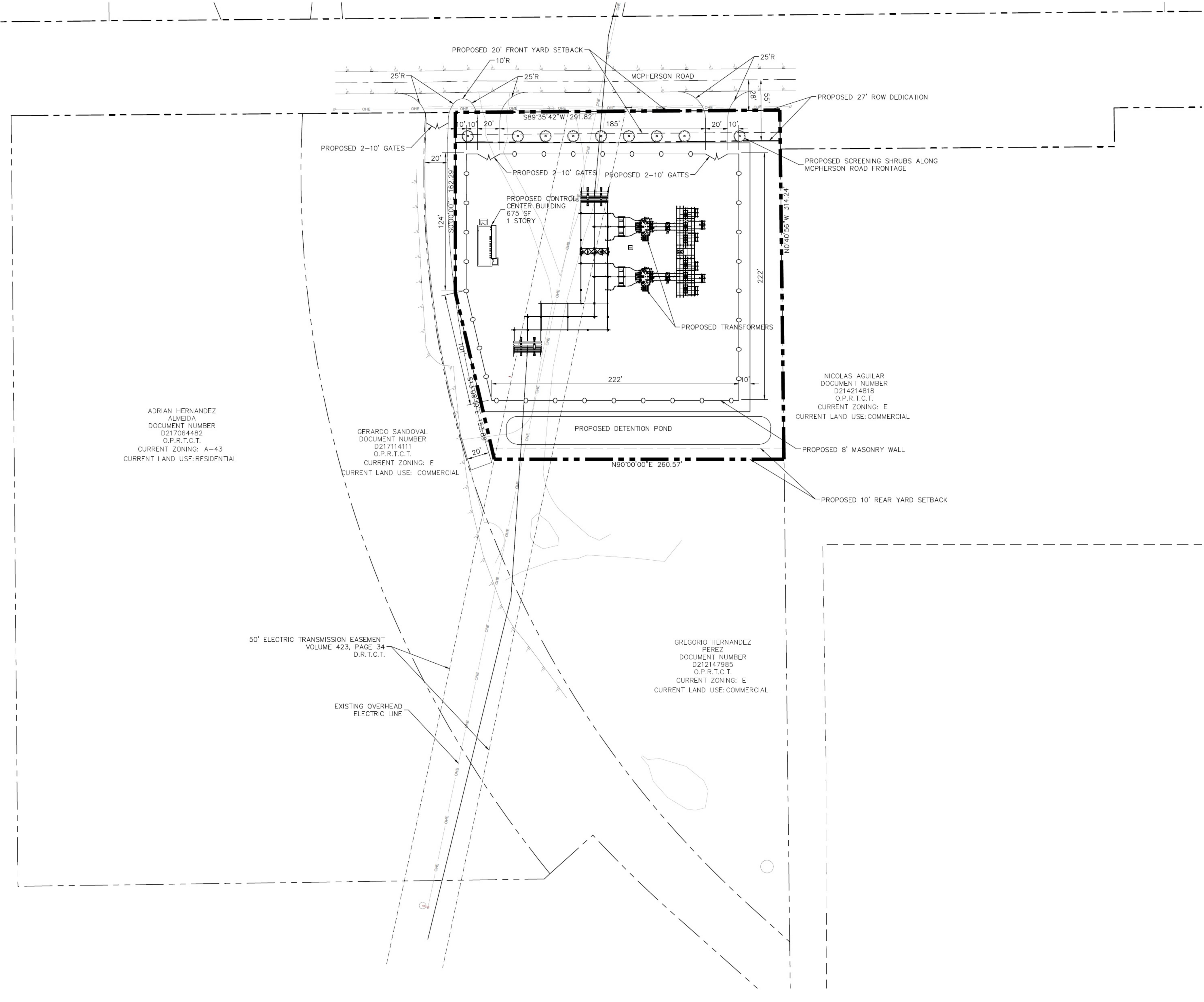




LEGEND

	PROPERTY LINE
	ADJACENT PROPERTY LINE
	8' HEIGHT MASONRY WALL
	SUBSTATION PAD PAVEMENT: CRUSHED ROCK FLEX BASE PAVEMENT.

- SITE NOTES**
1. THIS PROJECT WILL COMPLY WITH SECTION 6.301, LANDSCAPING.
 2. THIS PROJECT WILL COMPLY WITH SECTION 6.302, URBAN FORESTRY.
 3. ALL SIGNAGE WILL CONFORM TO ARTICLE 4, SIGNS.
 4. ALL PROVIDED LIGHTING WILL CONFORM TO THE LIGHTING CODE.



ADRIAN HERNANDEZ
ALMEIDA
DOCUMENT NUMBER
D217064482
O.P.R.T.C.T.
CURRENT ZONING: A-43
CURRENT LAND USE: RESIDENTIAL

GERARDO SANDOVAL
DOCUMENT NUMBER
D217114111
O.P.R.T.C.T.
CURRENT ZONING: E
CURRENT LAND USE: COMMERCIAL

NICOLAS AGUILAR
DOCUMENT NUMBER
D214214818
O.P.R.T.C.T.
CURRENT ZONING: E
CURRENT LAND USE: COMMERCIAL

GREGORIO HERNANDEZ
PEREZ
DOCUMENT NUMBER
D212147985
O.P.R.T.C.T.
CURRENT ZONING: E
CURRENT LAND USE: COMMERCIAL

50' ELECTRIC TRANSMISSION EASEMENT
VOLUME 423, PAGE 34
D.R.T.C.T.

EXISTING OVERHEAD
ELECTRIC LINE

SIGNATURE

DIRECTOR OF DEVELOPMENT SERVICES _____ DATE _____

CITY CASE NUMBER: ZC-24-047

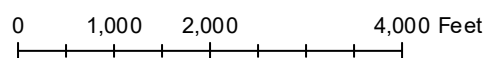
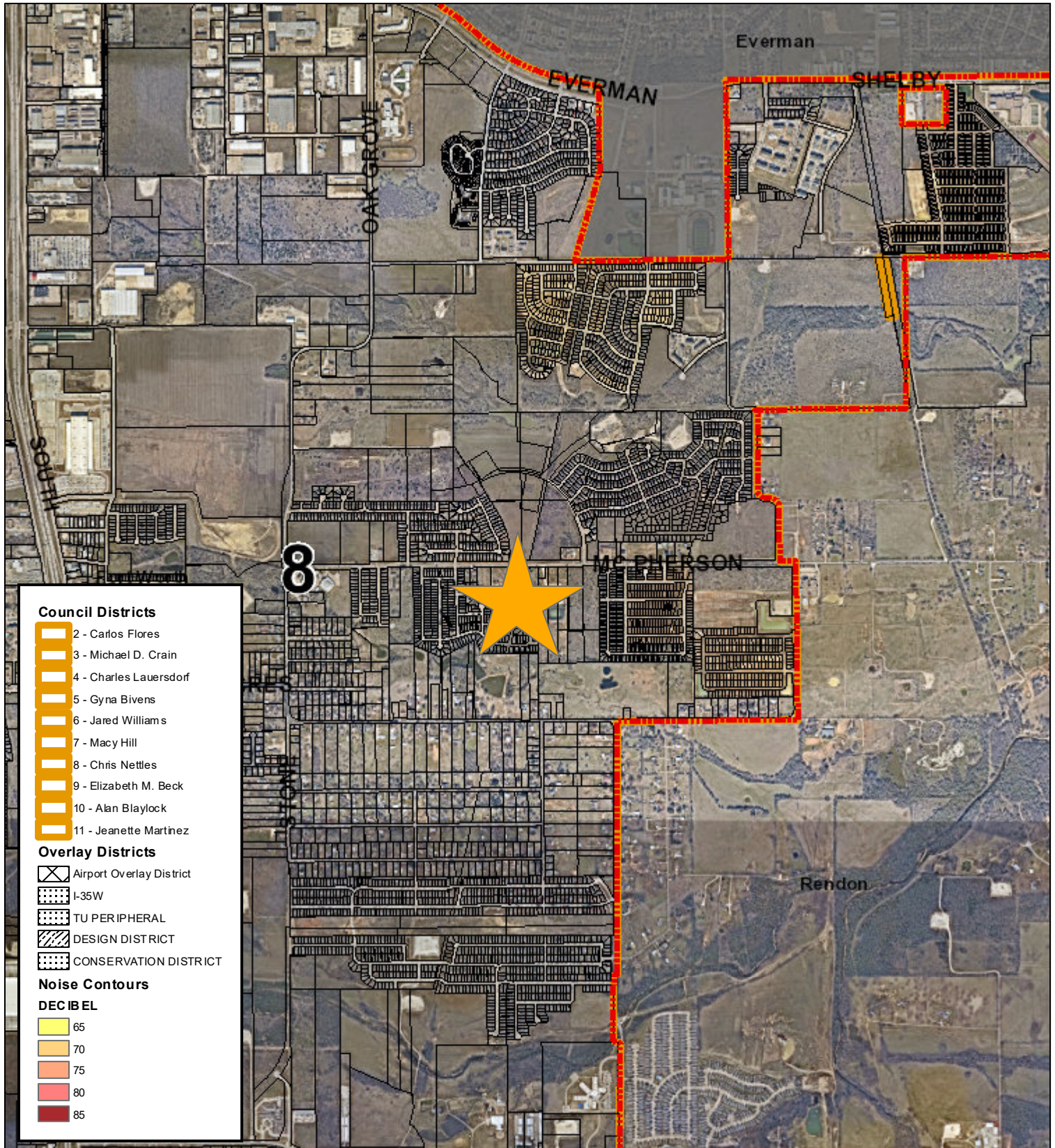
SITE PLAN
FOR
ONCOR SPARTAN SUBSTATION
LITTLE, HIRAM SURVEY ABSTRACT 930 TRACT 9A04C
CITY OF FORT WORTH, TARRANT COUNTY, TX 76028
BEING 2.05 ACRES
OUT OF
HIRAM LITTLE SURVEY, ABSTRACT NO. 930
IN
TARRANT COUNTY, TEXAS

OWNER/DEVELOPER: Oncor 777 Main St. Suite 707 Fort Worth, TX 76102 Tel: (817) 215-6807 Contact: Seth Sampson	ENGINEER/SURVEYOR: Kimley-Horn 6160 Warren Parkway, Suite 210 Frisco, TX 75034 Tel: (972) 335-3580 Contact: Rob Myers, P.E.
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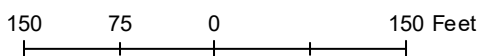
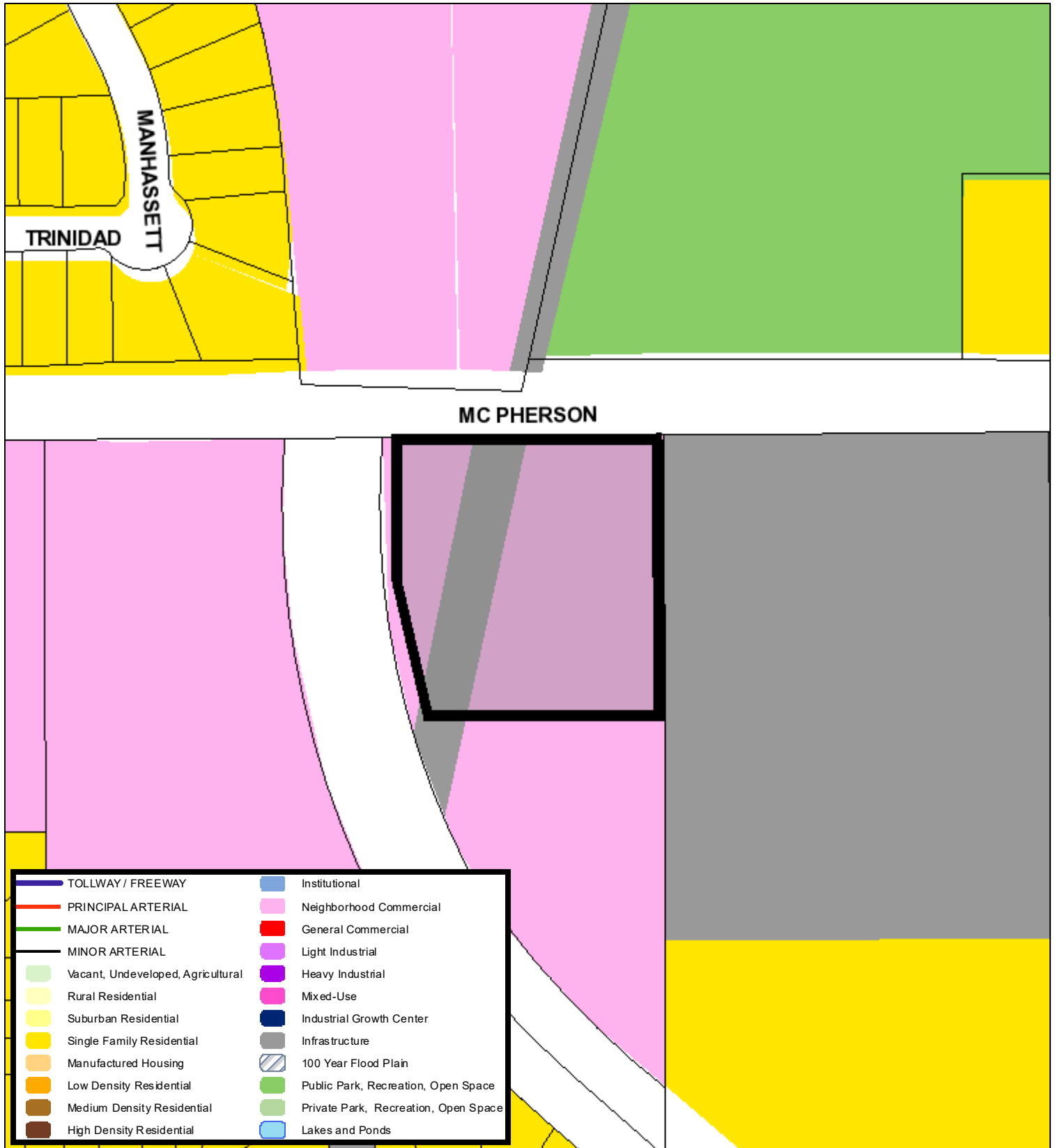
DESIGNED	DRAWN	CHECKED	SCALE	DATE	KH PROJECT NO.
RJM	KPH	RJM	AS SHOWN	06/20/2024	064424976

This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse or improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

Area Map



Future Land Use



A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



Aerial Photo Map



0 95 190 380 Feet





Zoning Staff Report

Date: July 10, 2024

Case Number: ZC-24-054

Council District: 8

Zoning Map Amendment

Case Manager: Stephen Murray

Owner / Applicant: Hal Thorne

Site Location: SE Corner of McPherson Rd and Forest Hill Everman Rd **Acreage:** 11.66 acres

Request

Proposed Use: Multifamily

Request: From: "E" Neighborhood Commercial

To: PD/C" Planned Development for all uses in "C" Medium Density Multifamily for detached multifamily with development standards for setbacks, open space, fencing, and a waiver to MFD submittal, site plan included

Recommendation

Land Use Compatibility: Requested change **is compatible**

Comprehensive Plan Map Consistency: Requested change **is not consistent**

Comprehensive Plan Policy Consistency: Requested change **is not consistent**

Staff Recommendation: **Denial**

Table of Contents

1. [Project Description and Background](#)
2. [Surrounding Zoning and Land Uses](#)
3. [Recent Zoning History](#)
4. [Public Notification](#)
5. [Development Impact Analysis](#)
 - a. [Land Use Compatibility](#)
 - b. [Comprehensive Plan Consistency](#)
6. Zoning Map with 300 ft. Notification Area
7. Area Map
8. Future Land Use Map
9. Aerial Photograph

Project Description and Background

The property is located at the southeast corner of McPherson Rd and Forest Hill Everman Rd in Council District 8. The applicant is seeking to rezone from “E” Neighborhood Commercial to “PD” specifically requesting an expansion of PD1310 which is directly located to the south.

The proposed “PD” Planned Development for all uses in “C” Medium Density Multifamily zoning is intended to be an expansion of the already existing PD to the south. The applicant has the intention of using the property for a detached multifamily residential development. The PD development standards requested are included below for reference and the site plan has been included with this staff report.

INCORPORATE 11.662 AC INTO PD 1310

PROPOSED PD LAND USES: RESIDENTIAL DWELLING UNITS AS WELL AS USES ALLOWED UNDER THE "C" MEDIUM DENSITY MULTIFAMILY DISTRICT.

AMENITIES FOR ENHANCED LANDSCAPE SHALL INCLUDE: STREET TREES (10PTS), PRIVATE PORK/DOG PARK (5PTS), AND SUSTAINABLE LANDSCAPING (5PTS).

MINIMUM AREA FOR PRIVATE PARK/DOG PARK AND SUSTAINABLE LANDSCAPING WILL BE 1000 SF EACH

MFD IS NOT REQUIRED FOR THIS DEVELOPMENT AS "WAIVER REQUIRED"

THIS REQUEST FOR A PLANNED DEVELOPMENT IS IN ACCORDANCE WITH THE "C" DISTRICT STANDARDS, WITH THE FOLLOWING EXCEPTIONS:

-ADDITIONAL AMENITIES MAY INCLUDE: PEDESTRIAN SCALED LIGHTING, COURTYARD AREAS, AND COMMUNITY GARDEN

-RESIDENTIAL UNITS MINIMUM TEN FOOT (10') SEPARATION WALL TO WALL

-30' BUILDING SETBACK FOR WEST PROPERTY LINE

-FRONT YARD SETBACK IS TEN FEET (10')

MAXIMUM DENSITY PER ACRE SHALL BE 12 UNITS PER GROSS ACRE

-FACADE REQUIREMENTS DO NOT APPLY TO THIS DEVELOPMENT

-MINIMUM 30% OPEN SPACE

Standard	C Zoning	Proposed PD/C	Staff Recommendation
Setback	Setback adjacent to one- or two-family residential district Three feet for every one foot (3:1) as measured from slab to top of sill plate (roughly 39 ft)	Providing 30 ft (Development Standard Required)	Support (detached multifamily often has single-family characteristics)
Building Height	36 ft	13 ft (Will Comply)	NA
Fencing	Not allowed in front of building line	Located in front of the building (Development Standard Required)	Denial
Parking	Parking not allowed in front of the building	Located in front of the building along Forest Hill/Everman Road	Denial (parking can be moved to accommodate development)

		(Development Standard Required)	
Open Space	45% required	37 % provided (Development Standard Required)	Denial
Density	9 units per acre	Will Comply	NA
Building Orientation	Buildings located on public streets must face the street with the longest length of the building placed parallel/adjacent to the street	Buildings facing internal drive (Development Standard Required)	Denial

Surrounding Zoning and Land Uses

North: "A-5" One Family; "B" Two Family / undeveloped
 East: No zoning designation/Rendon jurisdiction
 South: "R2" Townhouse/Cluster / detached multifamily
 West: "B" Two Family / single-family

Recent Zoning History

- ZC-22-010 – Property directly to the north Rezoned from "E" Neighborhood Commercial to "A-5" One Family Residential. Adopted April 12, 2022.
- ZC-21-063 – From "CR" Low Density Multifamily to PD/C Planned Development for uses in "C" Medium Density Multifamily plus detached multifamily with development regulation standards to open space requirement and a waiver to MFD submittal as described on the site plan. Site plan approved. Adopted 11/1/21.

Public Notification

300-foot Legal Notifications were mailed on June 28, 2024.
 The following organizations were emailed on June 28, 2024:

Organizations Notified	
District 6 Alliance	Streams And Valleys Inc
Trinity Habitat for Humanity	Burleson ISD
Everman ISD	

**Located closest to this registered Neighborhood Association*

Development Impact Analysis

Land Use Compatibility

Surrounding uses are undeveloped to the north, single-family just east, multifamily to the south, a school just east located across Forest Hill Everman to the east in Rendon jurisdiction. The site is located along McPherson Road which is considered a principal arterial. The general area contains numerous residential developments but lacks the commercial uses to support it. Maintaining this existing commercial node at this intersection is appropriate.

The proposed zoning **is not compatible** with surrounding land uses.

Comprehensive Plan Consistency – Far South

The adopted Comprehensive Plan designates the property as *single-family residential*. Compatible zoning would be “A-10” One Family, “A-7.5” One-Family, “A-5” One Family, and “AR” One-Family Restricted

RESIDENTIAL		
Rural Residential	1+ acre single-family	A-2.5, A-43
Suburban Residential	1/2+ acre single-family	A-21
Single-Family Residential	3,500+ sq. ft. lot single-family	A-10, A-7.5, A-5, AR

The proposed zoning of “PD/C” **is not consistent** with the Comprehensive Plan. The conversion of this property to a multifamily zoning would eliminate one of the few sites in the area designated for commercial development as the site is zoned “E” Neighborhood Commercial. The proposed zoning **is not consistent** with the following Comprehensive Plan policies.

- Locate multifamily units within walking distance of public transportation, employment, recreation, and/or shopping to increase accessibility and decrease vehicular traffic.
- Locate large commercial and institutional uses adjacent to arterial streets, preferably at the intersections of other arterials and highways

Site Plan Comments

Zoning and Land Use

- See Dev standards in the chart above

Stormwater

- Updated drainage study required prior to platting, commercial grading permit issuance, and building permit issuance.
- No FEMA Floodplain, City Flood Risk, or Potential High Water on site. There is a detention pond (SWFMA-22-0098) located to the south of the site that was constructed and designed under the original drainage study, DS-21-0125.

Fire

- Internal Emergency Access Easements will need to be named. The Fire Department will assist you with that during the platting phase. I attached the standards for street names. Email Fireplattng@fortworthtexas.gov to request approval for street names prior to FINAL PLATTING. Please include the subdivision name and plat number in the subject line.
- Each unit will have its own address. Addresses must be visible from a marked fire lane or street.
- Fire lanes must be a minimum of 20' wide and provide hose lay to the exterior of each structure within 150', measured in a 5' wide unobstructed path from the edge of a marked fire lane or public street. That distance MAY be increased to 300' if the building is equipped with a fire sprinkler system.
- Where divided by a median, fire lanes must be a minimum of 20' on either side of the median.
- Minimum turn radius for fire lanes is a minimum of 25' inside and 51' outside.
- Vehicle gates are required to be a minimum of 20' wide when fully opened and equipped with Knox Locks. Permits are required.
- Hydrant requirements:
 - ? 600 ft. (300 ft. radius) of space between hydrants along a direct horizontal line
 - ? 500 ft. hose lay distance to all points of building.
 - FDC's for sprinkler and standpipe systems shall be located within 50 ft. of a dedicated street or fire apparatus access road and shall be within 150 ft. hose lay distance of the nearest fire hydrant. Each building shall be equipped with its own FDC, unless otherwise approved by the fire code official.
- Hose lay is measured by the path a fire truck would travel to lay sections of hose from a hydrant to the fire truck.
- Addresses will be verified on platted lots on permit applications. If platting, addresses will be assigned after the final plat is recorded. Please do not self-address for permit applications.
- Addresses will be assigned by CFW Fire Department after the plat is recorded. DO NOT SELF ADDRESS. Plats are worked within 10 days in the order received.

PARD

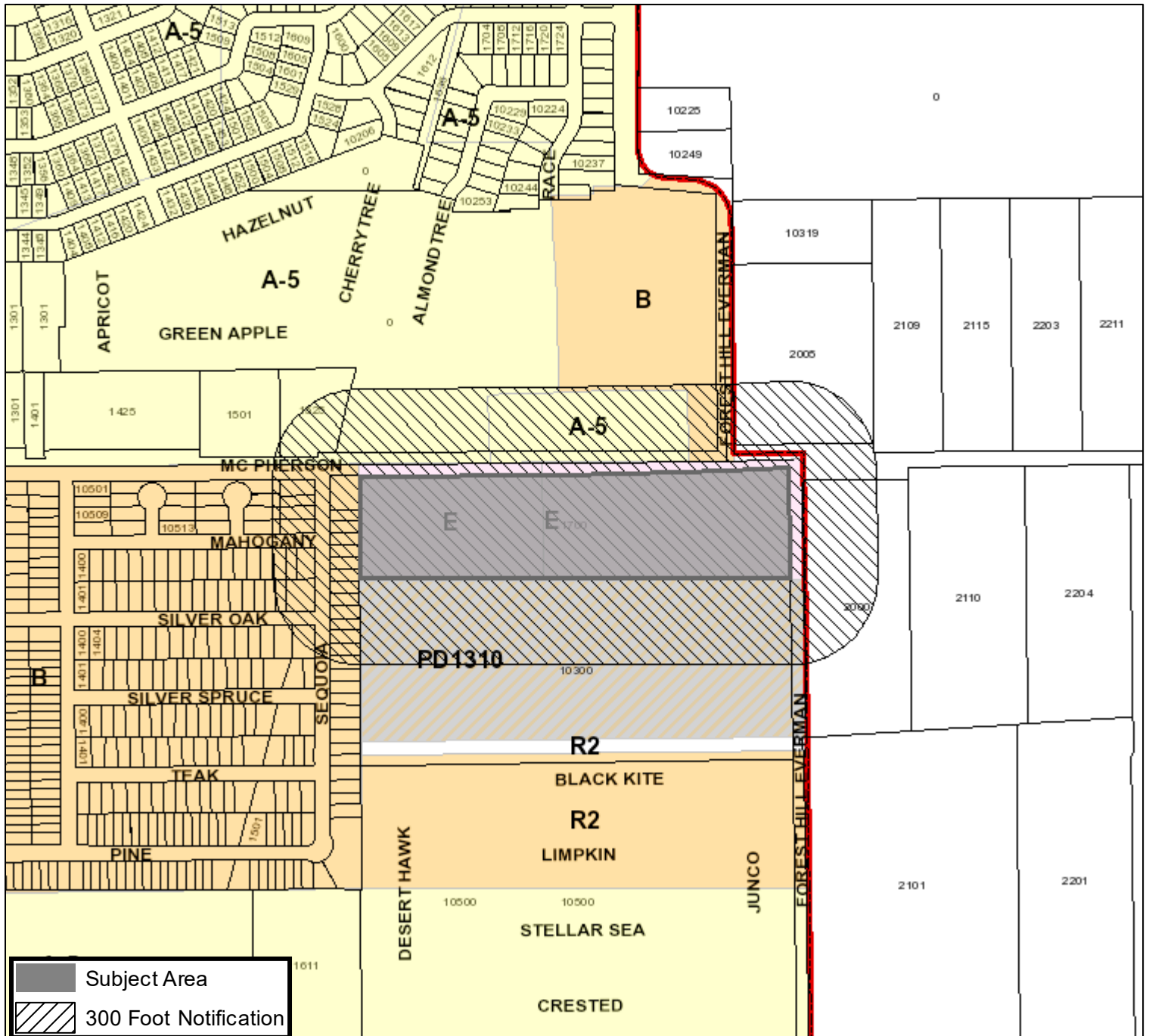
- PARD-PDP will apply



(Comments made by Platting (Subdivision Ordinance), Transportation/Public Works, Fire, Park & Recreation, Water, and Building Plan Review Department staff cannot be waived through the Zoning Commission and City Council. Approval of the zoning site plan does not constitute the acceptance of conditions.)

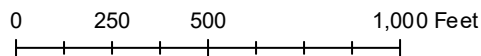


Area Zoning Map

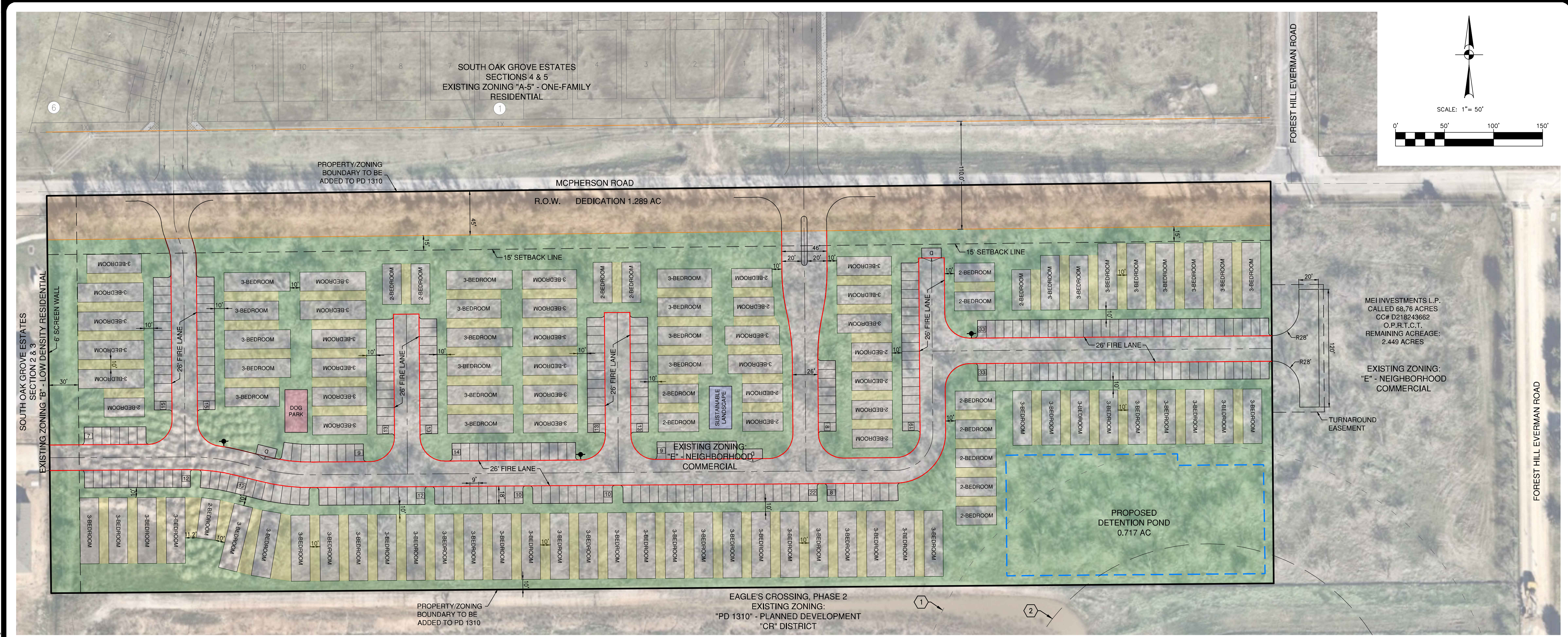
Applicant: MEI Investments LP
 Address: 1700 McPherson Road
 Zoning From: E
 Zoning To: PD/C
 Acres: 12.21630184
 Mapsco: Text
 Sector/District: Far_South
 Commission Date: 7/10/2024
 Contact: null



	Subject Area
	300 Foot Notification



Date: Apr 23, 2024, 11:30am User ID: eschatz
 File: W:\projects\70173\03\2.0 Design\2.4 Civil\2.4.4 Exhibits\Site Plan\240423 Eagle's Crossing 3 - Site Plan_1.dwg



MEI INVESTMENTS L.P.
 CALLED 68.76 ACRES
 CC# D218243662
 O.P.R.T.C.T.
 REMAINING ACREAGE:
 2.449 ACRES

EXISTING ZONING:
 "E" - NEIGHBORHOOD
 COMMERCIAL

EAGLE'S CROSSING, PHASE 2
 EXISTING ZONING:
 "PD 1310" - PLANNED DEVELOPMENT
 "CR" DISTRICT

KEYNOTE

- ① 300' BUILDING SETBACK FOR PROTECTED USE AND PUBLIC BUILDING STRUCTURES
- ② 200' BUILDING SETBACK FOR HABITABLE STRUCTURES

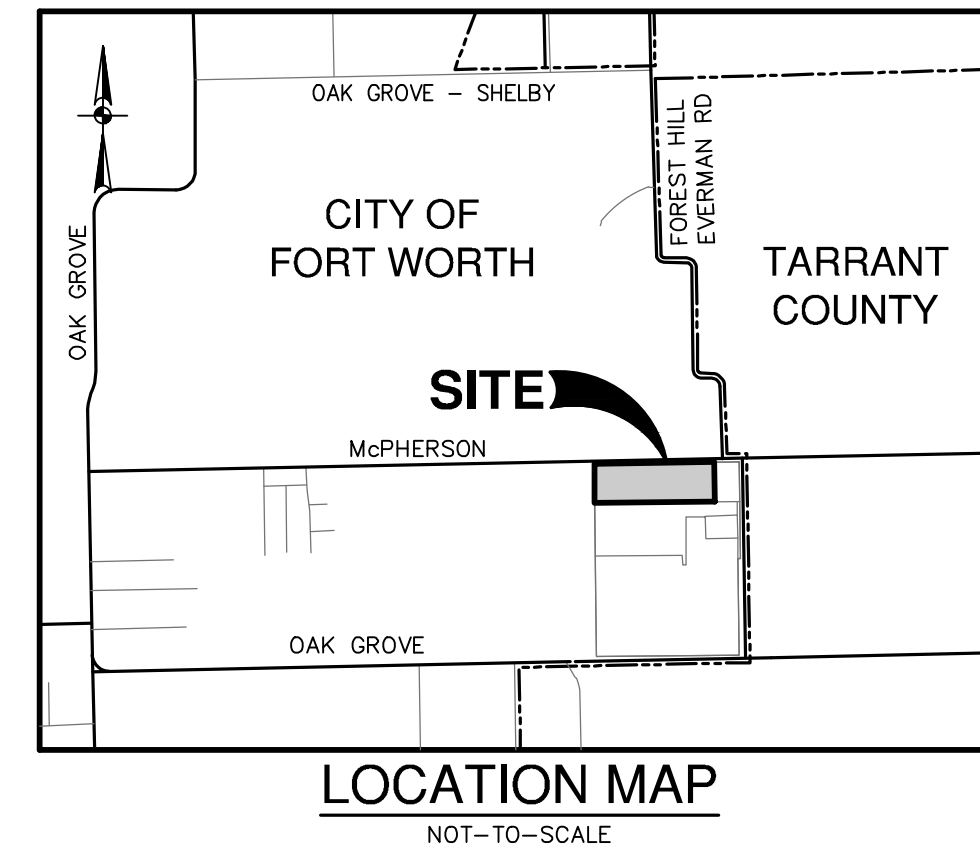
BUILDING SUMMARY	STORIES	SINGLE STORY BLDG HEIGHT (FT)	MAX ROOF HEIGHT (FT)	UNITS	MIX	BEDROOM PER UNIT	PARKING REQUIRED
PLAN #1	1	8	13.33	24	22%	2	48
PLAN #2	1	8	13.33	35	33%	3	105
PLAN #3	1	8	13.33	48	45%	3	144
COMMON AREA							
TOTAL				107	100%		297

PARKING TYPE	NO. SPACES PROVIDED	MIX
SURFACE PARKING REQUIRED	297	100%
SURFACE PARKING PROVIDED	300	
TOTAL	300	107%

SITE SUMMARY TABLE	
TOTAL NUMBER OF UNITS	107 UNITS
GROSS ACREAGE	11.66 ACRE
MCPHERSON R.O.W. DEDICATION	1.289 ACRE
NET ACREAGE	10.371 ACRE
DENSITY	9.177 DU/ACRE
OPEN SPACE	3.878 ACRE
PERCENTAGE OPEN SPACE	37.39%

LEGEND

- UNIT PLAN # 1 2 BEDROOM
- UNIT PLAN # 2 3 BEDROOM
- UNIT PLAN # 3 3 BEDROOM
- SURFACE PARKING SPACES
- R.O.W. DEDICATION
- OPEN SPACE - 3.793 AC
- PRIVATE OPEN AREA - 1.227 AC
- DOG PARK - 0.023 AC
- SUSTAINABLE LANDSCAPE - 0.023 AC
- DETENTION POND
- PROPERTY/ZONING BOUNDARY TO BE ADDED TO PD 1310
- PROPOSED FIRE HYDRANT



- NOTES:**
- PROPOSED PD LAND USES: RESIDENTIAL DWELLING UNITS AS WELL AS USES ALLOWED UNDER THE "C" MEDIUM DENSITY MULTIFAMILY DISTRICT.
 - ALL PROVIDED LIGHTING SHALL CONFORM TO LIGHTING CODE.
 - ALL SIGNS SHALL CONFORM TO ARTICLE 4-SIGNS.
 - THIS PROJECT WILL COMPLY WITH SECTION 6.302 URBAN FORESTRY.
 - PLANTED TREE SPACING WILL FOLLOW GUIDELINES SIMILAR TO THOSE ESTABLISHED FOR SINGLE FAMILY DEVELOPMENTS.
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 - THIS PROJECT WILL COMPLY WITH FORT WORTH SIGN CODE.
 - DUMPSTERS WILL BE SCREENED ON ALL THREE SIDES AND CONTAIN A GATE.
 - AMENITIES FOR ENHANCED LANDSCAPE PLAN SHALL INCLUDE: STREET TREES (10PTS) PRIVATE PARK/DOG PARK (5PTS), AND SUSTAINABLE LANDSCAPE (5PTS).
 - MINIMUM AREA FOR PRIVATE PARK/DOG PARK AND SUSTAINABLE LANDSCAPE WILL BE 1,000 SQUARE FEET EACH. THE LOCATIONS OF DESIGNATED AREAS SHOWN ON SITE PLAN ARE SHOWN FOR PLANNING PURPOSES. THE EXACT LOCATION WILL BE DETERMINED DURING PLATTING.
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 - FAÇADE REQUIREMENTS DO NOT APPLY TO THIS DEVELOPMENT.
 - MINIMUM 30% OPEN SPACE REQUIRED.

OWNER
 MEI INVESTMENTS, L.P.
 200 NORTH COLLINS
 ARLINGTON, TEXAS 76011
 817-301-6986

DEVELOPER
 MAX BRYANT
 LENNAR HOMES OF TEXAS LAND AND
 CONSTRUCTION, LTD.
 1707 MARKET PLACE BLVD., SUITE 100
 IRVING, TEXAS 75063
 469-587-5383

APPLICANT/ENGINEER:
 MATT GILBERTSON, P.E.
 PAPE-DAWSON CONSULTING ENGINEERS, LLC.
 6105 TENNYSON PARKWAY, SUITE 210
 PLANO, TEXAS 75024
 214-420-8494

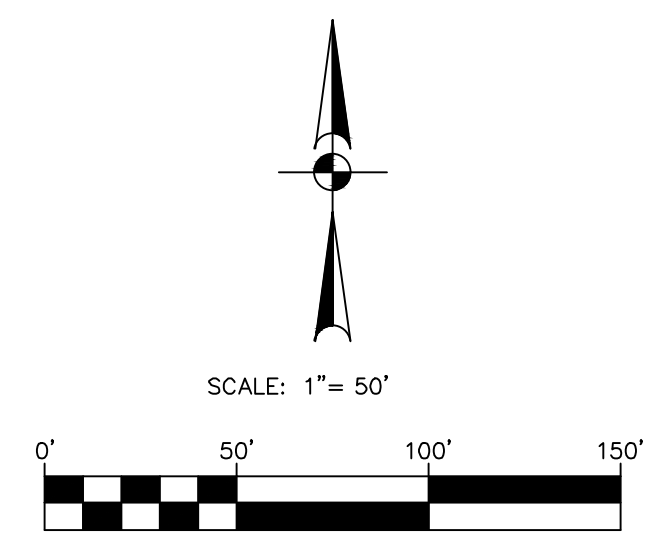
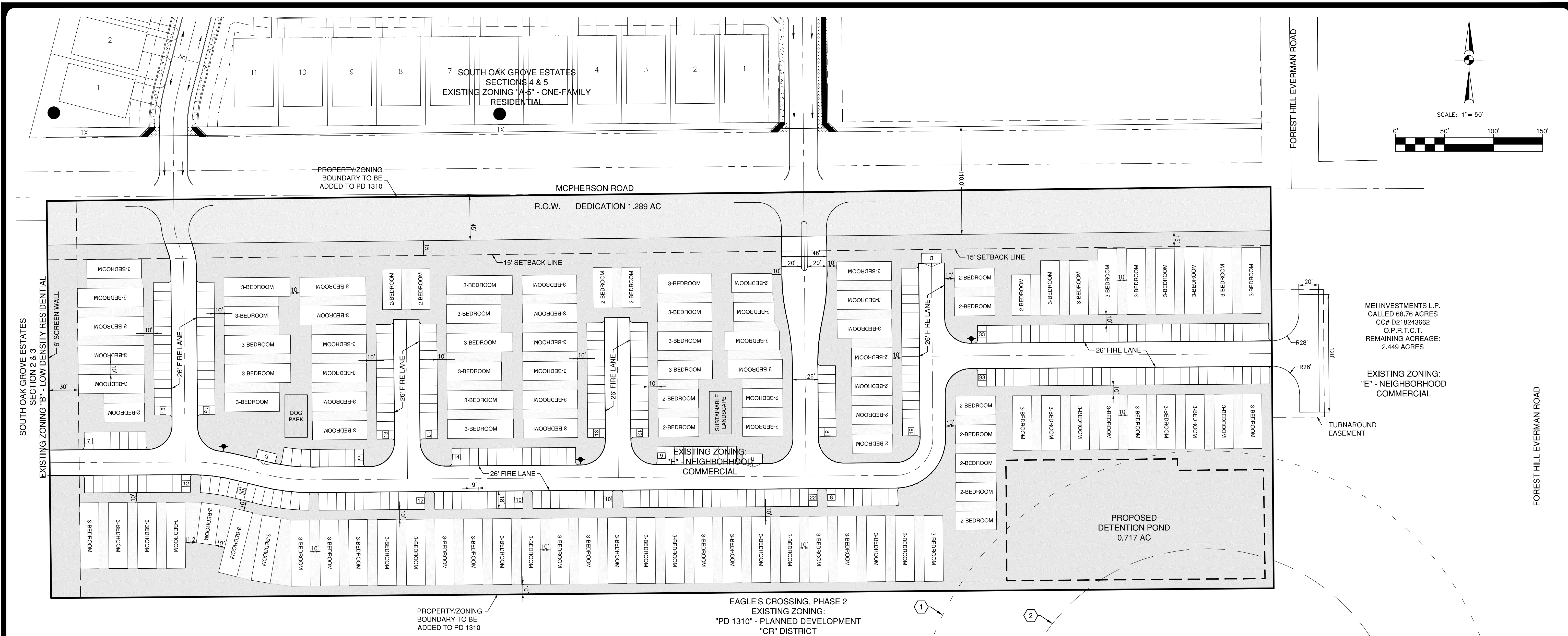
DIRECTOR OF PLANNING AND DEVELOPMENT _____ DATE _____

EAGLE'S CROSSING, PHASE 3

ZONING SITE PLAN
 ZC-24-XXXX FORT WORTH, TEXAS
 April 2024

THIS DOCUMENT HAS BEEN PRODUCED FROM MATERIAL THAT WAS STORED AND/OR TRANSMITTED ELECTRONICALLY AND MAY HAVE BEEN INADVERTENTLY ALTERED. RELY ONLY ON FINAL HARDCOPY MATERIALS BEARING THE CONSULTANT'S ORIGINAL SIGNATURE AND SEAL.

Date: Jul 03, 2024, 4:04pm User ID: csehatch
 File: W:\projects\70173\03\2.0 Design\2.4 Civil\2.4.4 Exhibits\Site Plan\240423 Eagle's Crossing 3 - Site Plan_1.dwg



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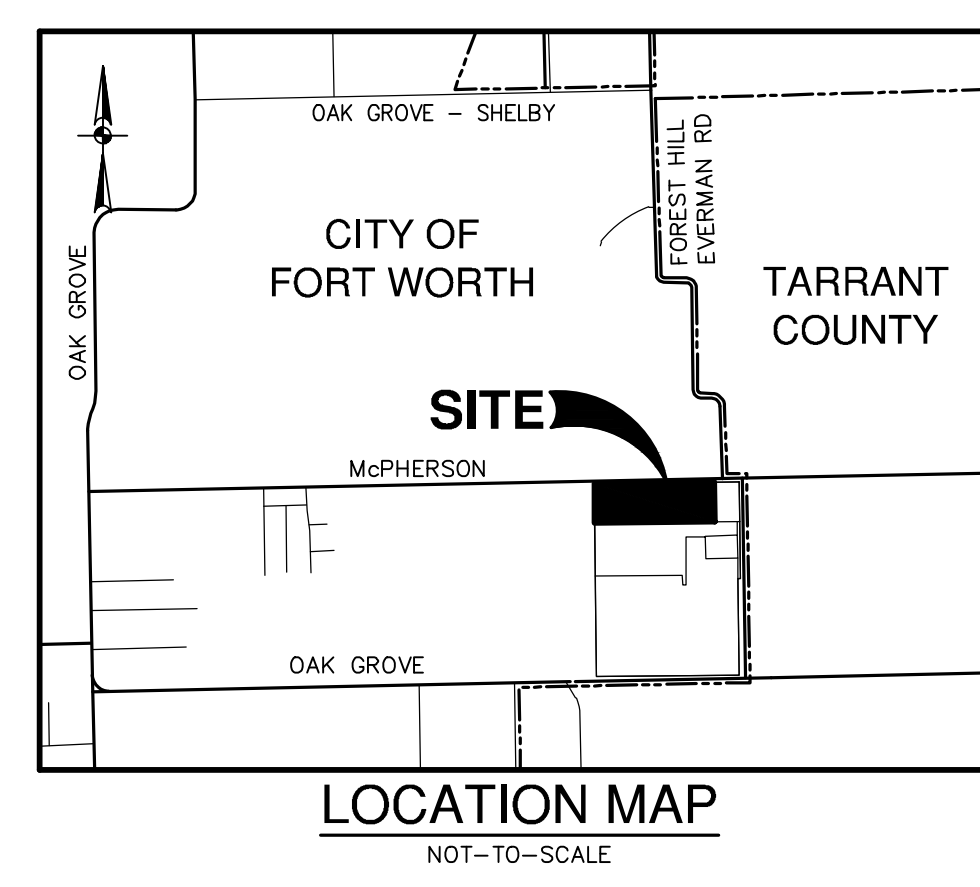
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 IRVING, TEXAS 75063
 469-587-5383

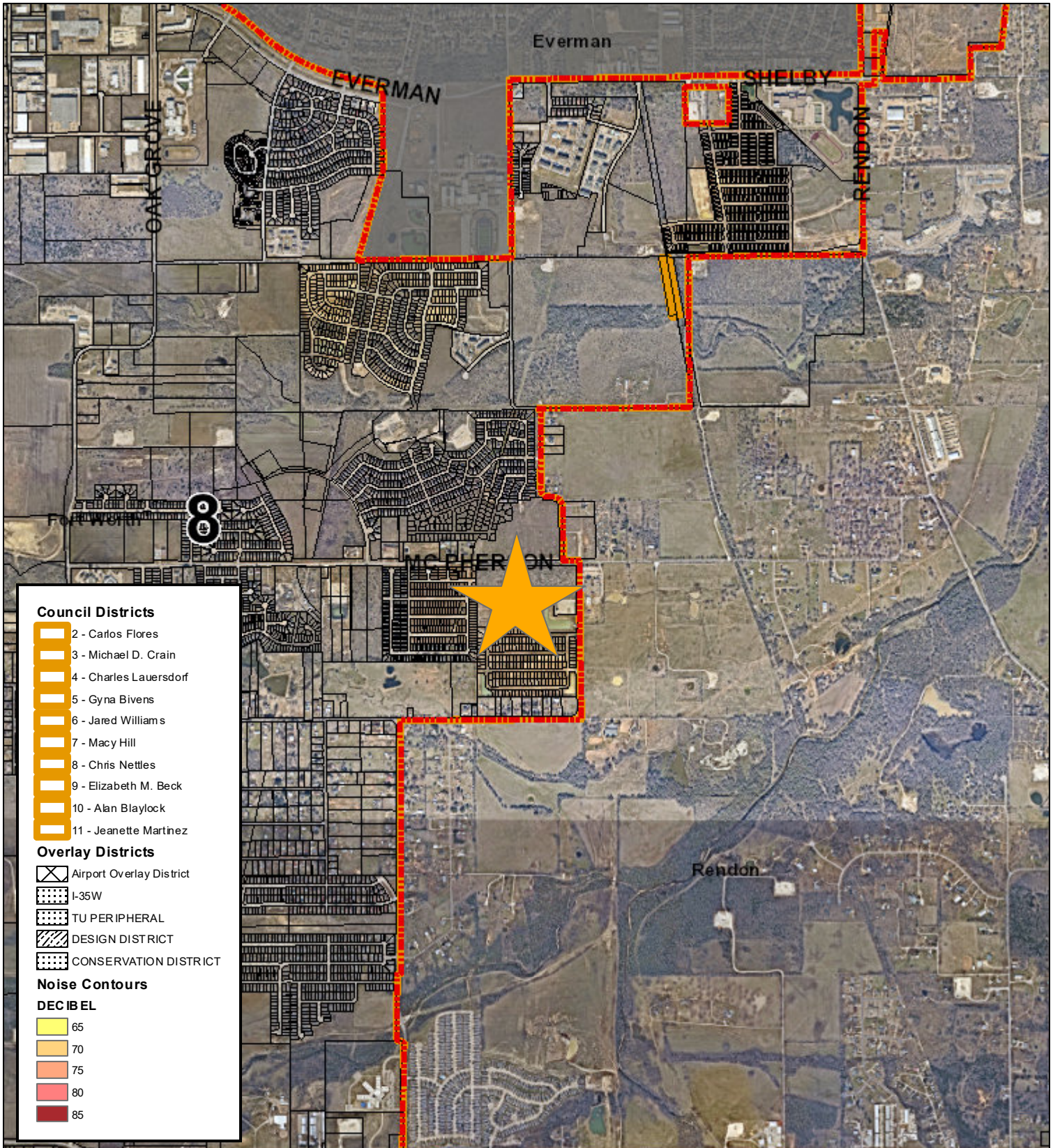
APPLICANT/ENGINEER:
 MATT GILBERTSON, P.E.
 PAPE-DAWSON CONSULTING ENGINEERS, LLC.
 6105 TENNYSON PARKWAY, SUITE 210
 PLANO, TEXAS 75024
 214-420-8494

DIRECTOR OF PLANNING AND DEVELOPMENT _____ DATE _____
EAGLE'S CROSSING, PHASE 3

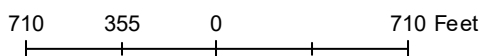
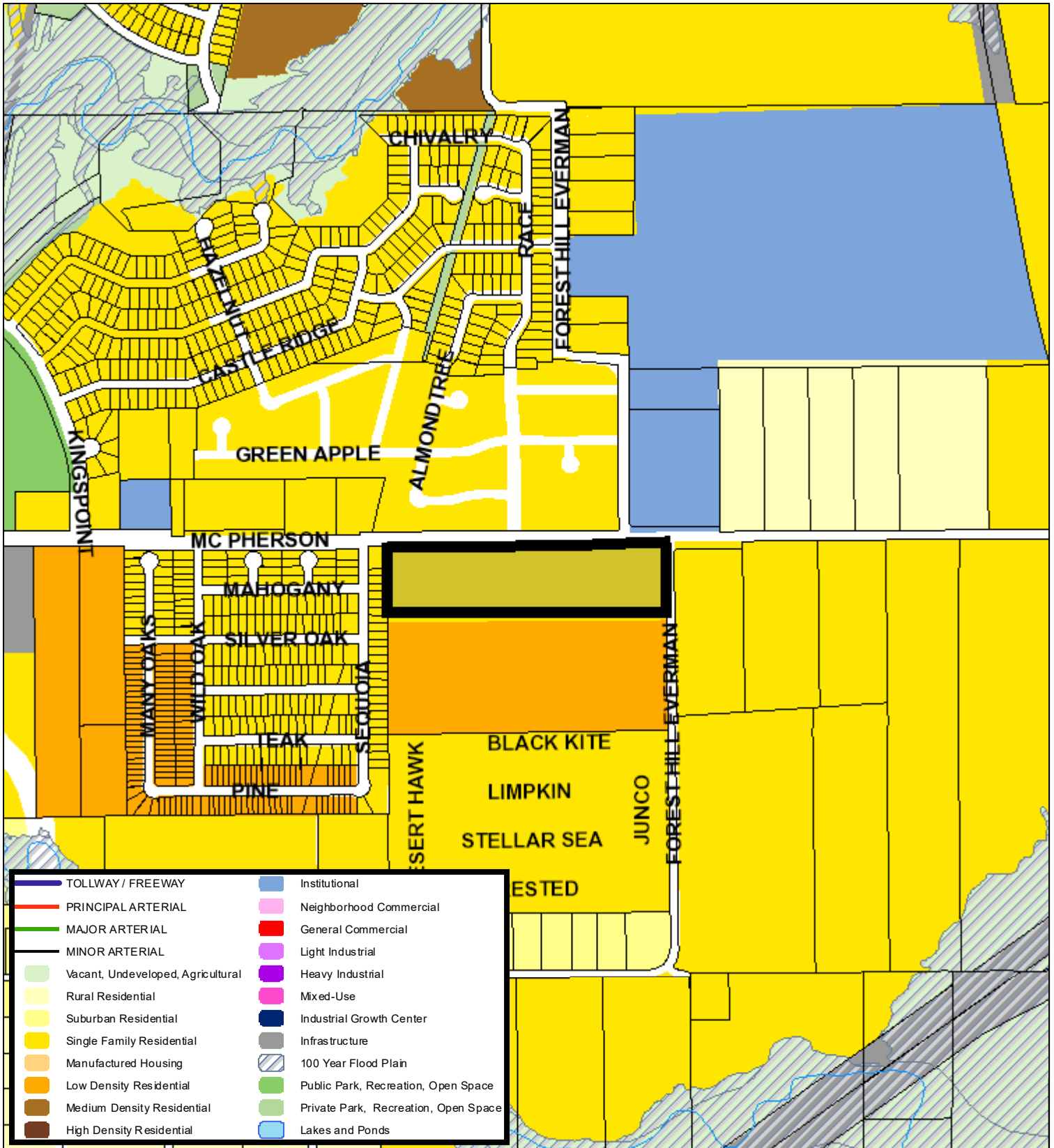
ZONING SITE PLAN
 ZC-24-XXXX FORT WORTH, TEXAS
 July 2024

THIS DOCUMENT HAS BEEN PRODUCED FROM MATERIAL THAT WAS STORED AND/OR TRANSMITTED ELECTRONICALLY AND MAY HAVE BEEN INADVERTENTLY ALTERED. RELY ONLY ON FINAL HARDCOPY MATERIALS BEARING THE CONSULTANT'S ORIGINAL SIGNATURE AND SEAL.

Area Map



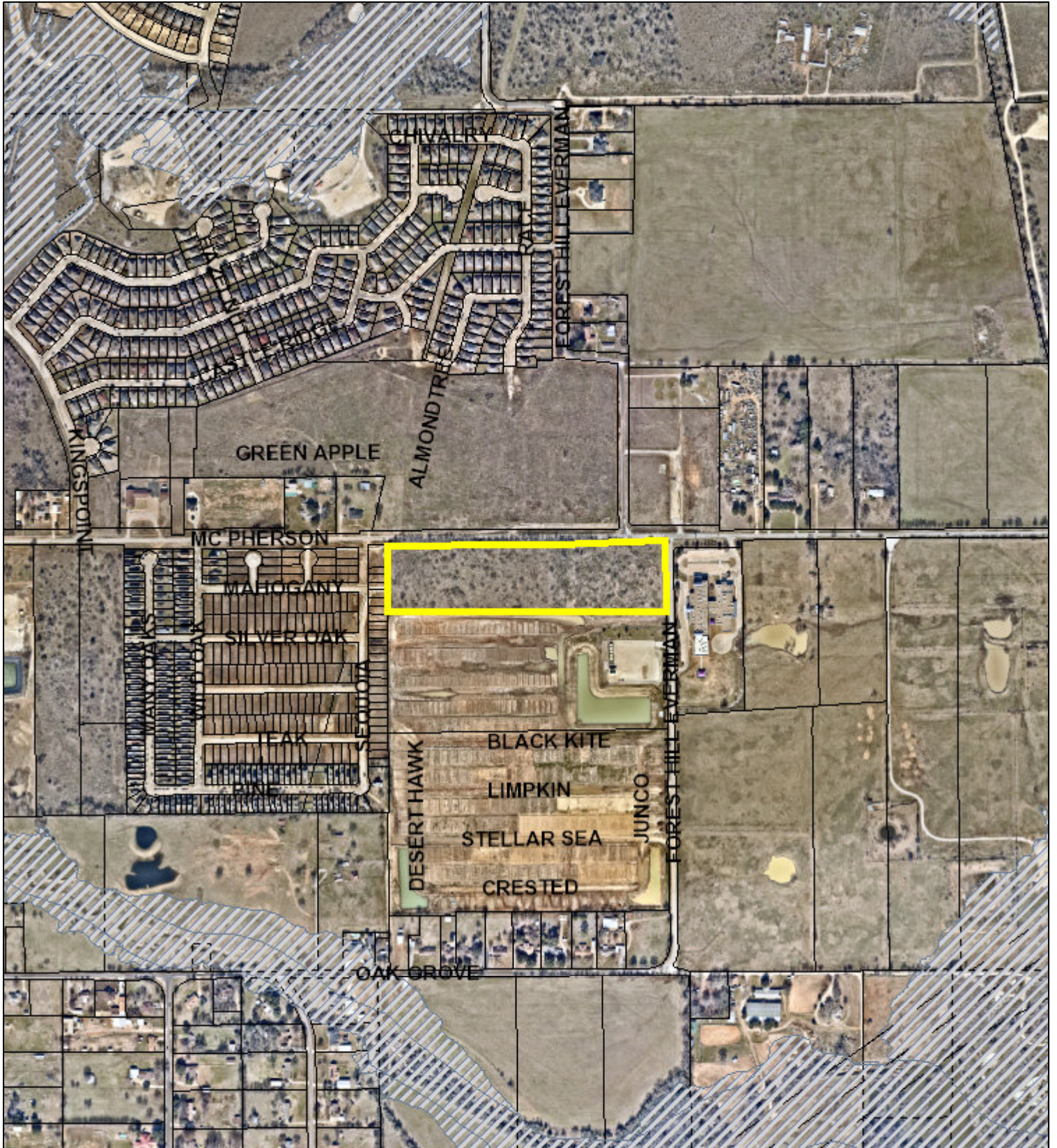
Future Land Use



A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



Aerial Photo Map





Zoning Staff Report

Date: July 10, 2024

Case Number: ZC-24-056

Council District: 11

Zoning Map Amendment & Site Plan

Case Manager: [Sandy Michel](#)

Owner / Applicant: Kelby Golden/ Brighton Yau

Site Location: 3445 Stuart Drive

Acreage: 0.11 acre

Request

Proposed Use: Single-family Residential

Request: From: "IP" Industrial Park
To: "A-5" One Family

Recommendation

Land Use Compatibility: Requested change **is compatible**

Comprehensive Plan Map Consistency: Requested change **is consistent**

Comprehensive Plan Policy Consistency: Requested change **is consistent**

Staff Recommendation: **Approval**

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 - b. [Comprehensive Plan Consistency](#)
6. Zoning Map with 300 ft. Notification Area
7. Area Map
8. Future Land Use Map
9. Aerial Photograph

Project Description and Background

The subject property, covering 0.11 acres, is currently vacant and situated within an established single-family neighborhood (**Figure 1**). The parcel is predominantly surrounded by single-family residences, except for a commercial auto business to the northeast at 3442 S. Jones St (**Figure 2**). This corner lot faces both Stuart Drive and E. Biddison Street.

The applicant has requested a zoning change for this vacant tract, currently zoned as IP (Industrial Parks), to A-5 (Single Family) to permit the construction of a new single-family residence. There has been no recent rezoning or council-initiated rezoning on this site or the adjacent properties. However, along Stuart Drive, between E. Biddison Street and E. Bewick Street, there are approximately 13 houses.



Figure 1: Site photos taken on June 27, 2024, staff provided

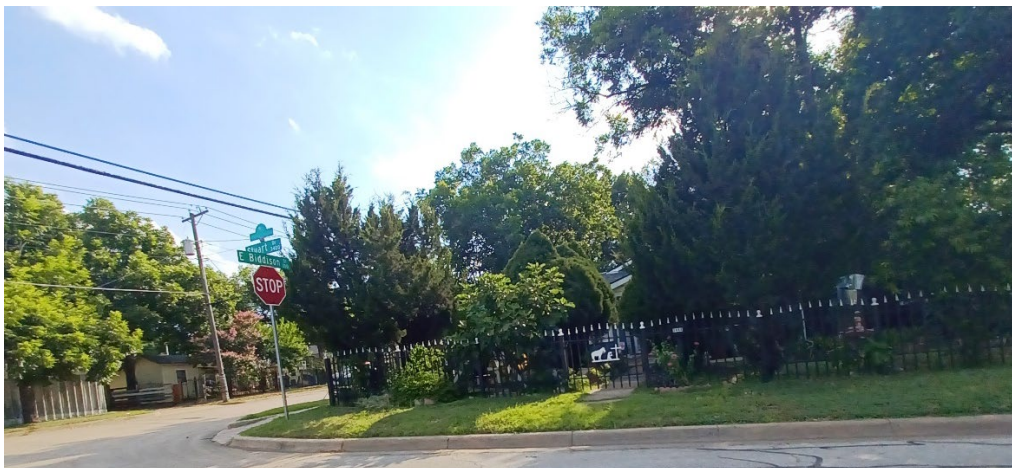


Figure 2: Across the street photo taken on June 27, 2024, staff provided

Surrounding Zoning and Land Uses

North	“A-5” One Family/ Single Family Residential
East	“I” Light Industrial/ Single-Family Residential
South	“A-5” One Family/ Single Family Residential
West	“A-5” One Family/ Single Family Residential

Recent Zoning History

- N/A

Public Notification

300-foot Legal Notifications were mailed on June 28, 2024.
 The following organizations were notified: (emailed June 28, 2024)

Organizations Notified	
Trinity Habitat for Humanity	Streams and Valleys Inc
Worth Heights	

* Located within a registered Neighborhood Organization

Development Impact Analysis

Land Use Compatibility

Given that the surrounding area consists predominantly of single-family houses, the proposed land use is compatible with the neighborhood. Rezoning the property to A-5 (Single Family) will help preserve the existing residential character of the block as well as the neighborhood to the south and west of this property. This change supports the continuity of the single-family residential environment, enhancing the stability and cohesiveness of the community.

The proposed zoning is **compatible** with surrounding land uses.

Comprehensive Plan Consistency- FLU Map and Policies

The adopted Comprehensive Plan currently designates a part of the subject property as Single-Family Residential on the Future Land Use Map.

RESIDENTIAL		
Rural Residential	1+ acre single-family	A-2.5, A-43
Suburban Residential	1/2+ acre single-family	A-21
Single-Family Residential	3,500+ sq. ft. lot single-family	A-10, A-7.5, A-5, AR
Manufactured Housing	Manufactured home parks and subdivisions	MH
Low Density Residential	2,500+ sq. ft. lot single-family, two-family, patio homes, townhouses, cluster housing	B, R1, R2
Medium Density Residential	Up to 36 units/acre multifamily	CR, C, D
Urban Residential	Medium to high density, residential only, pedestrian-oriented development for use between higher and lower intensity uses	UR
High Density Residential	>36 units/acre multifamily, mixed-use multifamily and pedestrian-oriented development in growth centers	UR, MU-1, MU-2, Form-Based Codes

The parcel's location within the Single-Family Residential Future Land Use (FLU) category makes it highly compatible with the proposed use. The applicant plans to construct a single-family home, which will seamlessly integrate into the existing neighborhood.

This rezoning supports the intended future land use and policies established by the City of Fort Worth (CFW). Therefore, the proposed rezoning not only aligns with but also reinforces the city's broader urban planning and development goals, ensuring a cohesive and sustainable residential community.

Based on conformance with the policies stated above, the proposed zoning is **consistent** with the Comprehensive Plan FLU Map and Policies.

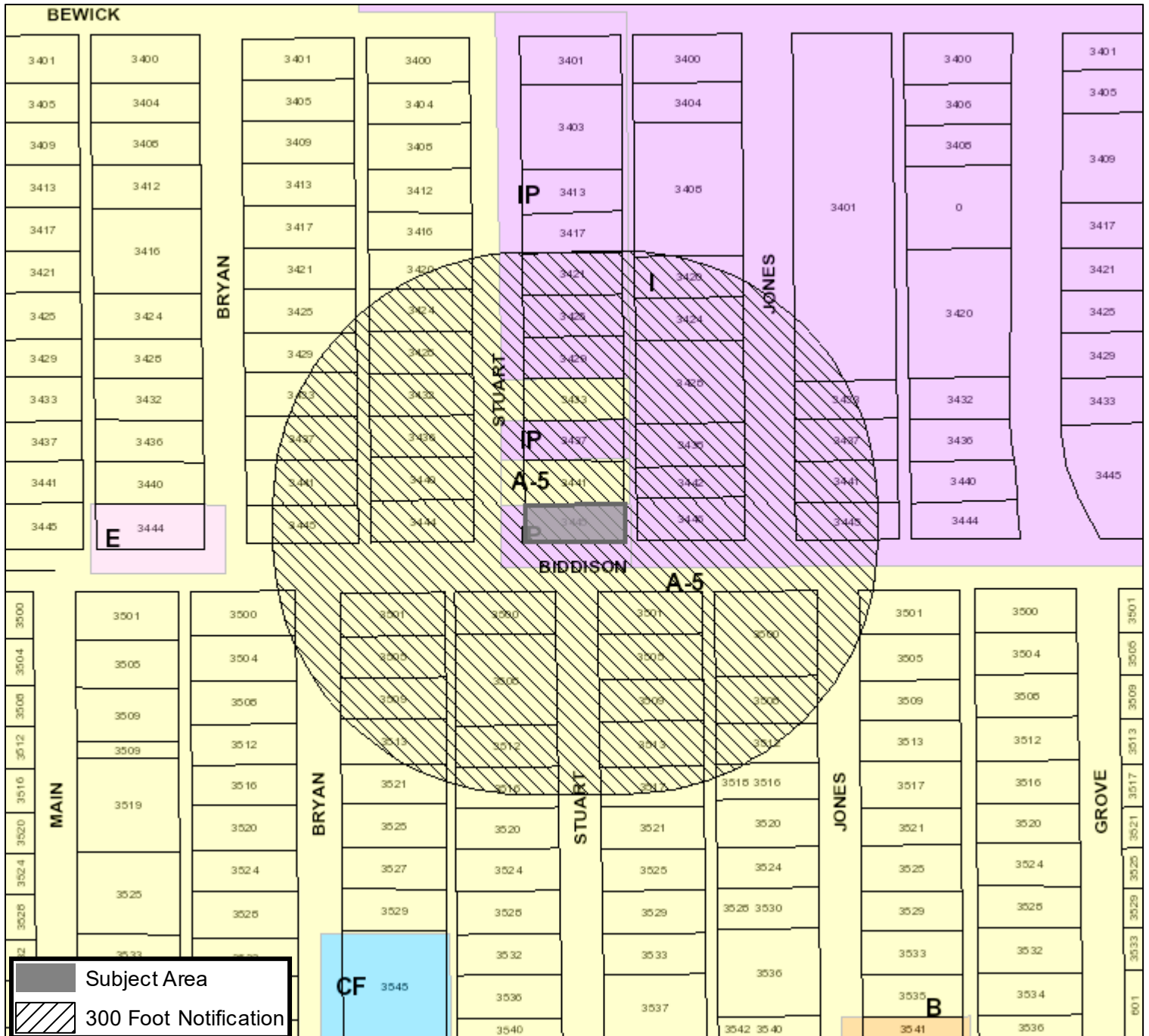






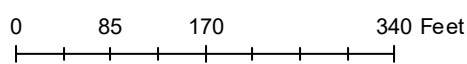
ZC-24-056

Area Zoning Map

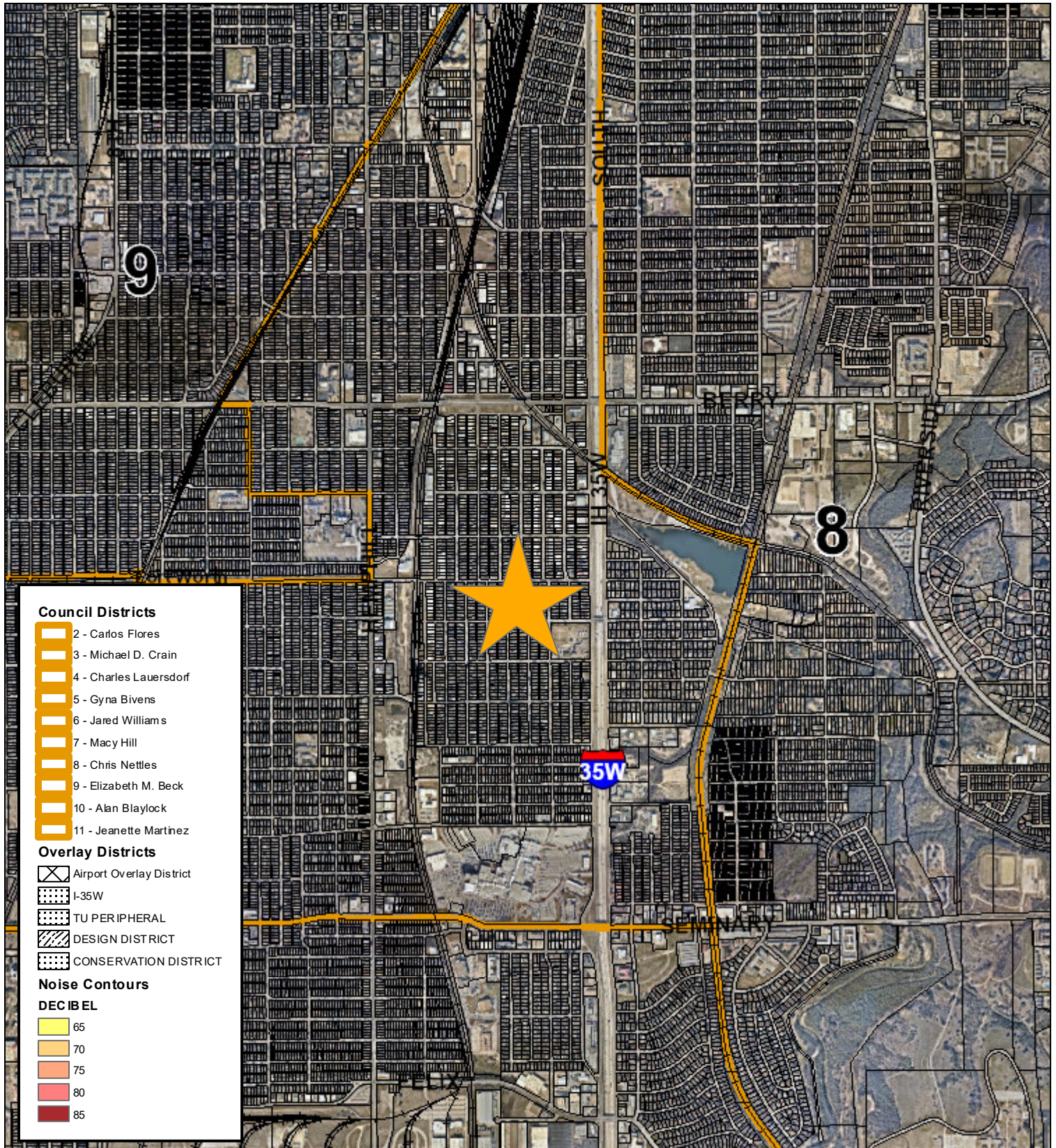
Applicant: Laura Hernandez/Chris Chavez
 Address: 3445 Stuart Drive
 Zoning From: IP
 Zoning To: A-5
 Acres: 0.11952637
 Mapsco: Text
 Sector/District: Southside
 Commission Date: 7/10/2024
 Contact: null



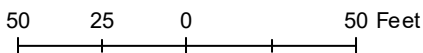
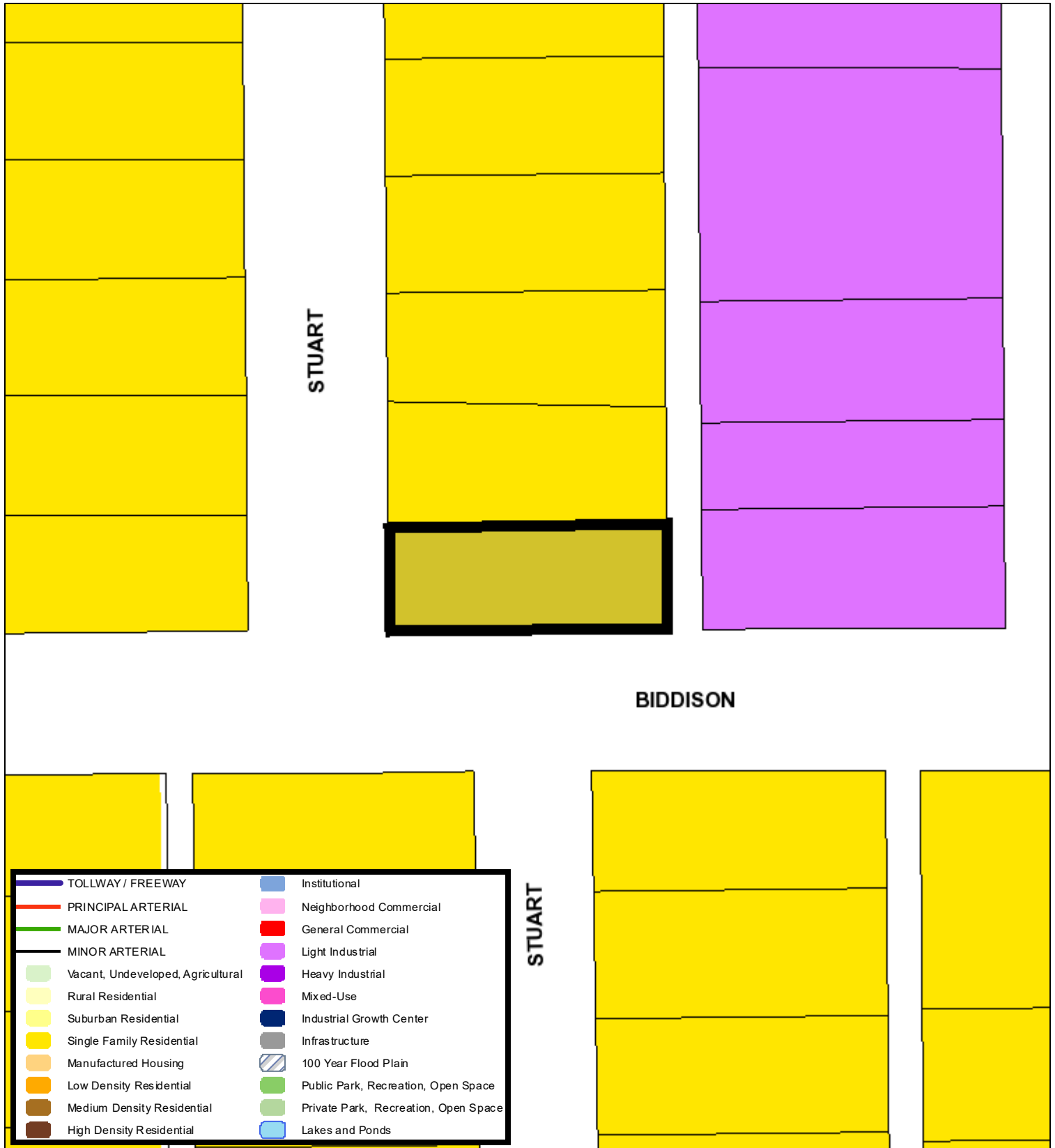
 Subject Area
 300 Foot Notification



Area Map



Future Land Use



A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



Aerial Photo Map



0 35 70 140 Feet





Zoning Staff Report

Date: July 10, 2024

Case Number: ZC-24-057

Council District: 8

Zoning Map Amendment

Case Manager: Brett Mangum

Owner / Applicant: DI-Tec, Inc. / Daniel Hammack

Site Location: 1701, 1704, 1705, 1708 & 1712 E Broadway Avenue and 101 Exeter Street

Acreage: 0.735 acres

Request

Proposed Use: Single Family

Request: From: "J" Medium Industrial; PD 193 "PD-SU" for an indoor shooting range, site plan required

To: "A-5" One-Family Residential

Recommendation

Land Use Compatibility: Requested change **is compatible**

Comprehensive Plan Map Consistency: Requested change **is consistent**

Comprehensive Plan Policy Consistency: Requested change **is consistent**

Staff Recommendation: **Approval**

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6. Zoning Map with 300 ft. Notification Area
7. Area Map
8. Future Land Use Map
9. Aerial Photograph

Project Description and Background

The subject site is located in the Glenwood Addition of Fort Worth in Council District 8. The proposal to rezone this property would change the current “J” Medium Industrial and “PD-193” zoning to “A-5” One Family Residential zoning. This rezoning request would downzone the property from a more intensive zoning category to a less intensive zoning category. The existing “J” zoning has been in place since at least 2004. The property is currently undeveloped.





Surrounding Zoning and Land Uses

North “J” Medium Industrial / Highway 287
East “J” Medium Industrial / Highway 287 & billboard
South “B” Two Family Residential / single family residential & undeveloped
West “J” Medium Industrial / undeveloped

Recent Zoning History

- None

Public Notification

300-foot Legal Notifications were mailed on June 28, 2024.
The following organizations were emailed on June 28, 2024:

Organizations Notified	
Glenwood Triangle NA*	Near East Side NA
Streams & Valleys Inc	Trinity Habitat for Humanity
West Meadowbrook NA	Parker Essex Boaz NA
Historic Southside NA	Neighborhoods of East Fort Worth Alliance
United Communities Association	East Fort Worth Business Association
Southeast Fort Worth Inc	Fort Worth ISD
United Riverside NA	Tarrant Regional Water District
East Fort Worth Inc.	United Riverside Rebuilding Corp.

**Located within this registered Neighborhood Association*

Development Impact Analysis

Land Use Compatibility

A residential use (such as a single family house) is considered among the least intensive land uses, in comparison to commercial or industrial type applications. With the subject site bordering adjacent to existing residential properties to the south, and largely undeveloped properties to the west, the proposed rezoning to single family residential would fit in to the fabric of the neighborhood. Residential use would be more appropriate here than industrial uses that would be allowed under the existing “J” zoning. The proposed rezoning **is compatible** with surrounding land uses.

An aerial photo from 1956 shows that the area around the subject site was a thriving single family residential neighborhood. When Highway 287 (Poly Freeway) was built in the 1960’s, it sliced through the neighborhood, disrupting the grid pattern and opening the door for more intensive non-residential uses. East Broadway Avenue

and Exeter Street now dead end at the Highway 287 right of way, which does not have frontage roads to connect to, so the area has a cul-de-sac type of feel now that is attractive to residential homes. Despite proximity to Highway 287, the site is relatively quiet since the freeway section in this area is depressed to accommodate the overpass of S. Riverside Drive to the east.



Comprehensive Plan Consistency – Southside

The 2023 Comprehensive Plan currently designates the subject property as *future single family residential*. The zoning types that would be in alignment with this future land use designation are One-Family Residential “A-10”, “A-7.5”, “A-5”, and “AR”. The proposed zoning **is consistent** with the map designation portion of the Comprehensive Plan.

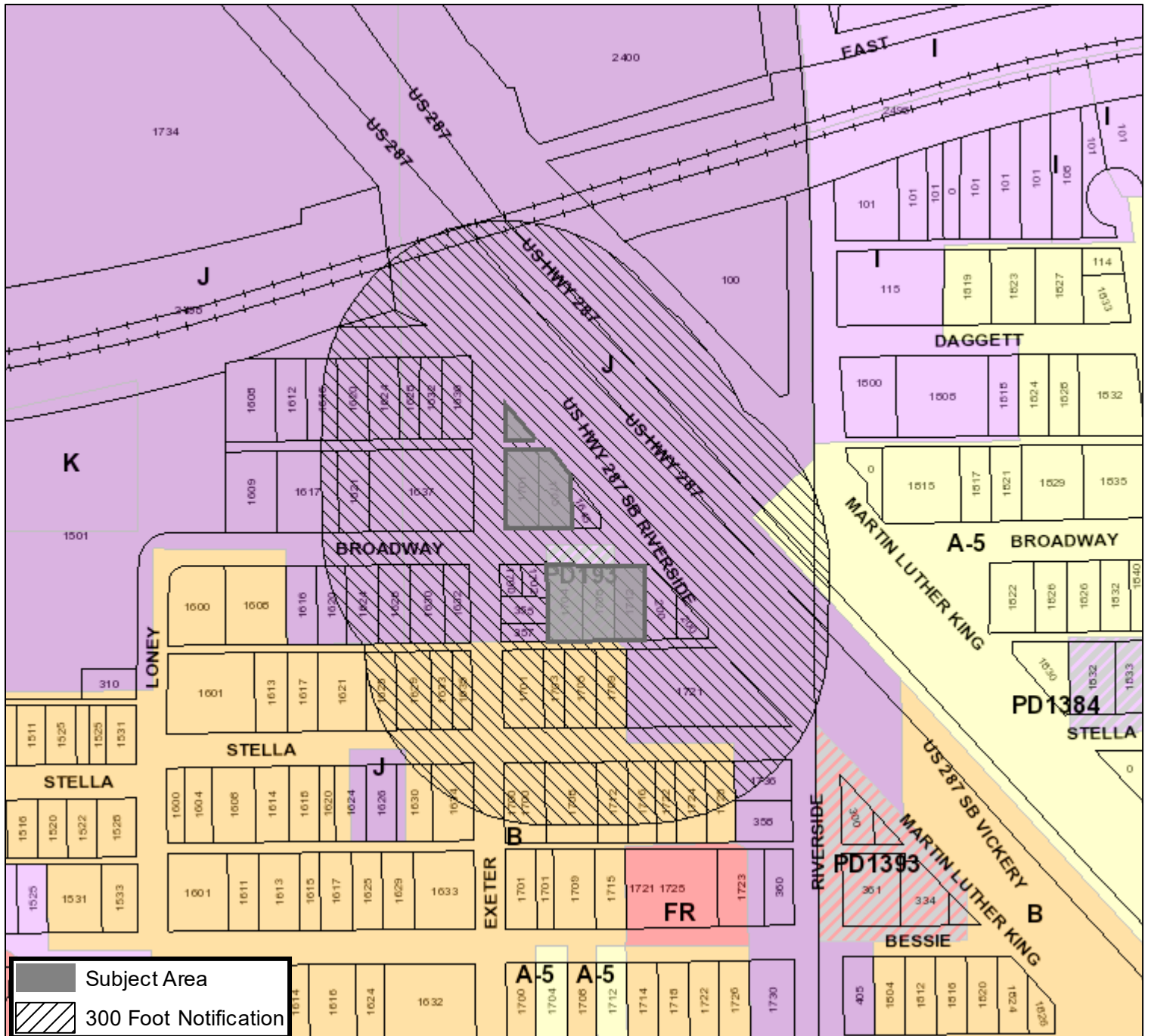
The proposed zoning **is consistent** with the following policies of the Comprehensive Plan:



- Promote a variety of housing choices
- Encourage infill of compatible housing
- Provide housing units to improve affordability

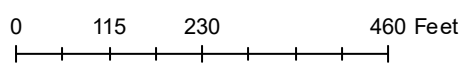


Area Zoning Map

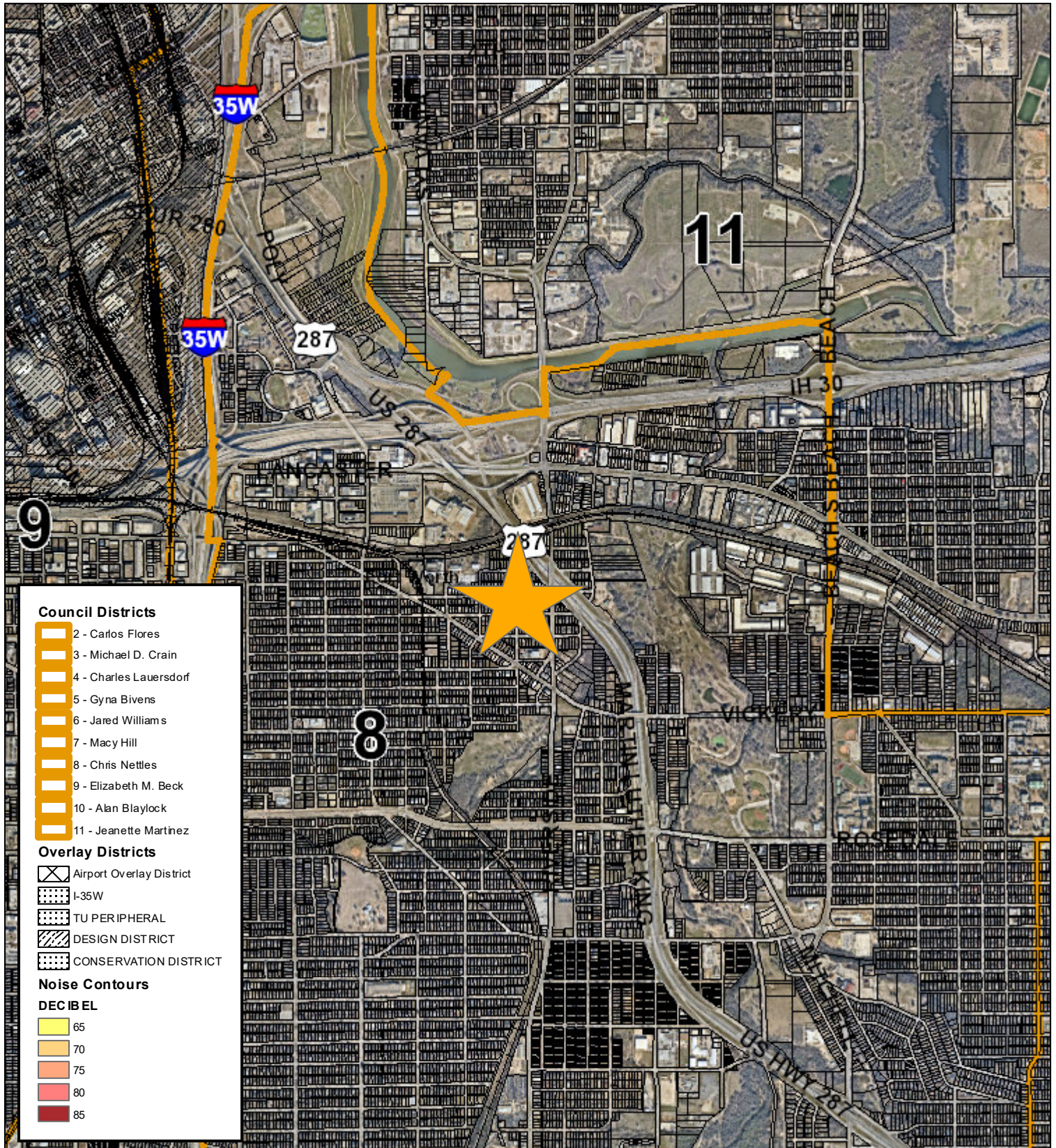
Applicant: DI-TEC
 Address: 101 Exeter;1701-1705 (odds) Broadway Avenue; 1704-1712 (evens) Broadway Avenue
 Zoning From: I;PD
 Zoning To: A-5
 Acres: 0.788557
 Mapsco: Text
 Sector/District: Southside
 Commission Date: 7/10/2024
 Contact: null



 Subject Area
 300 Foot Notification



Area Map



Council Districts

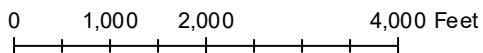
- 2 - Carlos Flores
- 3 - Michael D. Crain
- 4 - Charles Lauersdorf
- 5 - Gyna Bivens
- 6 - Jared Williams
- 7 - Macy Hill
- 8 - Chris Nettles
- 9 - Elizabeth M. Beck
- 10 - Alan Blaylock
- 11 - Jeanette Martinez

Overlay Districts

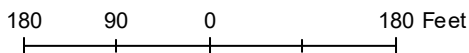
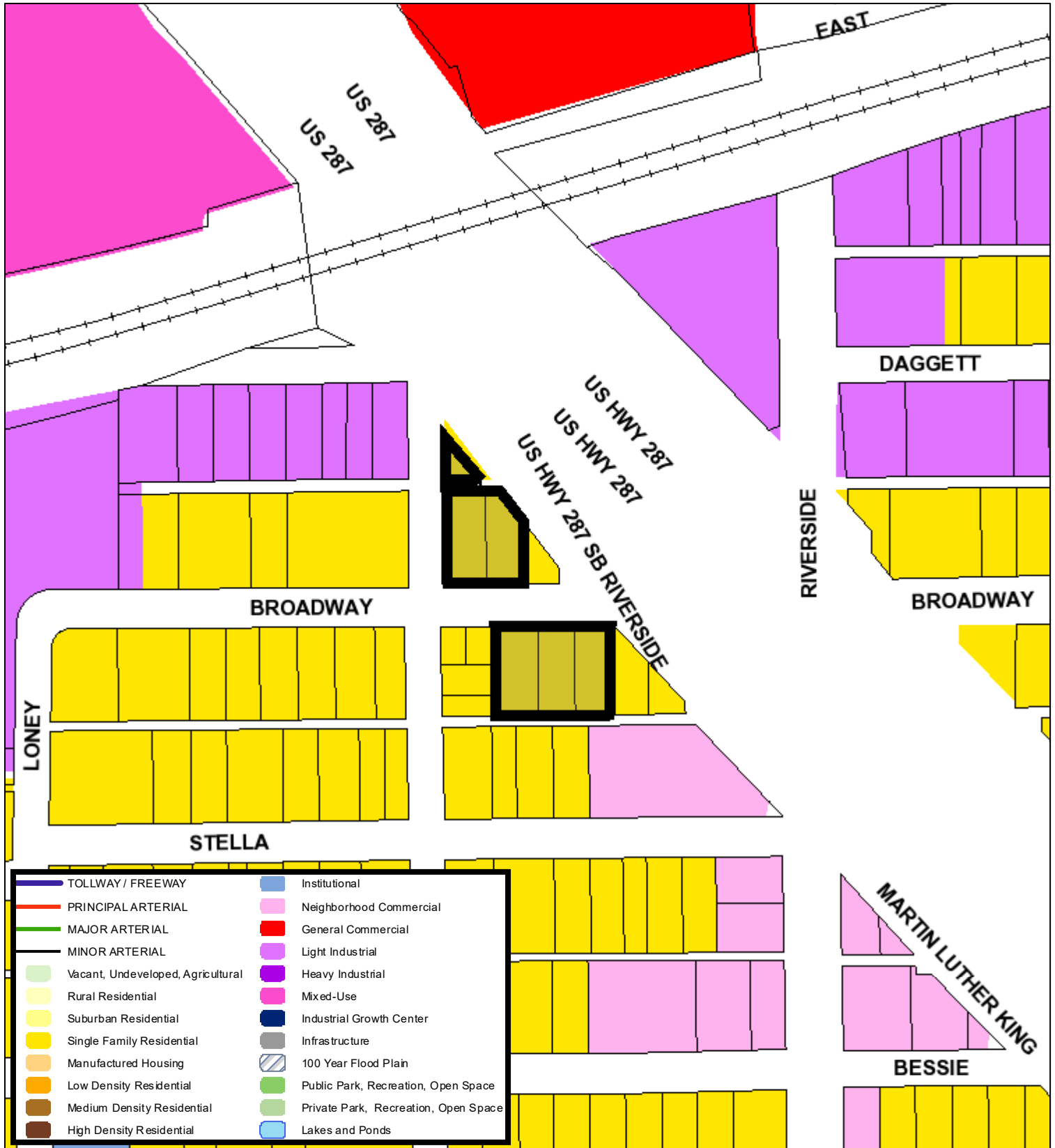
- Airport Overlay District
- I-35W
- TU PERIPHERAL
- DESIGN DISTRICT
- CONSERVATION DISTRICT

Noise Contours

- DECIBEL**
- 65
 - 70
 - 75
 - 80
 - 85



Future Land Use



Aerial Photo Map



0 115 230 460 Feet





Zoning Staff Report

Date: July 10, 2024

Case Number: ZC-24-059

Council District: 3

Zoning Map Amendment

Case Manager: [Stephen Murray](#)

Owner / Applicant: Walsh Ranch Development Company, LLC / Richard Shaheen

Site Location: Northeast corner of IH 20 & FM 1187

Acreage: 78.34

Request

Proposed Use: Commercial

Request: From: “AG” Agricultural

To: “G” Intensive Commercial

Recommendation

Land Use Compatibility: Requested change **is compatible**

Comprehensive Plan Map Consistency: Requested change **is consistent**

Comprehensive Plan Policy Consistency: Requested change **is consistent**

Staff Recommendation: **Approval**

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6. Project Narrative
7. Zoning Map with 300 ft. Notification Area
8. Area Map
9. Future Land Use Map
10. Aerial Photograph

Project Description and Background

The subject site is located near the northeast corner of the intersection of IH 20 and Farmer Road. The applicant is requesting a zoning change from “AG” Agricultural to “G” Intensive Commercial. The applicant has submitted a narrative to support the rezoning request below.

THE PROPERTY IS CURRENTLY ZONED AG IN COMPLIANCE WITH THE LIMITED PURPOSE ANNEXATION ON THE PROPERTY. A REQUEST FOR FULL PURPOSE ANNEXATION IS BEING SUBMITTED IN CONJUNCTION WITH THIS REQUEST TO REZONE.

ANTICIPATED USES FOR THE PROPERTY INCLUDE COMMERCIAL DEVELOPMENT (POTENTIAL FOR ENTERTAINMENT AND EATING, LODGING, OFFICE, RETAIL SALES AND SERVICE, VEHICLE SALES AND SERVICE).

THE PROPERTY IS INCLUDED IN THE WALSH RANCH ECONOMIC DEVELOPMENT AGREEMENT (CONTRACTS 28585 AND 32205) AND WALSH CONCEPT PLAN (CP-10-001) WHICH INDICATES THIS PROPERTY TO BE “RETAIL / BUSINESS”.

THE CITY’S FUTURE LAND USE PLAN INDICATES THIS AREA TO BE “GENERAL COMMERCIAL”.

PROVIDED THAT THE PROPERTY HAS FRONTAGE ON TWO STATE HIGHWAYS, I-20 AND FM 3325, COMMERCIAL USES ARE AN APPROPRIATE ZONING DESIGNATION FOR THIS PROPERTY.

Surrounding Zoning and Land Uses

North PD/A-5” One-Family, “PD/R2 Townhouse/Cluster, “PD/D’ High Density Multifamily, “PD/G” Intensive Commercial and PD/MU-2 High Intensity Mixed-Use with development standards (see docket); site plan waiver requested / undeveloped
East “AG” Agricultural / undeveloped
South “AG” Agricultural / undeveloped
West ETJ / undeveloped

Recent Zoning History

- ZC-23-201 (property to north) – From “G” Intensive Commercial; “D” High Density Multifamily; “R2” Townhome Cluster; “A-5” One-Family to “PD/A-5” One-Family, “PD/R2 Townhouse/Cluster, “PD/D’ High Density Multifamily, “PD/G” Intensive Commercial and PD/MU-2 High Intensity Mixed-Use with development standards (see docket); site plan waiver requested (Approved)

Public Notification

300-foot Legal Notifications were mailed on June 28, 2024.
The following organizations were emailed on June 28, 2024:

Organizations Notified	
Trinity Habitat for Humanity	Aledo ISD

**Located closest to this registered Neighborhood Association*

Development Impact Analysis

Land Use Compatibility

The applicant is proposing a zoning change from “AG” Agriculture to “G” Intensive Commercial. Surrounding land uses are primarily vacant. The proposed site is near the intersection of IH-20. General commercial uses are appropriate near major freeway intersection and will support new residential and commercial development proposed just north of the subject site.

The proposed zoning is **compatible** with surrounding uses.

Comprehensive Plan Consistency – Far West

The adopted Comprehensive Plan designates the subject property as General Commercial. The proposed zoning is **consistent** with the Comprehensive Plan future land use map and the policies below.

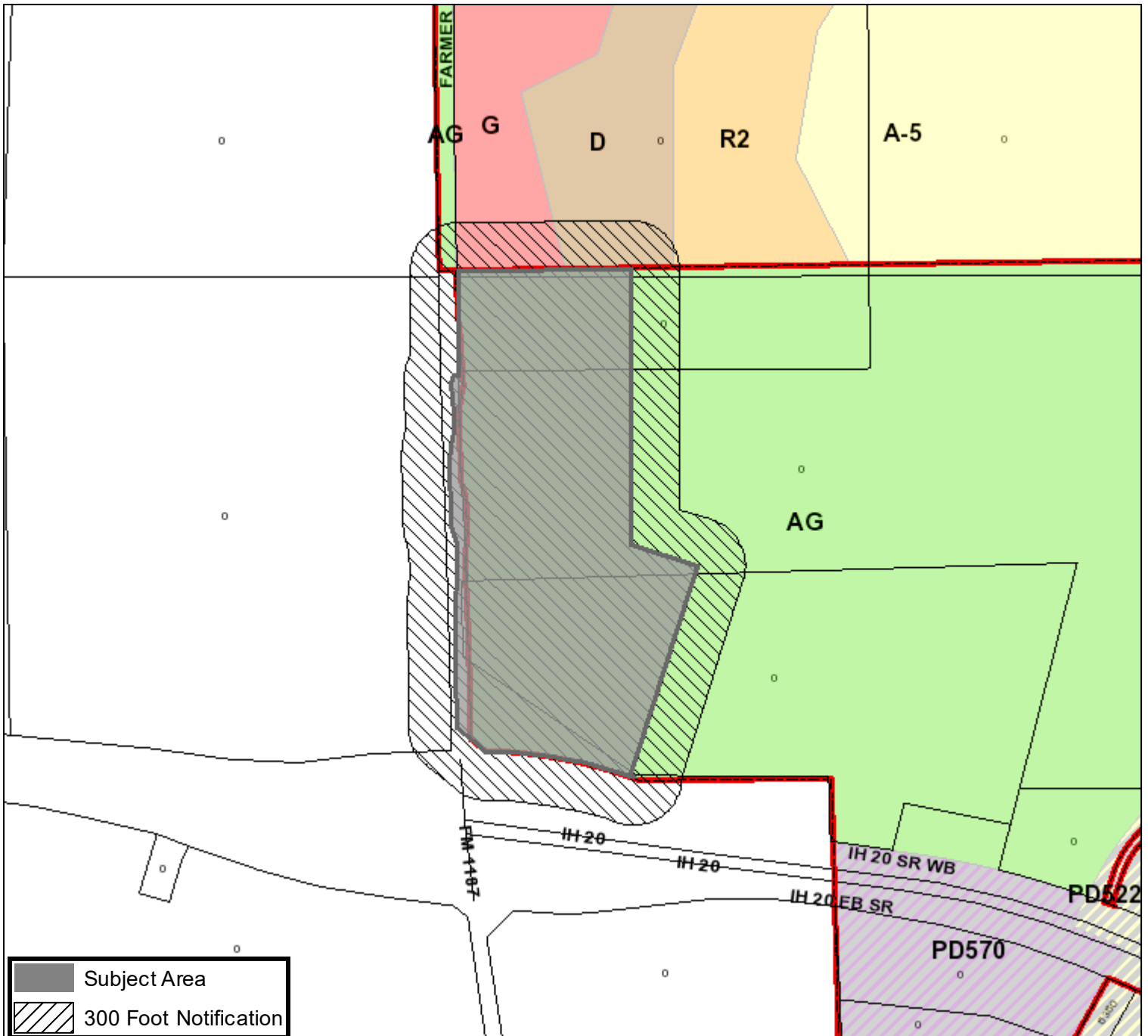
- Locate large commercial and institutional uses adjacent to arterial streets, preferably at the intersections of other arterials and highways.
- Promote commercial, mixed-use, and urban residential development within the Walsh Ranch Mixed-Use Growth Center.



ZC-24-059

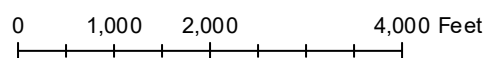
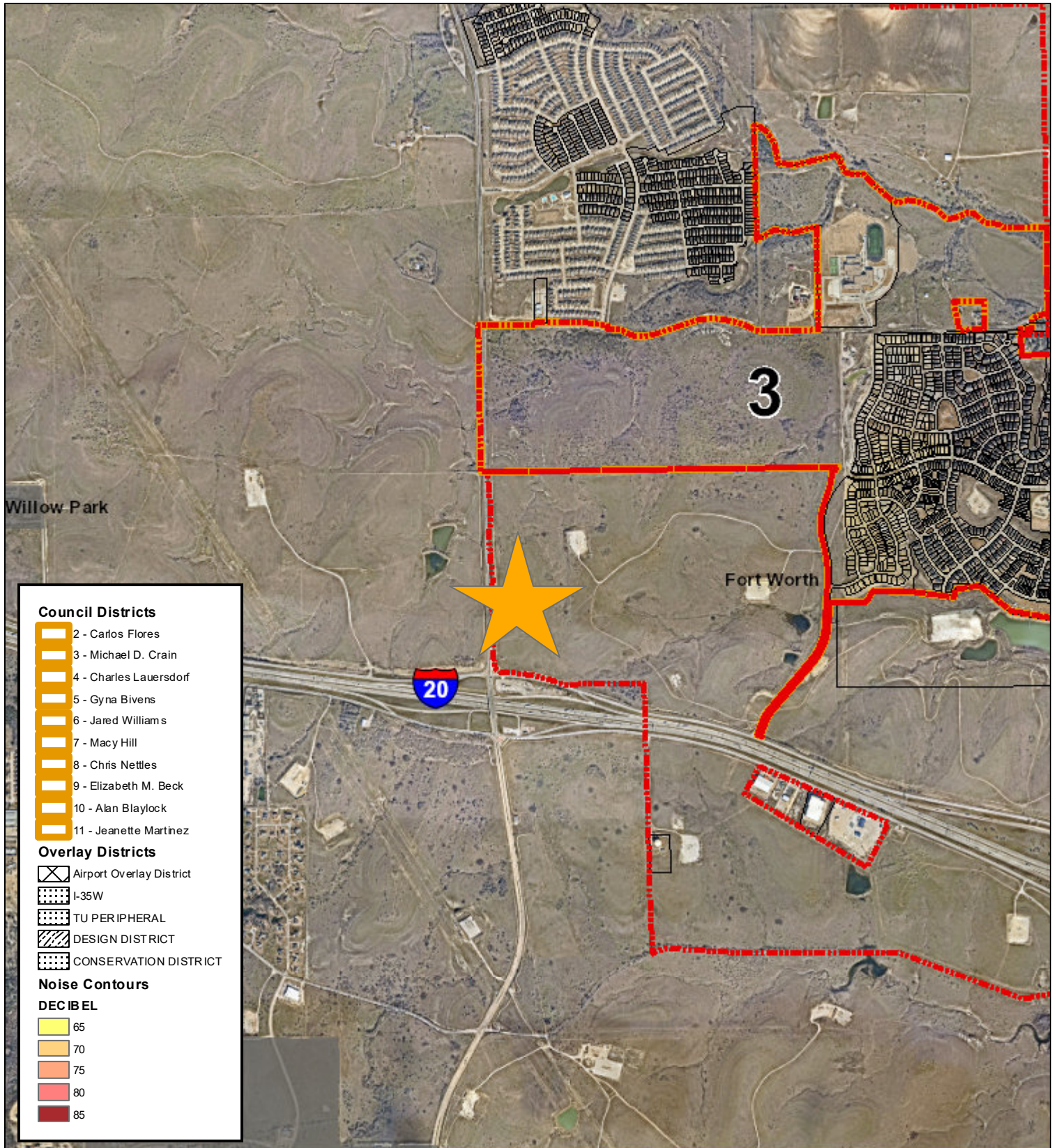
Area Zoning Map

Applicant: null
 Address: null
 Zoning From: null
 Zoning To: null
 Acres: 66.88711802
 Mapsco: Text
 Sector/District: Far_West
 Commission Date: 7/10/2024
 Contact: null

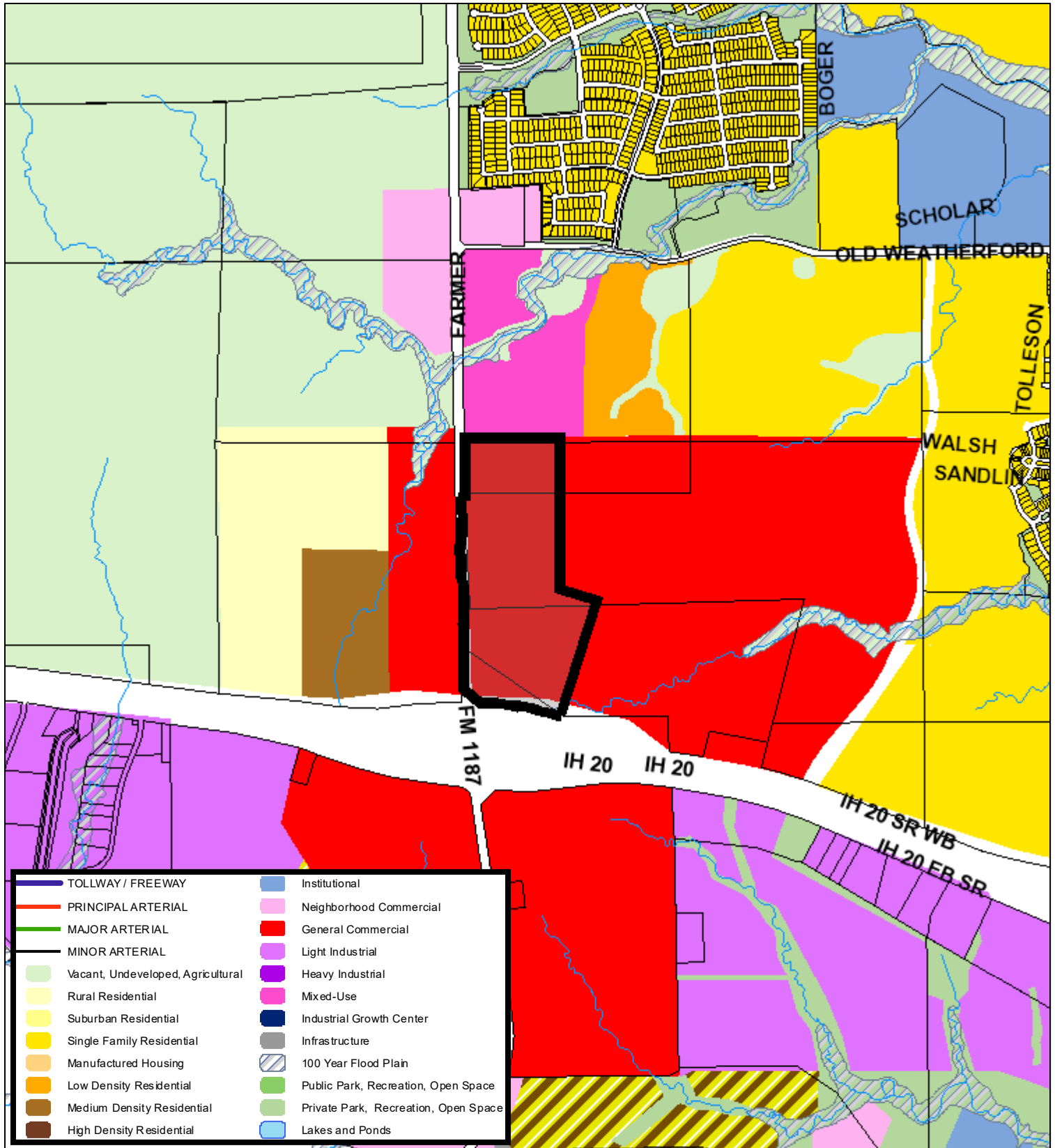


0 437.5 875 1,750 Feet

Area Map

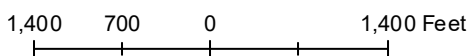


Future Land Use



 TOLLWAY / FREEWAY	 Institutional
 PRINCIPAL ARTERIAL	 Neighborhood Commercial
 MAJOR ARTERIAL	 General Commercial
 MINOR ARTERIAL	 Light Industrial
 Vacant, Undeveloped, Agricultural	 Heavy Industrial
 Rural Residential	 Mixed-Use
 Suburban Residential	 Industrial Growth Center
 Single Family Residential	 Infrastructure
 Manufactured Housing	 100 Year Flood Plain
 Low Density Residential	 Public Park, Recreation, Open Space
 Medium Density Residential	 Private Park, Recreation, Open Space
 High Density Residential	 Lakes and Ponds

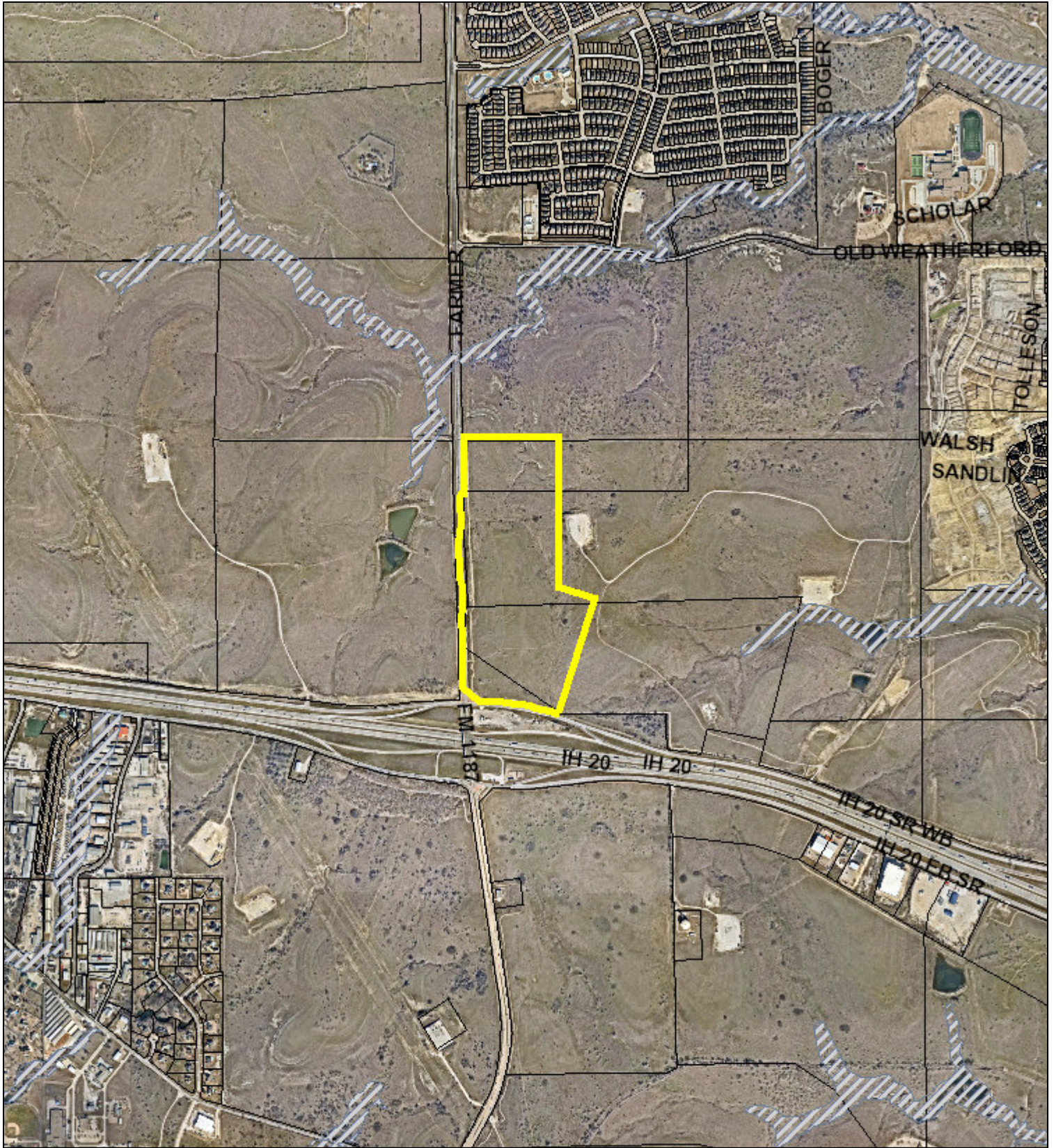
1,400 700 0 1,400 Feet



A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



Aerial Photo Map



0 900 1,800 3,600 Feet





Zoning Staff Report

Date: July 10, 2024

Case Number: ZC-24-060

Council District: 5

Zoning Map Amendment

Case Manager: [Alondra Salas-Beltré](#)

Owner / Applicant: Sears Henderson Holdings

Site Location: 3125 Vine Street

Acreage: 1.05 acre

Request

Proposed Use: Single Family Residential

Request: From: “AG” Agricultural

To: “A-5” One-Family Residential

Recommendation

Land Use Compatibility: Requested change **is compatible**

Comprehensive Plan Map Consistency: Requested change **is not consistent (Technical Inconsistency)**

Comprehensive Plan Policy Consistency: Requested change **is consistent**

Staff Recommendation: **Approval**

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 - b. [Comprehensive Plan Consistency](#)
6. Zoning Map with 300 ft. Notification Area
7. Area Map
8. Future Land Use Map
9. Aerial Photograph

Project Description and Background

The subject site is located in the Mosier Valley area of Fort Worth in Council District 5. The proposal to rezone this lot would change the current “AG” Agricultural zoning to “A-5” One-Family Residential zoning to accommodate construction of a single family residence. “AG” zoning has been in place since at least 2004. The property is currently undeveloped. A narrative from the application, provided by the applicant, is included below:

3125 VINE STREET IS CURRENTLY ZONED "AG" AGRICULTURAL AND WE WOULD LIKE TO REZONE THIS PROPERTY TO "A-5" SINGLE FAMILY ZONING.

PROPOSED USE OF "A-5" SINGLE FAMILY ZONING WILL BE FOR THE CONSTRUCTION OF TWO AFFORDABLE HOUSING SINGLE FAMILY DETACHED DWELLINGS. (AFTER REZONING TO "A-5" WE WILL HAVE THE PARCEL RE-PLATTED INTO TWO SEPARATE LOTS WITH 100 FT AND 105 FT STREET FRONTAGE RESPECTIVELY.)

"A-5" ZONING FOR AFFORDABLE SINGLE-FAMILY HOMES IS COMPATIBLE WITH THE SURROUNDING LAND USE. ALMOST ALL ADJACENT PROPERTIES TO OUR PARCEL ARE NOW ZONED "A-5" SINGLE FAMILY ZONING, WITH ALL HAVING BEEN REZONED FROM "AG" TO "A-5". THE LAST REZONING APPROVAL WAS AS RECENT AS LATE LAST YEAR FOR THE PROPERTY AT 3120 VINE STREET - DIRECTLY ACROSS FROM OUR PROPERTY AT 3125 VINE STREET.

THIS USE IS ALSO COMPATIBLE WITH THE CITY'S COMPREHENSIVE PLAN AS THE NEWLY ADAPTED 2023 PLAN STATES THAT FORT WORTH HAS MORE VACANT DEVELOPABLE LAND (OVER 66,000 ACRES) THAN ANY OTHER CITY IN THE DALLAS-FORT WORTH METRO AREA.

FORT WORTH IS ONE OF THE FASTEST GROWING AMONGST THE 20 LARGEST U.S. CITIES. FROM 2010 TO 2020, FORT WORTH PERMITTED ALMOST 44,000 NEW SINGLE-FAMILY HOUSING UNITS WITH SLIGHTLY OVER HALF OF THAT TOAL OCCURING JUST SINCE THE BEGINNING OF 2017. FACTORS THAT INFLUENCE LAND USE ARE POPULATION GROWTH AND HOUSING DEMAND. AS THE POPULATION GROWS AND THE COST AND INTEREST RATES CONTINUE TO INCREASE, THE DEMAND FOR AFFORDABLE RESIDENTIAL UNITS IS AT AN ALL TIME HIGH.

Surrounding Zoning and Land Uses

North “A-5” One-Family Residential / residential
East “AG” Agricultural / undeveloped
South “AG” Agricultural / undeveloped
West “AG” Agricultural / residential

Recent Zoning History

- ZC-23-160 from AG to A-5 Approved

Public Notification

300-foot Legal Notifications were mailed on June 28, 2024.
The following organizations were emailed on June 28, 2024:

Organizations Notified	
East Fort Worth Inc.	Hurst Euless Bedford ISD
Streams & Valleys Inc	Trinity Habitat for Humanity

Development Impact Analysis

**Not located within a registered Neighborhood Association*

Land Use Compatibility

The proposed rezoning of the lot to "A-5" One-Family Residential is consistent with the existing single-family homes zoned "A-5" to the north. Nearly all adjacent properties are currently zoned "A-5" single-family zoning, with the most recent rezoning approval being granted last year for the property at 3120 Vine Street, directly across from the site. Vine Street is a residential street, and given the surrounding land uses, residential construction would be appropriate here. The proposed rezoning aligns with the neighborhood's character and is **compatible** with the surrounding land uses.

Comprehensive Plan Consistency – Eastside

The 2023 Comprehensive Plan currently designates the subject property as future rural residential. The zoning types that would be compatible with this future land use designation are "A-2.5A" or "A-43", which are larger lots of 1 to 2.5 acres each. "A-5" zoning as requested, would require that the future land use designation be single-family residential. The difference between rural residential and single-family residential are purely based on lot size, though both categories are residential in nature. Thus, the case is assessed as a technical inconsistency.

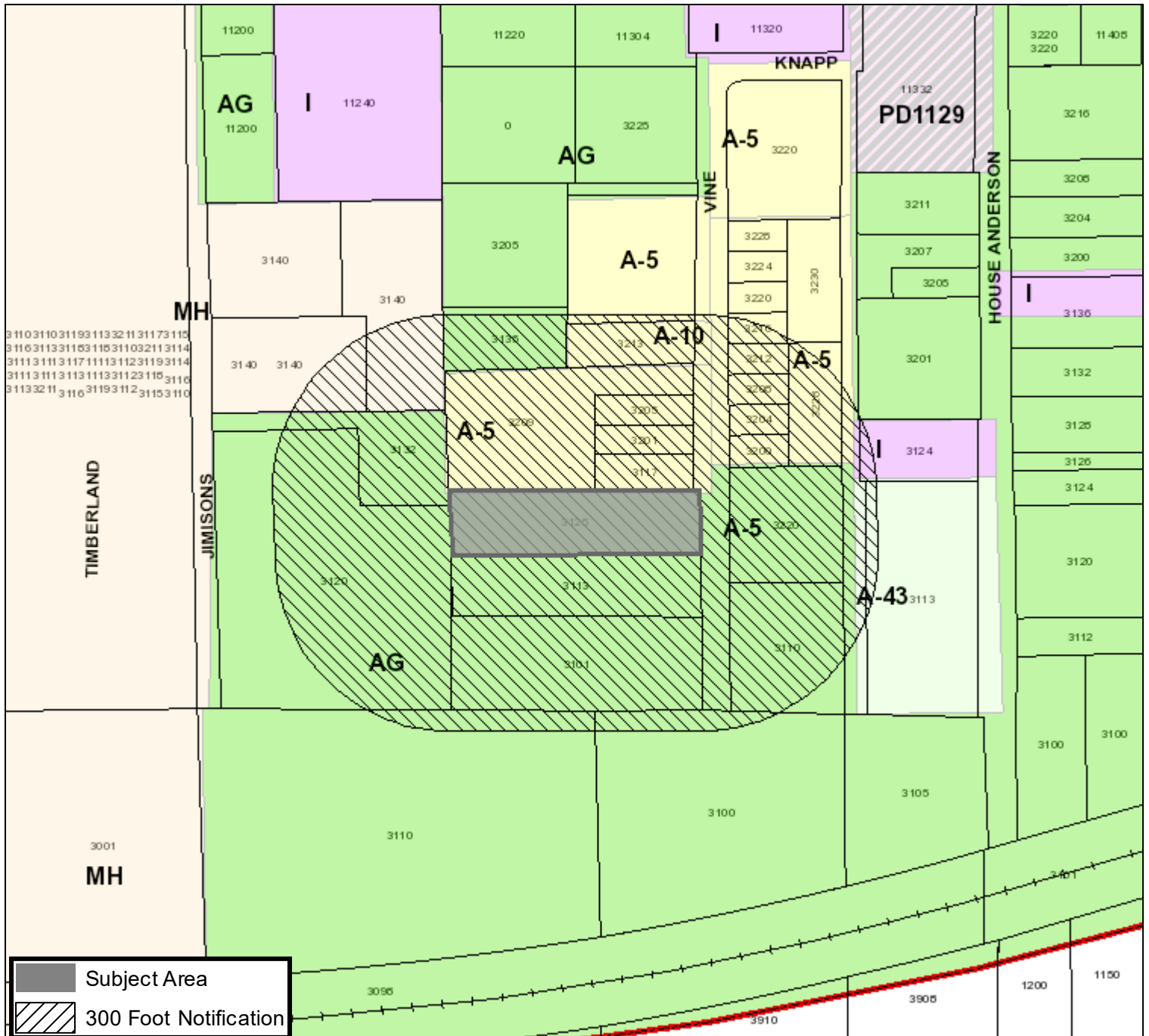
RESIDENTIAL		
Rural Residential	1+ acre single-family	A-2.5A, A-43
Suburban Residential	1/2+ acre single-family	A-21
Single-Family Residential	3,500+ sq. ft. lot single-family	A-10, A-7.5, A-5, AR



The proposed zoning is **not consistent (technical inconsistency)** with the Comprehensive Plan. If this zoning change request is approved, staff recommends that the Future Land Use Map also be updated to reflect this change. But, it is consistent with the following policies of the comprehensive plan:

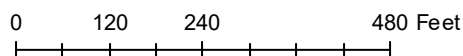
- Encourage new development adjacent and connected to previously developed or platted areas in order to utilize existing utility and road infrastructure and services, thereby optimizing public and private investments and discouraging sprawl development.
- Encourage infill of compatible housing.

Area Zoning Map

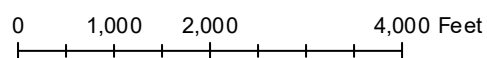
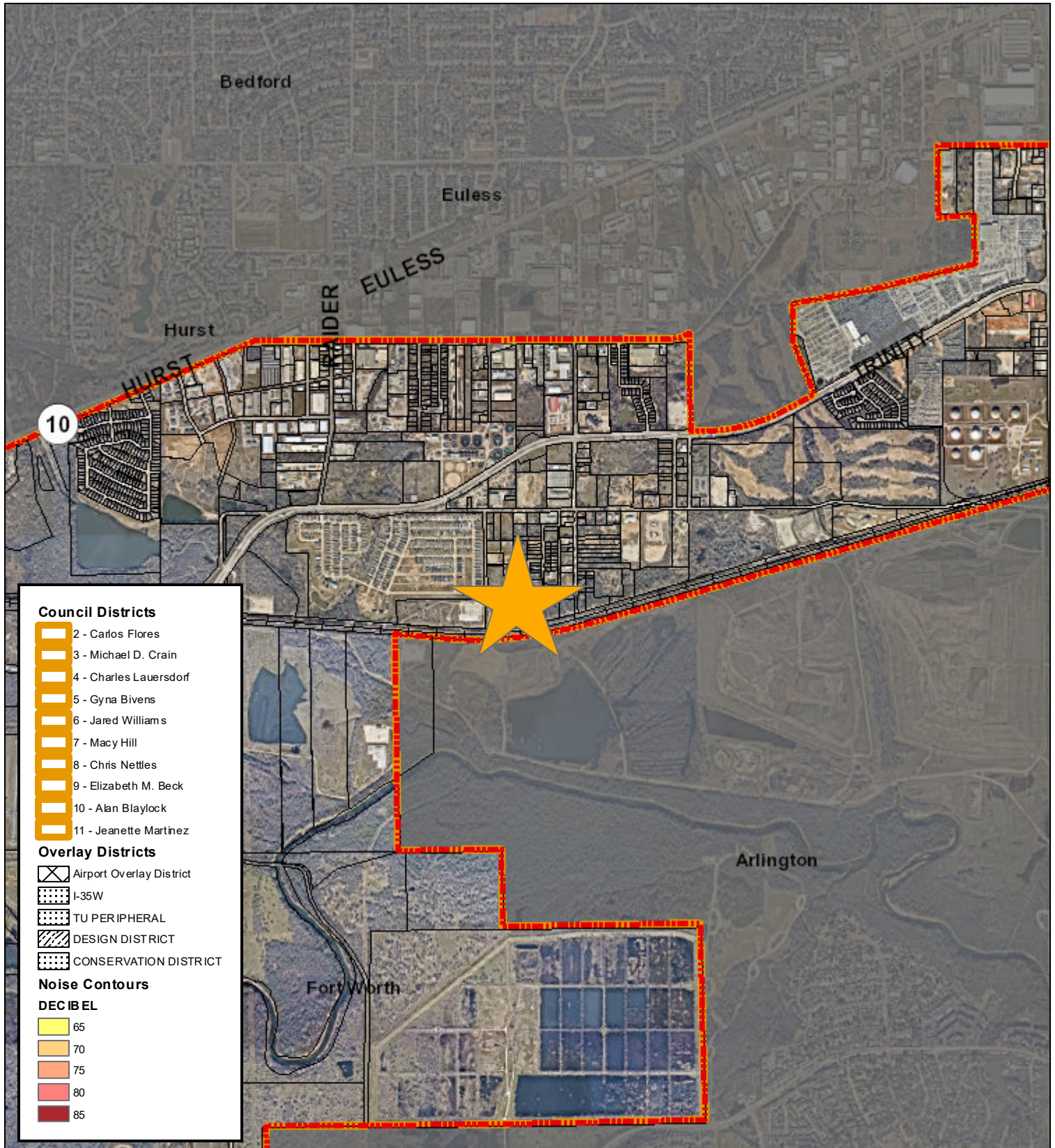
Applicant: Sears Henderson Holdings
 Address: 3125 Vine Street
 Zoning From: AG
 Zoning To: A-5
 Acres: 1.05326396
 Mapsco: Text
 Sector/District: Eastside
 Commission Date: 7/10/2024
 Contact: 817-392-2495



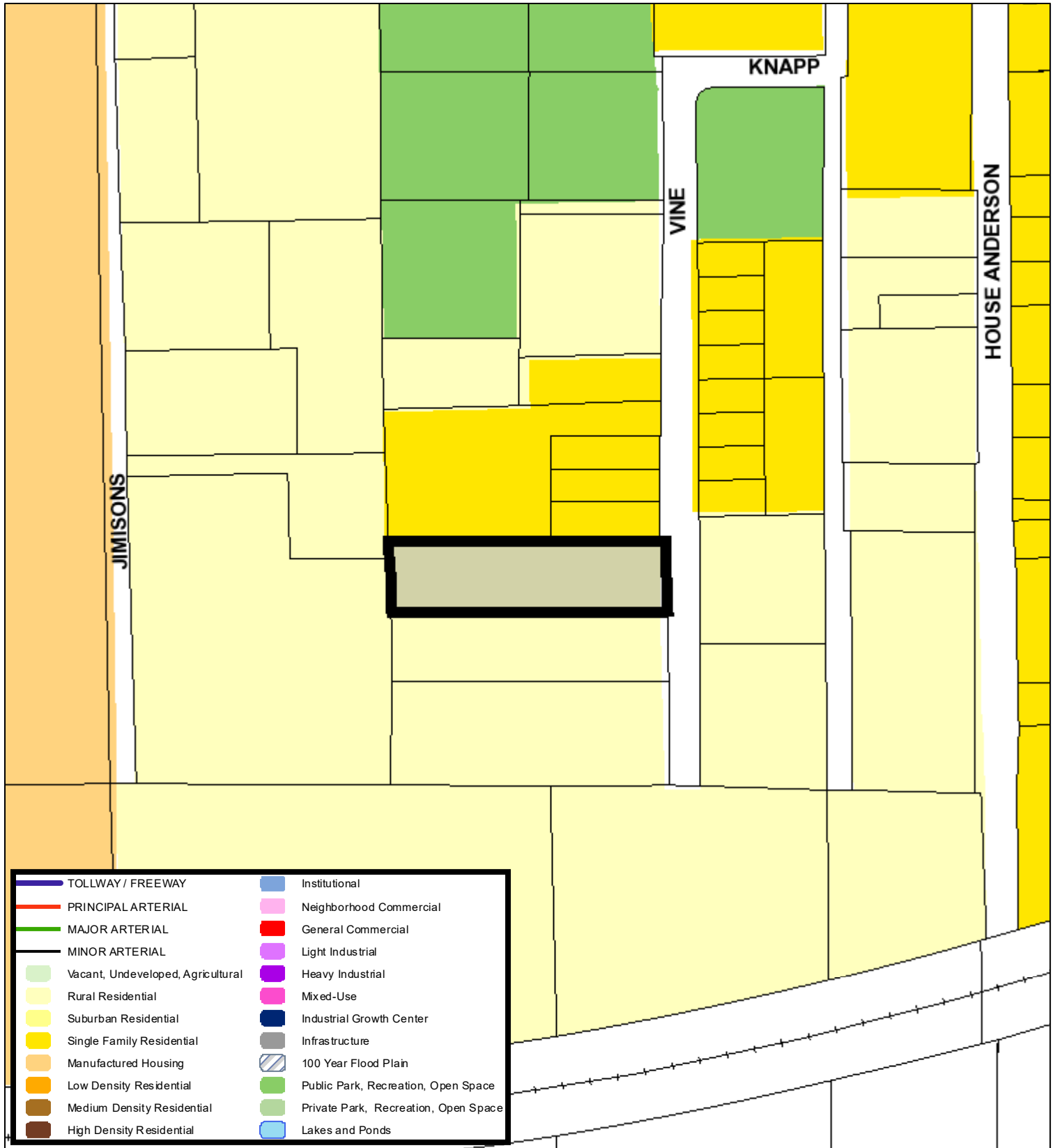
	Subject Area
	300 Foot Notification



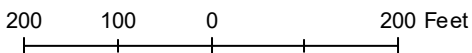
Area Map



Future Land Use



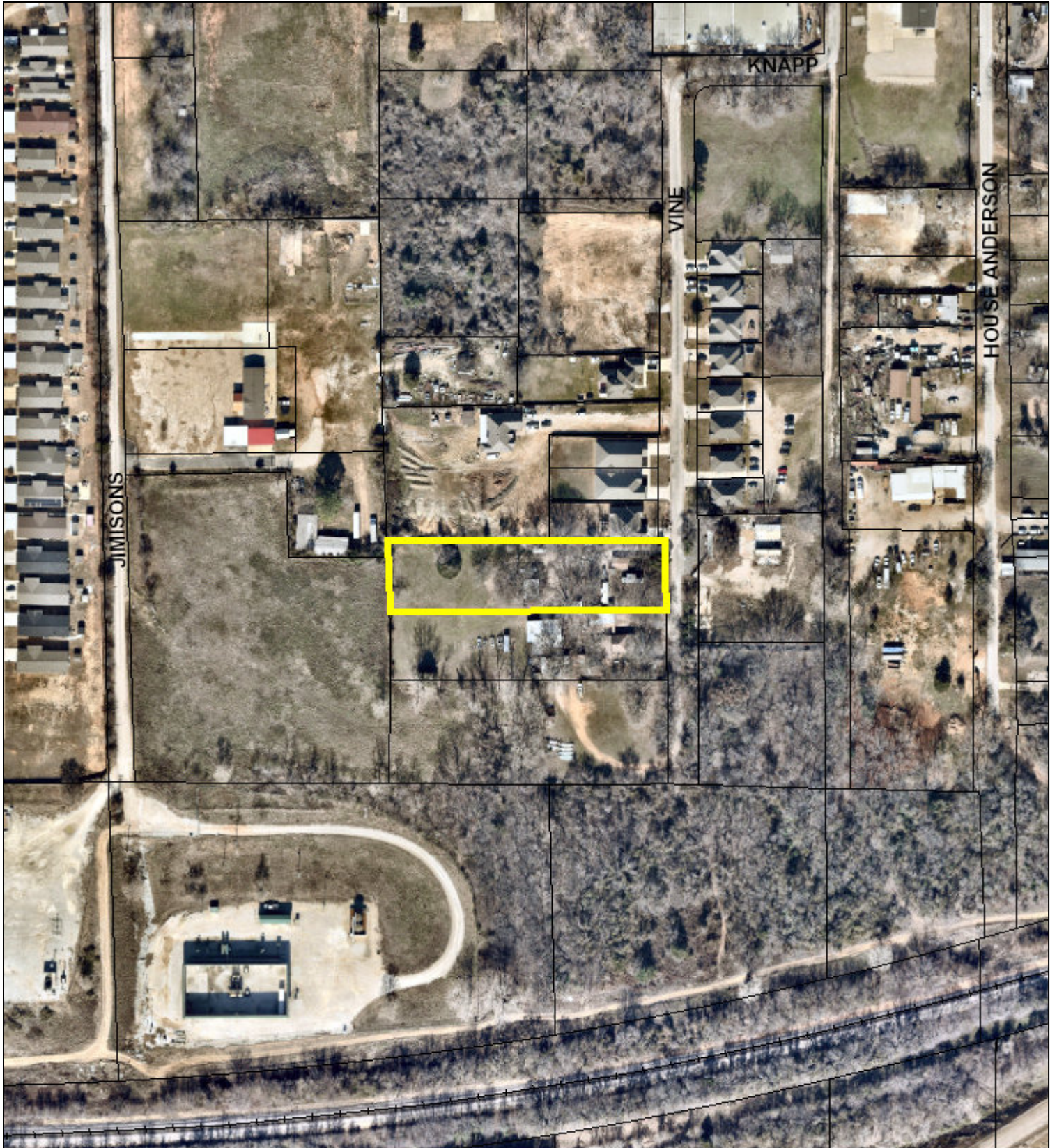
	TOLLWAY / FREEWAY		Institutional
	PRINCIPAL ARTERIAL		Neighborhood Commercial
	MAJOR ARTERIAL		General Commercial
	MINOR ARTERIAL		Light Industrial
	Vacant, Undeveloped, Agricultural		Heavy Industrial
	Rural Residential		Mixed-Use
	Suburban Residential		Industrial Growth Center
	Single Family Residential		Infrastructure
	Manufactured Housing		100 Year Flood Plain
	Low Density Residential		Public Park, Recreation, Open Space
	Medium Density Residential		Private Park, Recreation, Open Space
	High Density Residential		Lakes and Ponds



A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



Aerial Photo Map



0 130 260 520 Feet





Zoning Staff Report

Date: July 10, 2024

Case Number: ZC-24-062

District: 7

Zoning Map Amendment & Site Plan

Case Manager: [Alondra Salas-Beltré](#)

Owner / Applicant: Charlotte A. Walker Voss/Lindsay Jones/Darin Norman

Site Location: 4937 El Campo Avenue

Acreage: 0.16 acres

Request

Proposed Use: Auxiliary parking lot

Request: From: “C” Medium-Density Residential

To: Add Conditional Use Permit (CUP) to allow an auxiliary parking lot in “C” Medium-Density Residential; site plan included.

Recommendation

Land Use Compatibility: Requested change **compatible**

Comprehensive Plan Map Consistency: Requested change **not consistent**

Comprehensive Plan Policy Consistency: Requested change **consistent**

Staff Recommendation: **Approval subject to a five-year expiration date**

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 - b. [Comprehensive Plan Consistency](#)
 - c. [Site Plan Comments](#)
6. Zoning Map with 300 ft. Notification Area
7. Site Plan
8. Area Map
9. Future Land Use Map
10. Aerial Photograph

Project Description and Background

The property is situated at the southeast corner of El Campo Avenue and Penticost Street, within the Arlington Heights Neighborhood. The property has been vacant for decades, indicating a lack of interest in its development. The property owner is seeking approval to establish an auxiliary parking lot at this location, and a site plan has been submitted for review.

Auxiliary parking lots are only allowed in residential zoning districts through the Conditional Use Permit (CUP) process. The property owner has applied for a CUP to establish an auxiliary parking lot in the "C" district, specifically on an approximately 7,000 sq. ft. lot. The proposed parking spaces are located on the eastern side of the lot, with a driveway running from north to south.

Conditional uses, such as auxiliary parking lots, undergo a comprehensive review of their proposed location, design, and configuration to ensure their compatibility with the permitted land uses in the given zoning district. The subject property and the surrounding properties in the block are designated as Medium-Density Residential. To the south, properties are zoned and developed as single-family, while commercial uses begin to the west.

The proposed parking lot aims to provide parking for employees of businesses located at 5013, 5015, and 5017 El Campo Drive. This arrangement would allow patrons to use existing parking at those businesses. Although an auxiliary parking lot is not permitted in the "C" zoning district by right, approving it through the CUP process with a site plan may address any neighborhood concerns and provide recourse for revocation in case of code violations.

Considering its proximity to residential areas, a screening fence or additional landscaping is required. The site plan features ten parking spaces, and the Zoning Ordinance necessitates the lot to be chained and locked overnight, in addition to requiring additional landscaping and a screening fence on the rear property line because of its adjacency to a residential lot across the alley.

Through Ordinance 23609 effective March 29, 2019, the Conditional Use Permit allows for an unlimited time period for the operation of a use unless otherwise approved by the City Council. If a time limit is established for a Conditional Use Permit, the renewal of the CUP shall be considered through the public hearing process and approved by the City Council. A CUP shall expire if no permitting action is taken within six months of approval or cease of the use for six months. A CUP may be revoked through the public hearing process if necessary after convictions of one or more code violations.

Surrounding Zoning and Land Uses

North "C" Medium-density residential / Multifamily complex
East "C" Medium-density residential / Single family use
South "A-5" One-family residential / Single family use
West "FR" General Commercial Restricted / offices and other commercial uses

Recent Zoning History

- None

Public Notification

300-foot Legal Notifications were mailed on June 28, 2024.

The following organizations were notified: (emailed June 28, 2024)

Organizations Notified	
West Side Alliance	Crestline Area NA
Sunset Heights NA	West Byers NA
Como NAC	Streams and Valleys Inc
Arlington Heights NA*	Trinity Habitat for Humanity
Alamo Heights NA	Fort Worth ISD
Northcrest NA	Camp Bowie District, Inc

* *This Neighborhood Association covers the subject property.*

Development Impact Analysis

Land Use Compatibility

The applicant requests a zoning change to include a Conditional Use Permit (CUP) for an additional parking lot in the "C" zoning district. The site is situated on the border of the residential district, adjacent to the commercial district in the west. This area is facing a severe shortage of parking spaces, leading to insufficient parking for both the current businesses and the multifamily residences. The proposed parking lot is intended to alleviate some of these parking issues by providing employee parking to some of the businesses in the area.

The proposed zoning change for commercial uses **is compatible** with the surrounding uses.

Comprehensive Plan Consistency – Arlington Heights

The 2023 Comprehensive Plan currently designates the subject property as single family residential. The proposed zoning **is not consistent** with the land use designations for this area, however, it is consistent with the following policies of the Comprehensive Plan:

- Encourage compatible development between residential and commercial properties.

Zoning and Land Use

The site plan as submitted is in general compliance with the Zoning Ordinance regulations.

1. Add the zoning case number in the lower right corner to ZC-24-062.
2. The rear yard is required to have a **5-foot landscaping buffer** and screening fence (provided). Either revise the site plan or **request a development waiver in bold font in the notes section.**

Fire

1. There are no Fire Code requirements since the lot is already platted and as long as no structures are proposed.

Stormwater

Contact: sds@fortworthtexas.gov

Site is within a City Flood Risk Area per SWS-052 WAH Pershing City Study. There is potential high water that can exceed 2 ft of depth located along Penticost St and El Camp Ave surrounding the lot.

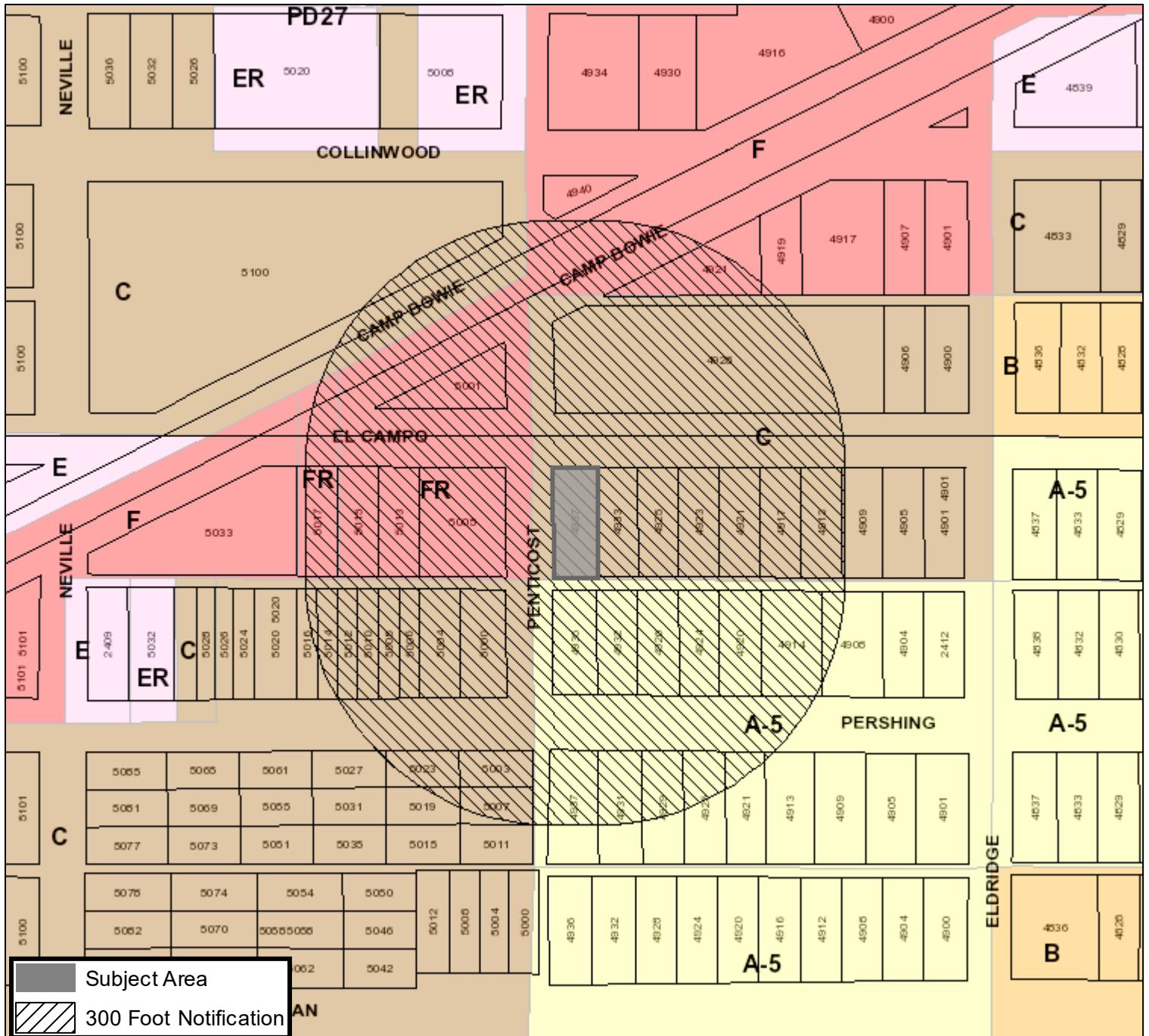
No FEMA Floodplain in the vicinity. Storm Infrastructure is located along Penticost St & El Campo Ave per TPW Plan Sets S-0225, S-2105, K-1560, K-2146.

(Comments made by Platting (Subdivision Ordinance), Transportation/Public Works, Fire, Park & Recreation, and Water Department staff cannot be waived through the Zoning Commission and City Council. Approval of the zoning site plan does not constitute the acceptance of conditions.)

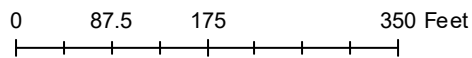


Area Zoning Map

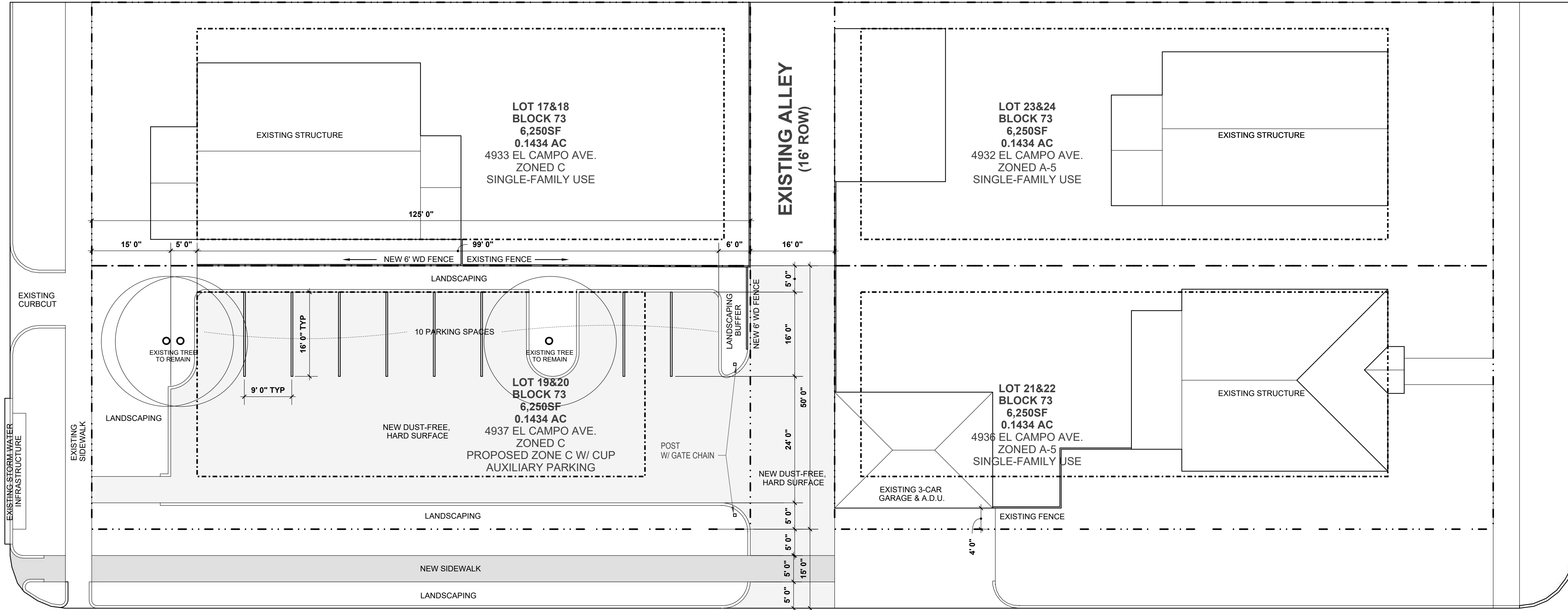
Applicant: Charlotte Voss
 Address: 4937 El Campo Drive
 Zoning From: C
 Zoning To: To Add a Conditional Use Permit for Parking
 Acres: 0.16266046
 Mapsco: Text
 Sector/District: Arlington_Heights
 Commission Date: 7/10/2024
 Contact: 817-392-2495



	Subject Area
	300 Foot Notification



EL CAMPO AVE.
80' ROW



1 SITE PLAN - OPTION A
SCALE :: 3/32" = 1'-0"

PENTICOST ST.
(60' ROW)

GENERAL NOTES

THIS PROJECT WILL COMPLY WITH SECTION 6.301 LANDSCAPING.

THIS PROJECT WILL COMPLY WITH SECTION 6.302, URBAN FORESTRY.

ALL SIGNAGE WILL CONFORM TO ARTICLE 4, SINGS.

ALL PROVIDED LIGHTING WILL CONFORM TO THE LIGHTING CODE.

LEGAL DESCRIPTION

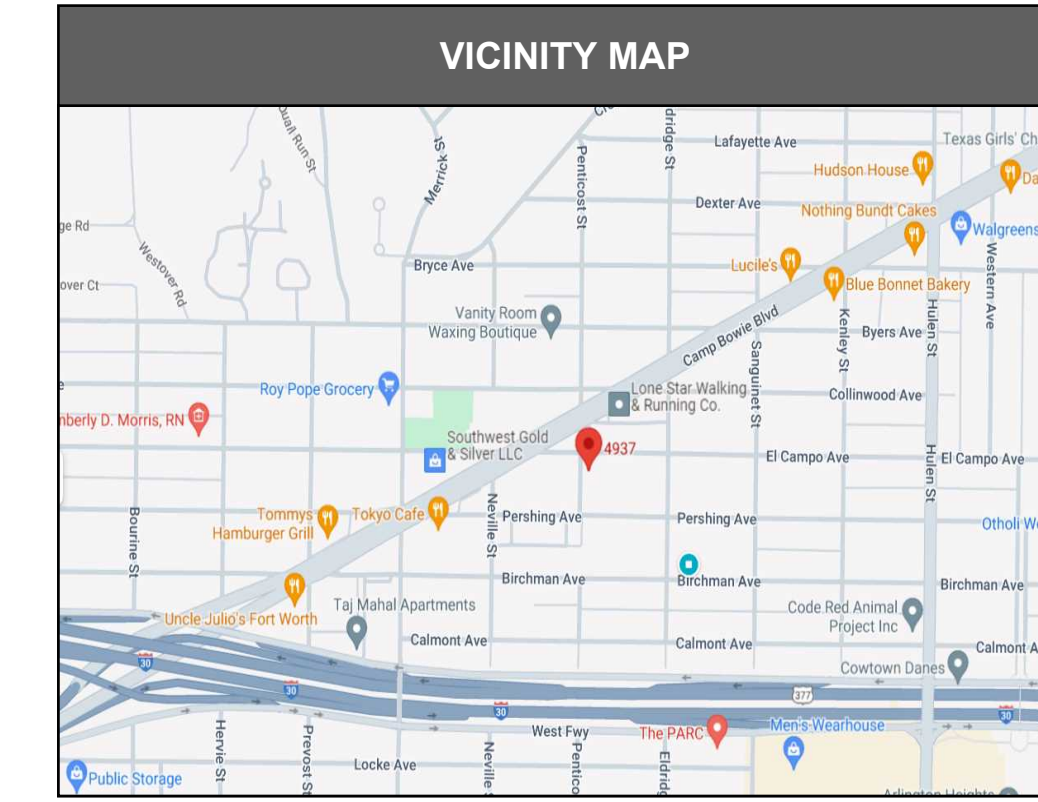
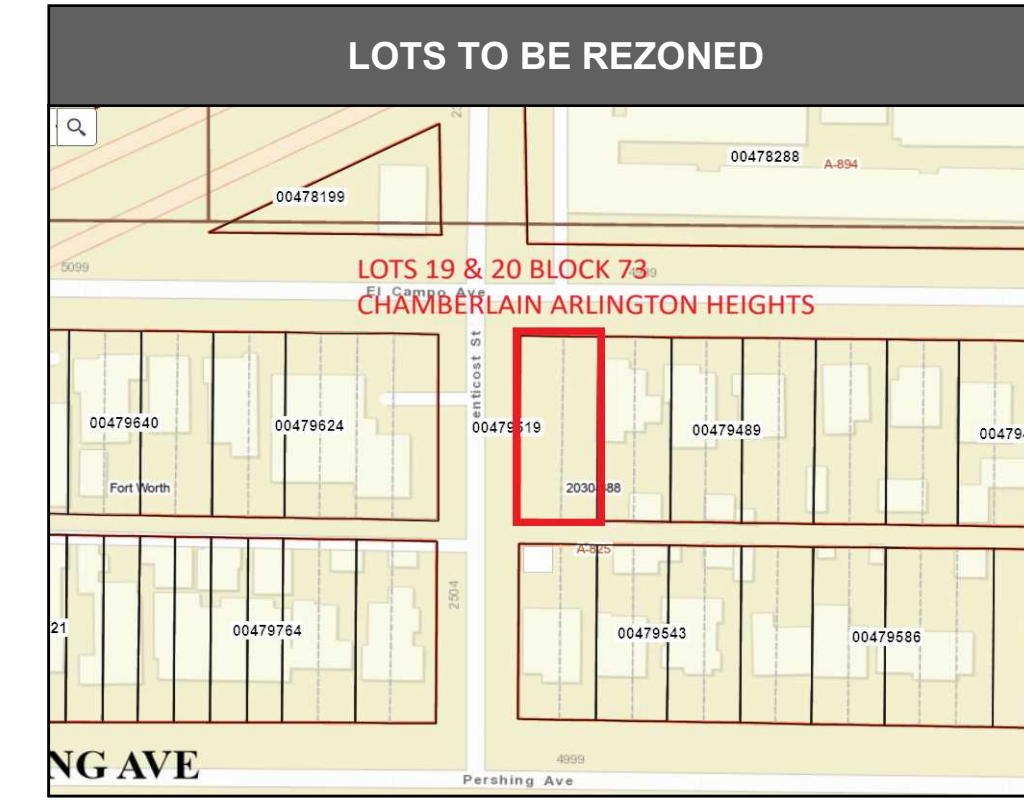
LOT 19&20, BLOCK 73 OF THE CHAMBERLAIN ARLINGTON HEIGHTS FIRST FILING ADDITION TO THE CITY OF FORT WORTH, COUNTY OF TARRANT, TX. ACCORDING TO THE PLAT RECORDED THEREOF IN VOLUME 10571 PAGE 14 PLAT RECORDS OF TARRANT COUNTY.

LINE-TYPE KEY

---	PROPERTY LINE
.....	EASMENT/SETBACK
- - - - -	WATERLINE
.....	SANITARY SEWER
---	GAS
.....	ELECTRICAL
- - - - -	CABLE/TELECOM
.....	TOPOGRAPHIC LINES

4937 EL CAMPO AUX PARKING PROJECT

SITE PLAN REVISION:	7/03/24
PREPARED BY:	DARIN NORMAN ARCHITECTURE 2013 THOMAS PLACE FORT WORTH, TX 76107 817-789-5513
ZC-24-062	SP-
DIRECTOR OF DEVELOPMENT SERVICES	
DATE	



DARIN NORMAN ARCHITECTURE
3108 W. 6TH ST. #108
Fort Worth, TX 76107
817-789-5513 m
darin@urbanworthco.com
www.urbanworthco.com

"These documents are incomplete and for interim review only. They are not to be used for regulatory approval, permit, or construction."
Architect: Darin Norman
Reg. no. 19154

AGENT:
Darin Norman
Urbanworth, LLC
Darin Norman
Architect
3108 W. 6th St.
Fort Worth, TX 76107
817-789-5513
darin@urbanworthco.com

DEVELOPER:
Holly Miller Properties, LLC
Lindsay Jones
5015 El Campo Ave.
Fort Worth, TX 76107
214-995-3395
lindsay@theplayspacefw.com

4937 EL CAMPO AVE. REZONE

OWNER:
Charlotte Voss
630 N Hollywood Way, Apt 110
Burbank, CA 91505-3170
817-905-7719
charlotte@gmail.com

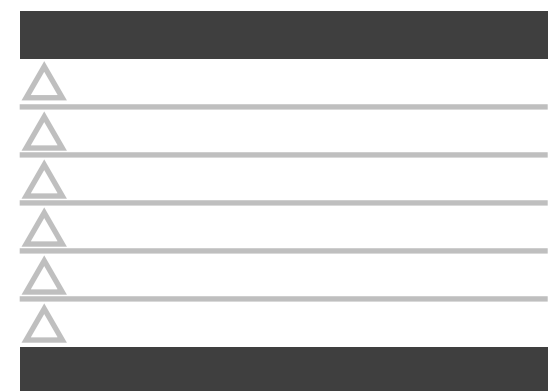
DOCUMENT DATE:
July 3, 2024

JOB#:
2024-005 Zone

4917 El Campo Ave.
Fort Worth, TX :: 76107

DRAWN BY:
Darin Norman

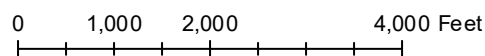
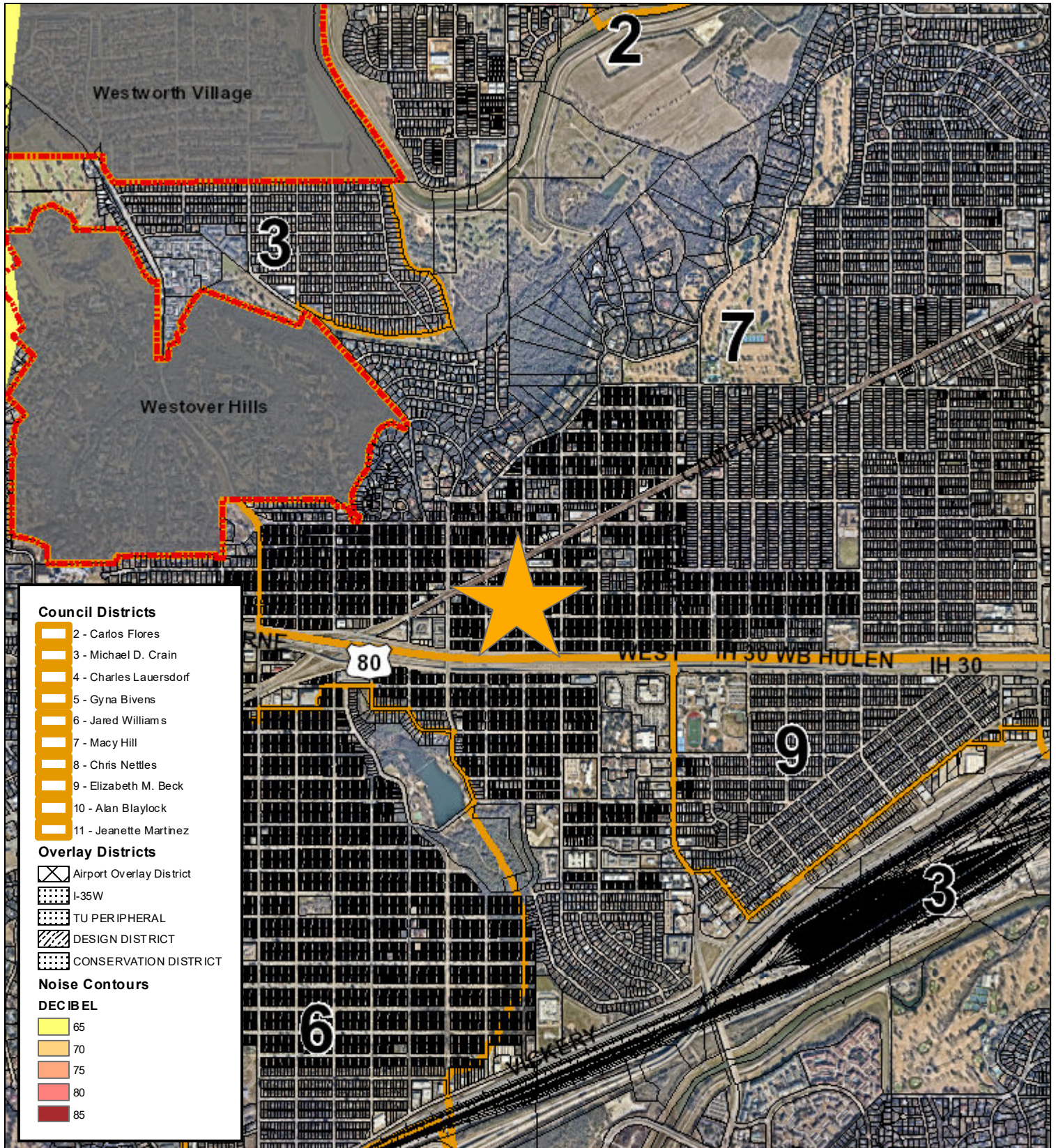
CHECKED BY:
Darin Norman



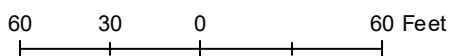
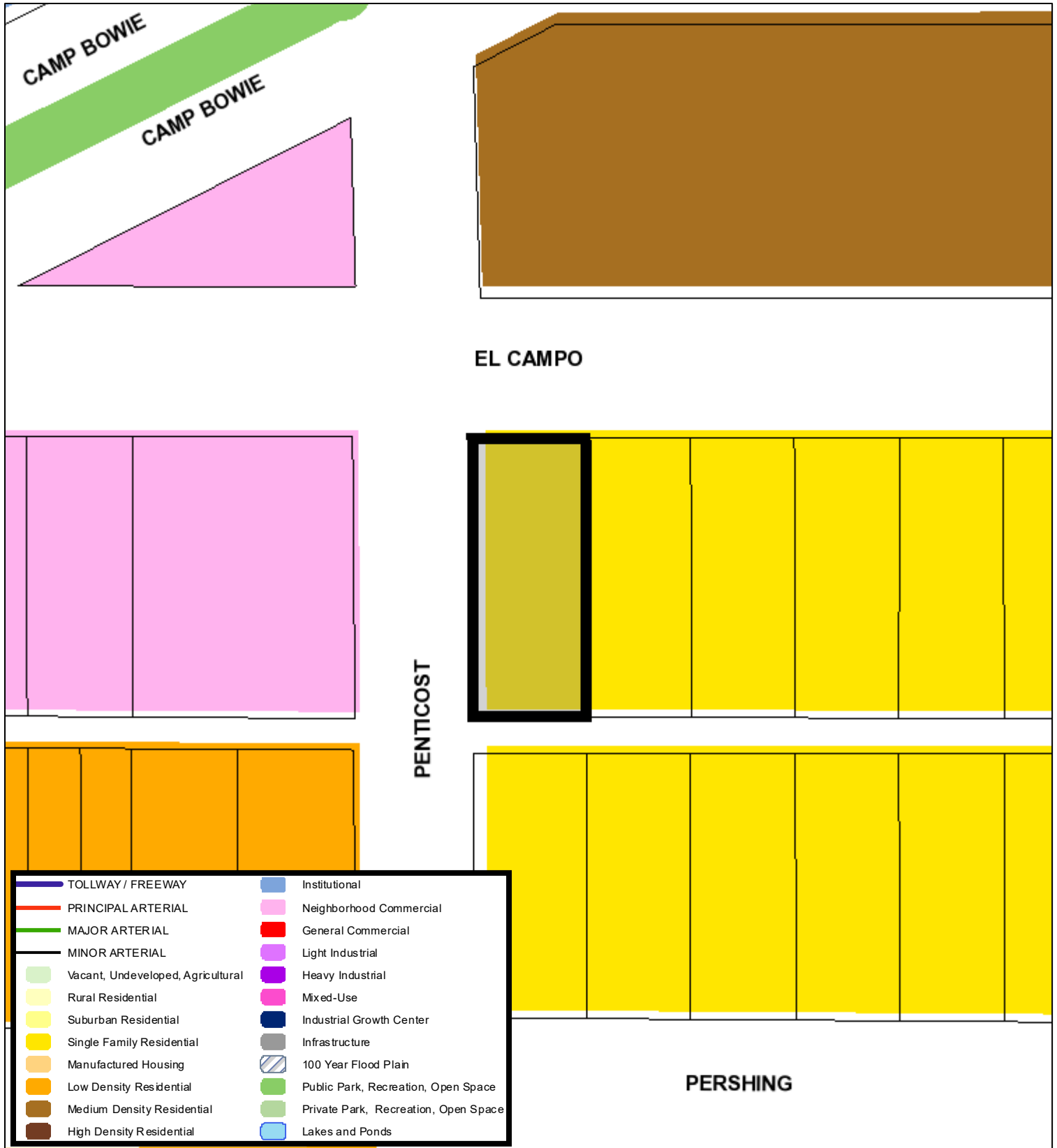
A01

SITE PLAN

Area Map



Future Land Use



Aerial Photo Map



0 40 80 160 Feet





Zoning Staff Report

Date: July 10, 2024

Case Number: ZC-24-064

Council District: 10

Zoning Map Amendment & Site Plan

Case Manager: [Sandy Michel](#)

Owner / Applicant: Anthony Pasqua /Mike Clark-Winkelmann & Associates, Inc.

Site Location: NE corner of Sendera Ranch Blvd. & Rancho Canyon Way **Acreage:** 20 acres

Request

Proposed Use: Retail

Request: From: "A-5" One-Family; "C" Medium Density Multifamily; "E" Neighborhood Commercial
To: "F" General Commercial

Recommendation

Land Use Compatibility: Requested change **is compatible**

Comprehensive Plan Map Consistency: Requested change **is consistent**

Comprehensive Plan Policy Consistency: Requested change **is consistent**

Staff Recommendation: **Approval**

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9. Aerial Photograph

Project Description and Background

The subject property, spanning 20 acres, is currently vacant and surrounded by additional vacant lots (**Figure 1**). This parcel is part of a larger ongoing development project. Located at the northeast corner of Sendera Ranch Blvd. and Rancho Canyon Way, the property does not yet have an assigned address.

The applicant has requested a zoning change to facilitate the development of a grocery-anchored shopping center and an associated grocery store fuel center. While the site plan is not a requirement for this application, the applicant has provided one as an exhibit (**Figure 2**).

Although the applicant's intent is to develop a grocery store, rezoning to "F" General Commercial will permit a variety of uses within the general commercial category. If the grocery store project proceeds, it will serve numerous communities in the area and support the growth of new neighborhoods. This development could significantly enhance local amenities and contribute to the area's economic development.



Figure 1: Site photos taken on June 27, 2024, staff provided

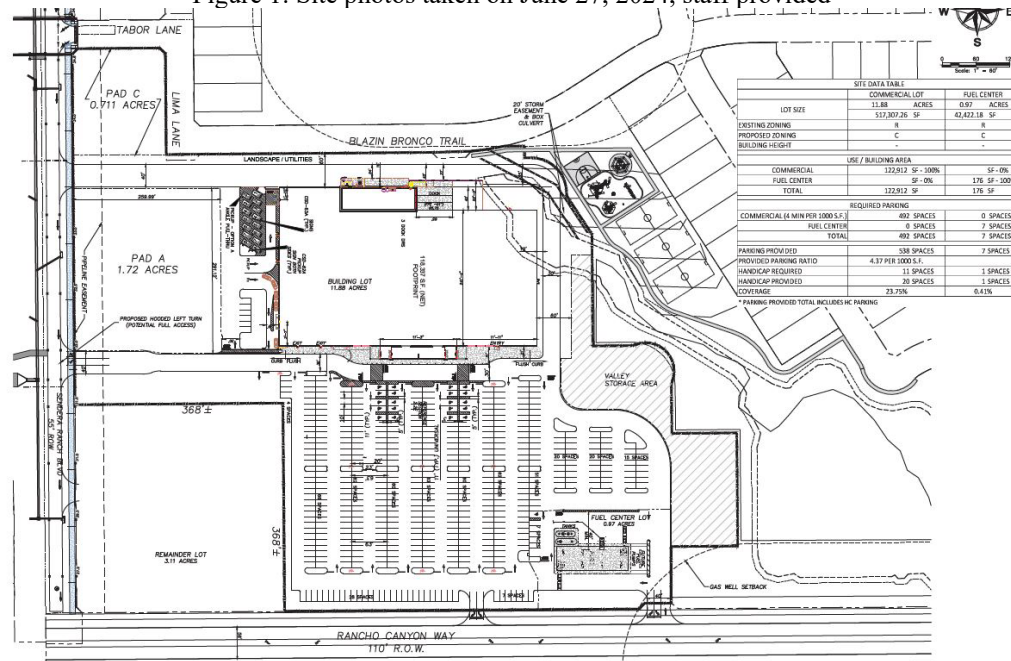


Figure 2: Across the street photo taken on June 27, 2024, staff provided

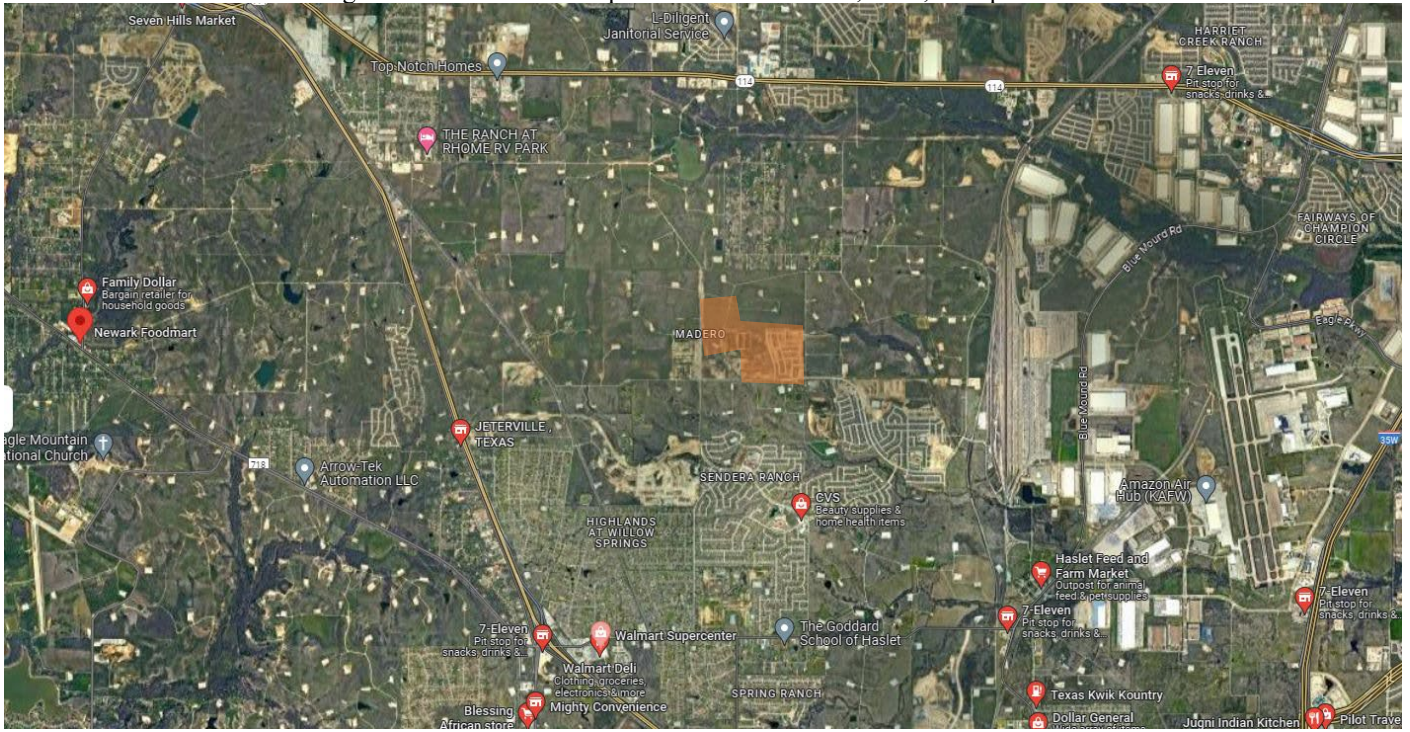


Figure 2: Nearest Grocery Stores in reference to the general site location

Surrounding Zoning and Land Uses

North	“A-5” One Family/ Single Family Residential
East	“I” Light Industrial/ Single-Family Residential
South	“A-5” One Family/ Single Family Residential
West	“A-5” One Family/ Single Family Residential

Recent Zoning History

- N/A

Public Notification

300-foot Legal Notifications were mailed on June 28, 2024.
 The following organizations were notified: (emailed June 28, 2024)

Organizations Notified	
Trinity Habitat for Humanity	Streams and Valleys Inc
Madero	Sendera Ranch
North Fort Worth Alliance	

* Located within a registered Neighborhood Organization

Development Impact Analysis

Land Use Compatibility

Given that the surrounding area consists predominantly of vacant land, with the exception of a new neighborhood to the south, the proposed land use is highly compatible with the area. Introducing commercial uses, particularly a grocery-anchored shopping center and fuel center, will bring much-needed amenities to the community.

This zoning change supports the development of a vibrant and healthy neighborhood environment. It enhances the stability and cohesiveness of the community by providing essential services and conveniences, thereby contributing to the overall growth and attractiveness of the area.

The proposed zoning is **compatible** with surrounding land uses.

Comprehensive Plan Consistency- FLU Map and Policies

The adopted Comprehensive Plan currently designates a part of the subject property as Medium-Density Residential on the Future Land Use Map.

RESIDENTIAL		
Rural Residential	1+ acre single-family	A-2.5, A-43
Suburban Residential	1/2+ acre single-family	A-21
Single-Family Residential	3,500+ sq. ft. lot single-family	A-10, A-7.5, A-5, AR
Manufactured Housing	Manufactured home parks and subdivisions	MH
Low Density Residential	2,500+ sq. ft. lot single-family, two-family, patio homes, townhouses, cluster housing	B, R1, R2
Medium Density Residential	Up to 36 units/acre multifamily	CR, C, D
Urban Residential	Medium to high density, residential only, pedestrian-oriented development for use between higher and lower intensity uses	UR
High Density Residential	>36 units/acre multifamily, mixed-use multifamily and pedestrian-oriented development in growth centers	UR, MU-1, MU-2, Form-Based Codes

The parcel is currently located within the Medium-Density Residential Future Land Use (FLU) category, which is not inherently compatible with the proposed zoning change. However, staff believes that the FLU map should be updated to better support the new neighborhood developments in the area.

FLU Applicable Policies under Chapter 4: Land Use

- *Encourage new development adjacent and connected to previously developed or platted areas in order to utilize existing utility and road infrastructure and services, thereby optimizing public and private investments and discouraging sprawl development.*
- *Encourage urban agriculture with the purpose of increasing access to fresh food, providing income for people who want to grow and sell produce, and contributing to urban food security and nutritious, especially for residents within food deserts.*

This rezoning aligns with the broader urban planning and development policies established by the City of Fort Worth (CFW). Adjusting the FLU map and approving the rezoning will reinforce the city's goals, ensuring a cohesive and sustainable community that accommodates both residential and commercial growth. This change supports the evolving needs of the community and promotes a balanced development approach.

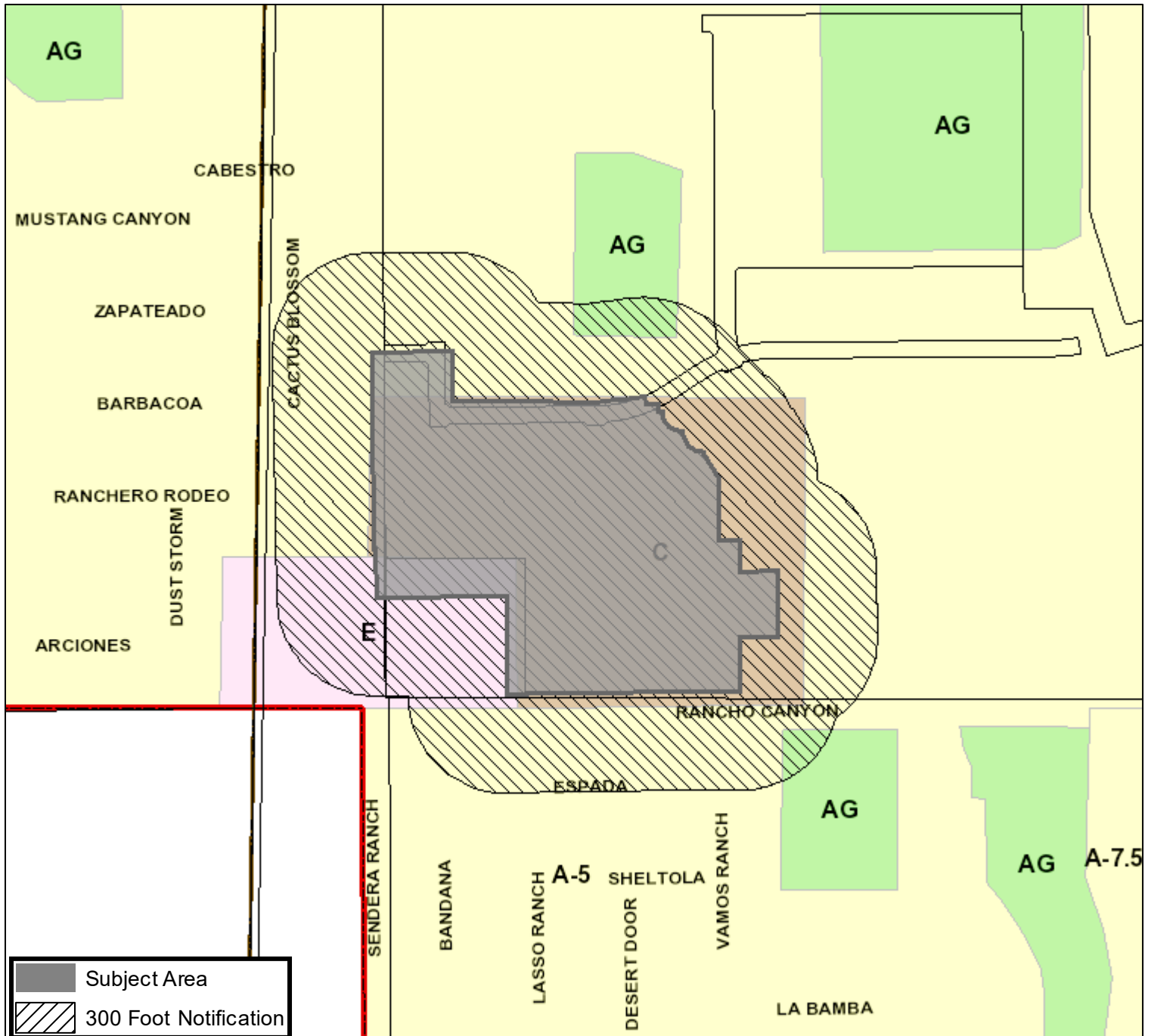
Based on conformance with the policies stated above, the proposed zoning is **consistent** with the Comprehensive Plan Policies.



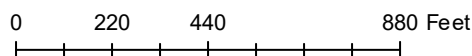
ZC-24-064

Area Zoning Map

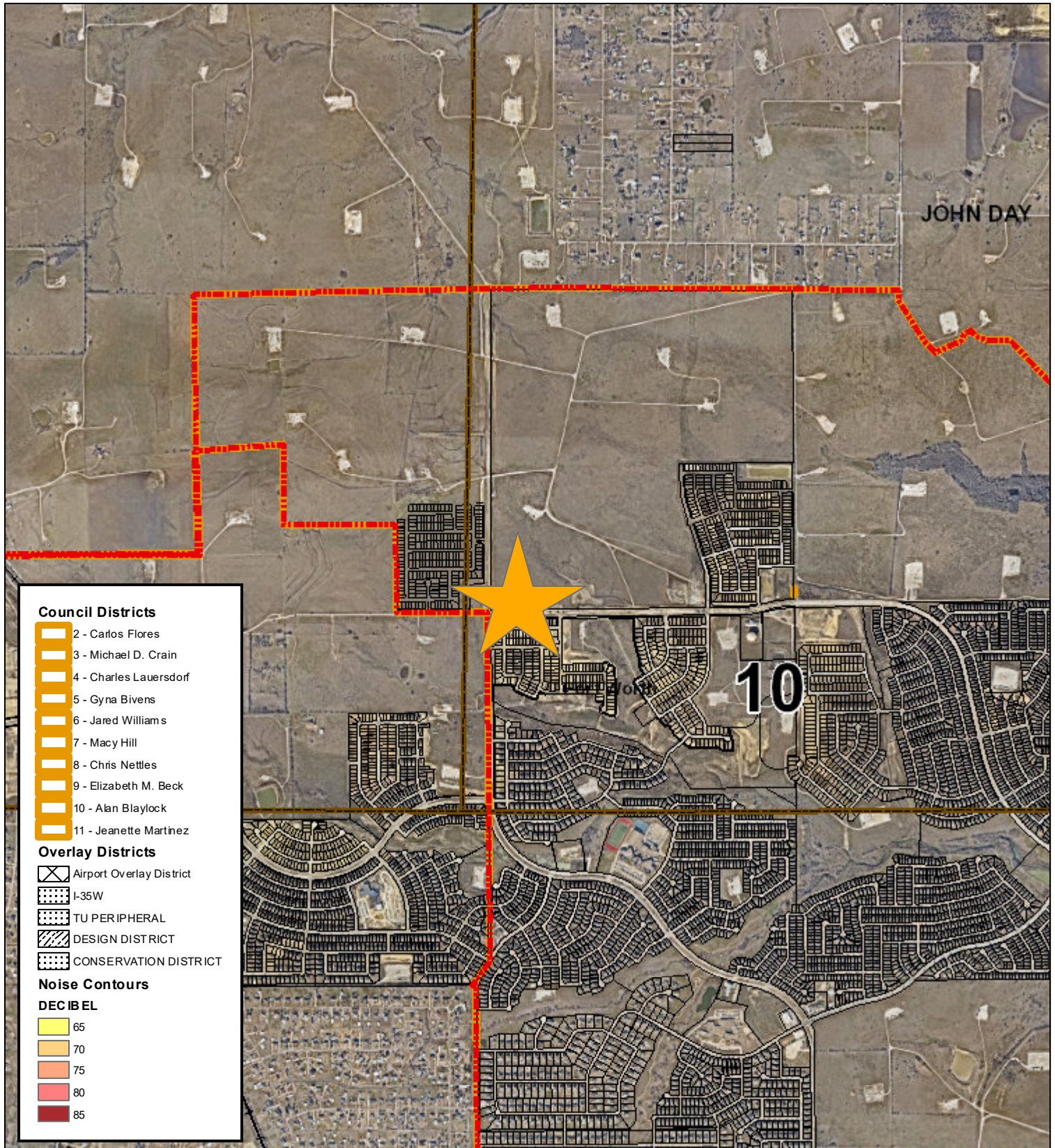
Applicant: Michael Clark
 Address: NEC of Sendera Ranch & Rancho Cayon
 Zoning From: C; A-5 & E
 Zoning To: F
 Acres: 20.08539218
 Mapsco: Text
 Sector/District: Far_North
 Commission Date: 7/10/2024
 Contact: 817-392-2806



	Subject Area
	300 Foot Notification



Area Map



Council Districts

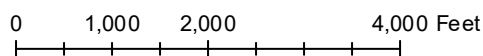
- 2 - Carlos Flores
- 3 - Michael D. Crain
- 4 - Charles Lauerdorf
- 5 - Gyna Bivens
- 6 - Jared Williams
- 7 - Macy Hill
- 8 - Chris Nettles
- 9 - Elizabeth M. Beck
- 10 - Alan Blaylock
- 11 - Jeanette Martinez

Overlay Districts

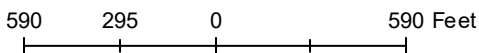
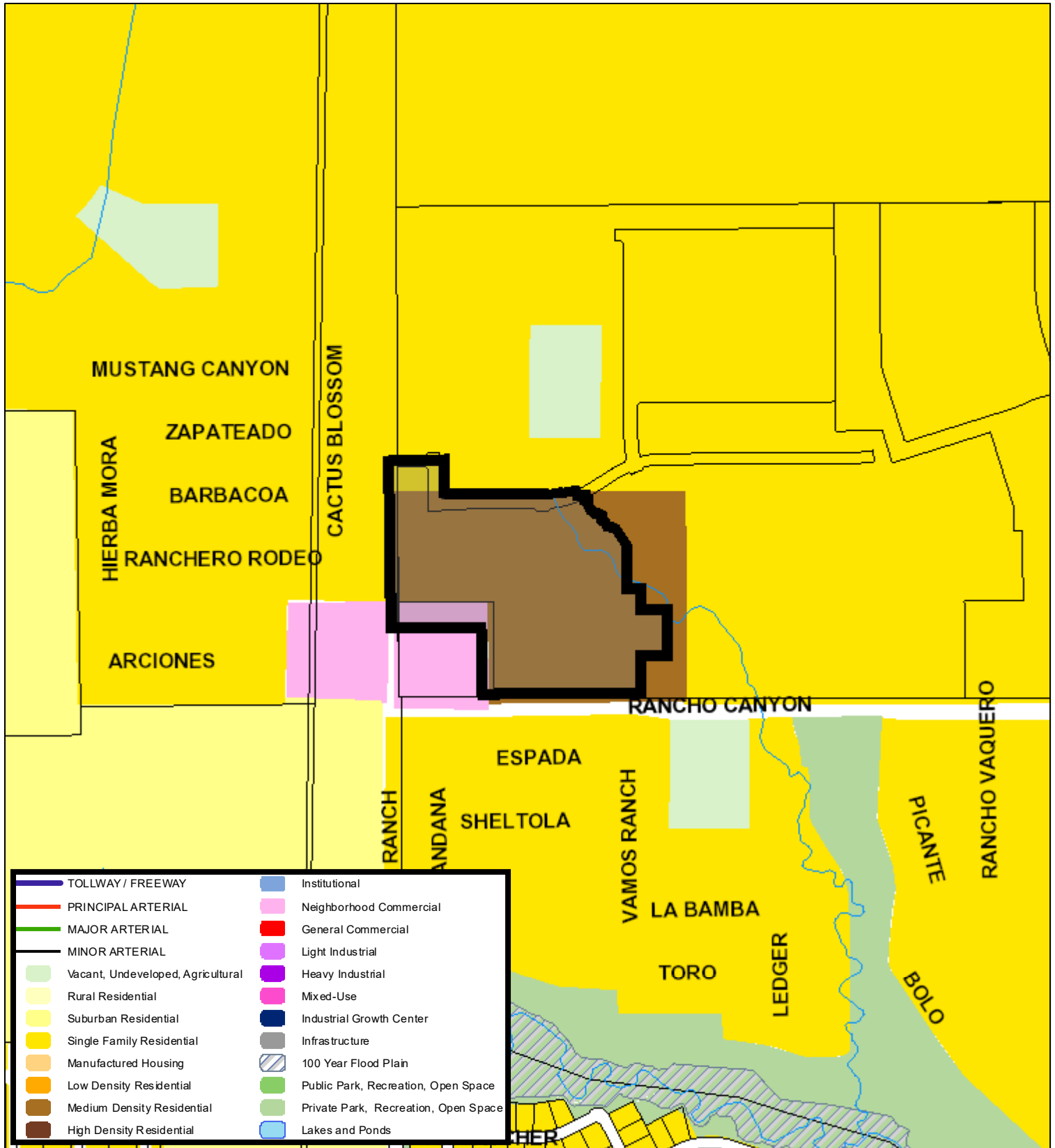
- Airport Overlay District
- I-35W
- TU PERIPHERAL
- DESIGN DISTRICT
- CONSERVATION DISTRICT

Noise Contours

- DECIBEL**
- 65
 - 70
 - 75
 - 80
 - 85



Future Land Use



A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



Aerial Photo Map



0 370 740 1,480 Feet





Zoning Staff Report

Date: July 10, 2024

Case Number: ZC-24-066

Council District: 2

Zoning Map Amendment

Case Manager: Alexander Johnson

Owner / Applicant: Gabriela Goodwin and Shawn Goodwin

Site Location: 6231 South Ridge Road

Acreage: 0.848 acres

Request

Proposed Use: Commercial

Request: From: "A-5" One-Family Residential

To: "E" Neighborhood Commercial

Recommendation

Land Use Compatibility: Requested change **is not compatible**

Comprehensive Plan Map Consistency: Requested change **is not consistent**

Comprehensive Plan Policy Consistency: Requested change **is not consistent**

Staff Recommendation: **Denial**

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5. [Development Impact Analysis](#)
 - a. [Land Use Compatibility](#)
 - b. [Comprehensive Plan Consistency](#)
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7. Area Map
8. Future Land Use Map
9. Aerial Photograph

Project Description and Background

The property is located off Boat Club Road at the intersections of South Ridge Rd and Lea Crest Ln in Council District 2. The applicant is seeking to rezone from “A-5” One Family Residential to “E” Neighborhood Commercial, a low intensity non-residential zoning classification. “E” zoning does not require a Site Plan to accompany the application, however providing an exhibit can give staff a better understanding of the intended layout, scope and the applicant has provided a conceptual site plan as part of the submittal.

The proposed “E” Neighborhood Commercial zoning would accommodate future commercial development. The applicant has the intention of using the property for an office. The basic “E” development standards are included below for reference:

Neighborhood Commercial, “E” District	
Front yard*	20 feet minimum; 0 feet minimum when fronting an arterial street**
Rear yard*	10 feet minimum unless adjacent to residential district, where 15 feet minimum required
Side yard*	
Interior lot	5 feet minimum adjacent to residentially zoned lot, none otherwise. If provided, side yard must be 3 feet minimum
Corner lot**	None required unless through lot, then 10 feet minimum required
Height	3 stories or 45 feet maximum provided, however, stealth telecommunication towers are permitted to a height of 60 feet; telecommunication towers are permitted to a height of 45 feet as a special exception approved by the board of adjustment
Notes:	
* Additional setback may be required see Chapter 6, Development Standards, § 6.300, Bufferyard and Supplemental Building Setback.	
** May be subject to projected front yard (§6.101(f))	

Surrounding Zoning and Land Uses

North “A-5” One Family Residential

East "A-5” One Family Residential

South “AG” Agriculture and “A-5” One Family Residential

West "E" Neighborhood Commercial & "PD 702" Planned Development “E” Neighborhood Commercial with the specific use for professional offices, single story structure

Recent Zoning History

- No recent zoning cases in the immediate vicinity of the proposal.

Public Notification

300-foot Legal Notifications were mailed on June 28, 2024.
The following organizations were emailed on June 28, 2024:

Organizations Notified	
Northwest Fort Worth Neighborhood Alliance	Marine Creek Meadows HOA
Bowman Estates OA	Neighbors of Jinkens Heights/Crestridge NA
Streams and Valleys Inc	Trinity Habitat for Humanity
Eagle Mountain-Saginaw ISD	Lake Worth ISD

**Located closest to this registered Neighborhood Association*

Development Impact Analysis

Land Use Compatibility

Surrounding uses are primarily residential to the north and east with a handful of neighborhood commercial properties to the west. The proposed commercial zoning is not appropriate being that the site is located at the front of a low-density subdivision. The proposed zoning is **incompatible** with surrounding land uses.

Comprehensive Plan Consistency – Far Northwest

The adopted Comprehensive Plan designates the property as *suburban residential*. Compatible zoning would be “A-21” One Family Residential.

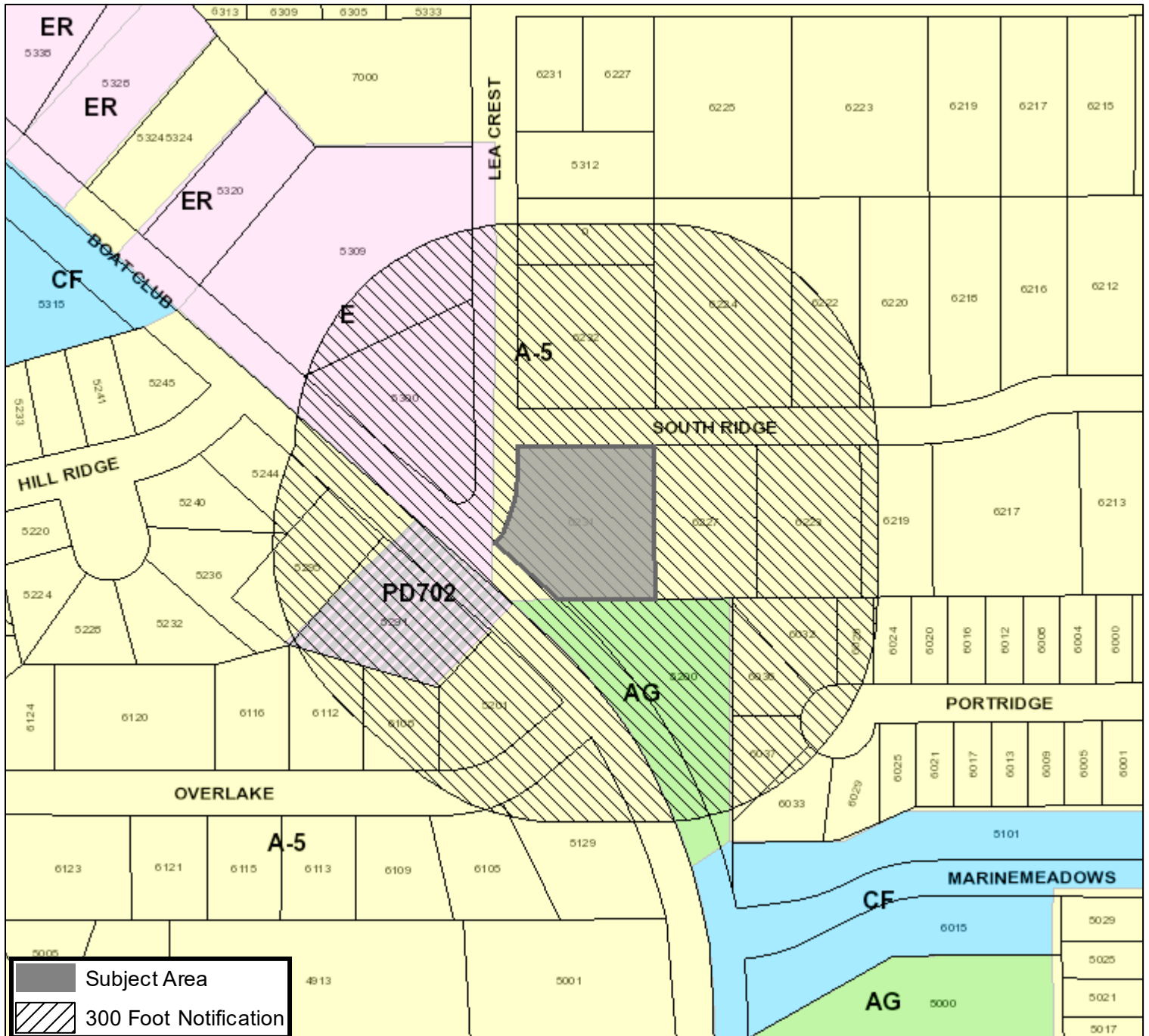
RESIDENTIAL		
Rural Residential	1+ acre single-family	A-2.5, A-43
Suburban Residential	1/2+ acre single-family	A-21
Single-Family Residential	3,500+ sq. ft. lot single-family	A-10, A-7.5, A-5, AR

The proposed zoning of “E” is **inconsistent** with the Comprehensive Plan.

Policy wise this change is **inconsistent** with the Comprehensive Plan in that it is a situation where commercial use is encroaching into residential. The conversion of this property to a commercial zoning would disrupt the continuity of the residential subdivision and the entrance to the office being located right at the entrance of the neighborhood could cause issues with traffic circulation. Also the proposal of “E” zoning would allow many uses that could possibly conflict with the single family residential surrounding it.

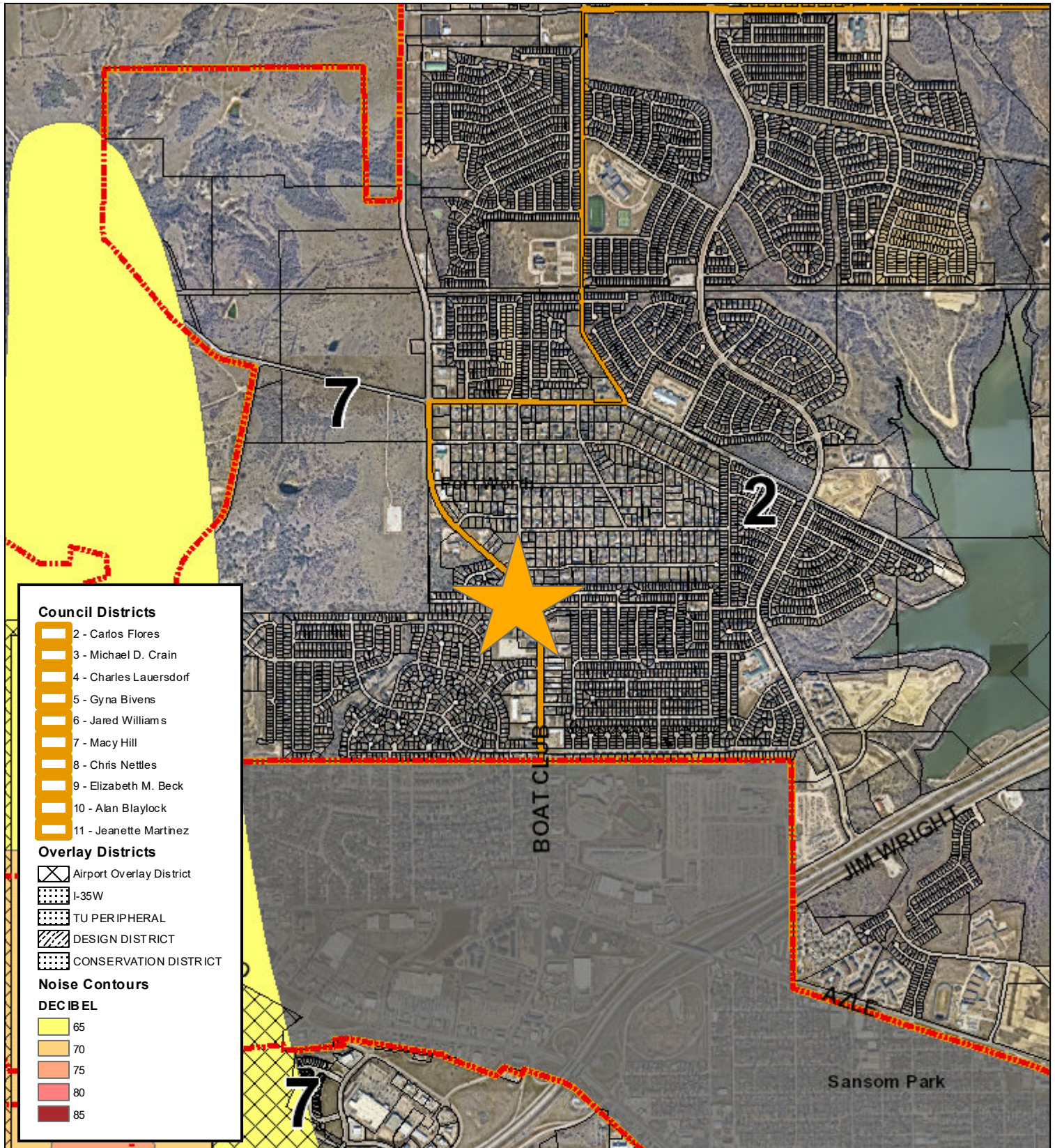
Area Zoning Map

Applicant: Gabriella Goodwin
 Address: 6231 S. Ridge Road
 Zoning From: null
 Zoning To: null
 Acres: 0.8691271
 Mapsco: Text
 Sector/District: Far_Northwest
 Commission Date: 7/10/2024
 Contact: null



0 95 190 380 Feet

Area Map



Council Districts

- 2 - Carlos Flores
- 3 - Michael D. Crain
- 4 - Charles Lauerdorf
- 5 - Gyna Bivens
- 6 - Jared Williams
- 7 - Macy Hill
- 8 - Chris Nettles
- 9 - Elizabeth M. Beck
- 10 - Alan Blaylock
- 11 - Jeanette Martinez

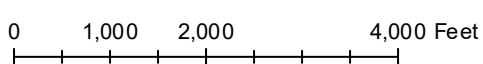
Overlay Districts

- Airport Overlay District
- I-35W
- TU PERIPHERAL
- DESIGN DISTRICT
- CONSERVATION DISTRICT

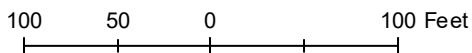
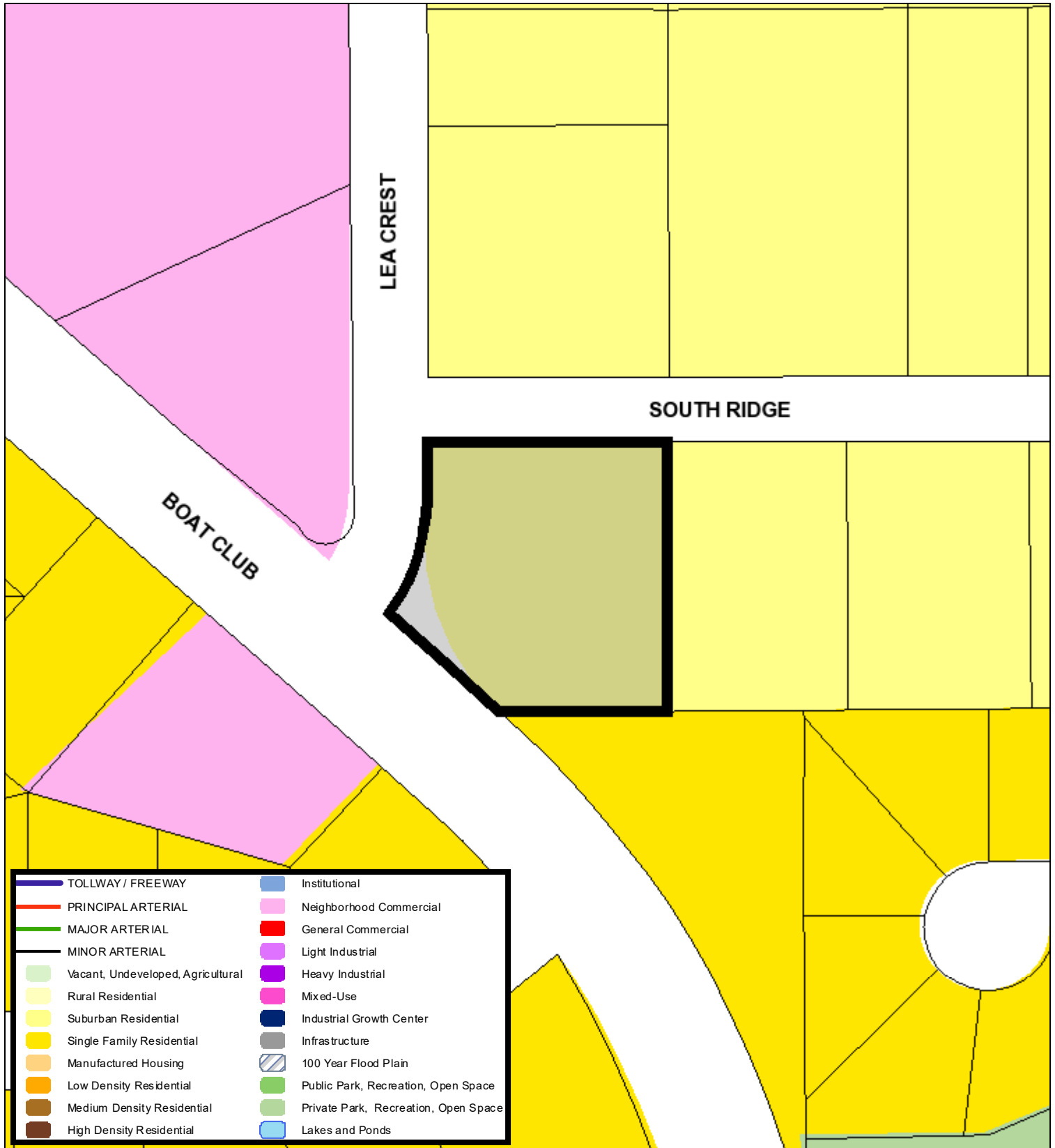
Noise Contours

DECIBEL

- 65
- 70
- 75
- 80
- 85



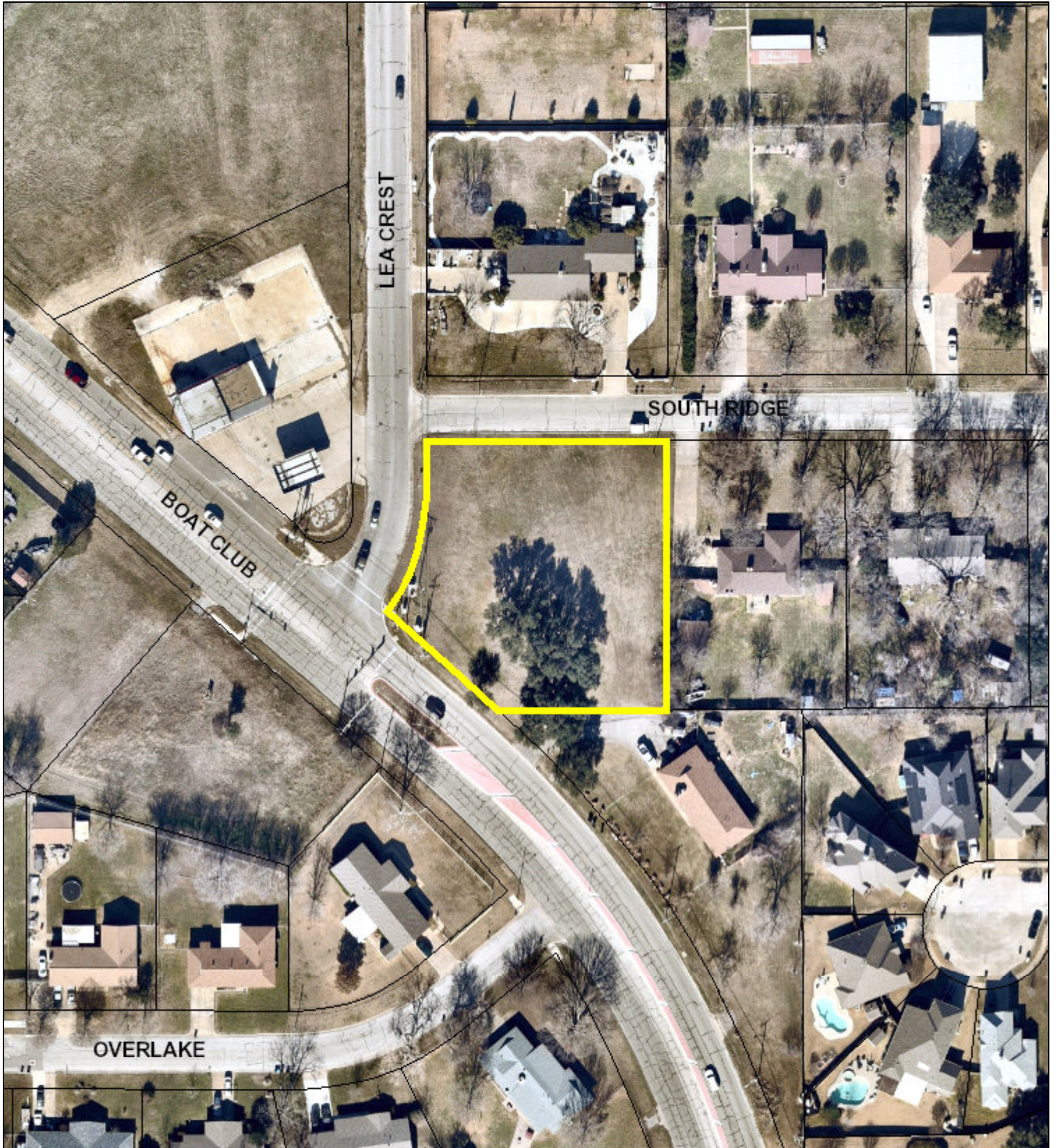
Future Land Use



A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



Aerial Photo Map



0 65 130 260 Feet





Zoning Staff Report

Date: July 10, 2024

Case Number: ZC-24-069

Council District: 7/10

Zoning Map Amendment

Case Manager: [Alondra Salas-Beltré](#)

Owner / Applicant: City of Fort Worth / Park & Recreation Department

Site Location: 8575 Blue Mound Road

Acreage: 245.4 acres

Request

Proposed Use: Day Care Center

Request: From: “AG” Agricultural; “A-5” One Family Residential; “CR” Low-density Multifamily & “E” Neighborhood Commercial

To: “CF” Community Facilities District

Recommendation

Land Use Compatibility: Requested change **is compatible**

Comprehensive Plan Consistency: Requested change **is consistent**

Staff Recommendation: **Approval**

Table of Contents

1. [Project Description and Background](#)
2. [Surrounding Zoning and Land Uses](#)
3. [Recent Zoning History](#)
4. [Public Notification](#)
5. [Development Impact Analysis](#)
 - a. [Land Use Compatibility](#)
 - b. [Comprehensive Plan Consistency](#)
6. Zoning Map with 300 ft. Notification Area
7. Area Map
8. Future Land Use Map
9. Aerial Photograph

Project Description and Background

The City of Fort Worth is seeking a zoning change for the property located near the southeast corner of East Harmon Road and Blue Mound Road, both of which are neighborhood connectors on the Master Thoroughfare Plan.

The site currently houses the Northwest Community Park, which is the fifth largest park in Fort Worth. Situated in northwest Fort Worth, it can be accessed from two entrances off Blue Mound Road: one for the sports complex and another for the south side of the lake. The park offers soccer and baseball/softball fields with lighting, bleachers, benches, picnic tables, restrooms, a paved one-mile loop trail, natural surface hiking trails, public art, a sign kiosk, a large lake, a waterfall, a fishing dock, open areas, and wildflower viewing areas.

A 20,000 square foot community center is currently under construction and is set to be finished by December of this year. One of the proposed features is a backlit sign, which is not permitted under the existing zoning. The proposed CF zoning will allow for the sign and is a more suitable category based on the park's existing use.

The purpose of the community facilities “CF” district is to accommodate those institutional and related uses that are established in response to the health, safety, educational and welfare needs of a neighborhood, community or major sector of the city.

Surrounding Zoning and Land Uses

North “A-5” One Family Residential / single family residences
East “PD/CR” Planned Development Low-Density Multifamily / Detached cottages
South “A-5” One-Family Residential / single family
West “A-5” One Family Residential / single family

Recent Zoning History

ZC-18-189 – From “E” Neighborhood Commercial to PD/CR for cottage community with development standards

Public Notification

300-foot Legal Notifications were mailed on June 28, 2024.
The following organizations were emailed on June 28, 2024:

Organizations Notified	
Liberty Crossing HOA	Creekwood HOA
Ridgeview Owners Association*	Eagle Mountain-Saginaw ISD
Streams and Valleys Inc	Trinity Habitat for Humanity

Development Impact Analysis

Land Use Compatibility

This property is currently functioning as a community park within a mostly residential area. It borders single-family properties to the north, south, and west. The Community Center/Park is categorized as an institutional use, similar to a public or private school, and is expected to have less impact than a commercial activity at the location.

The purpose of the community facilities “CF” district is to accommodate institutional and related uses that address the health, safety, educational, and welfare needs of a neighborhood, community, or significant sector of the city.

Considering these factors, the staff believes that the proposed zoning is **compatible** with the surrounding land uses.

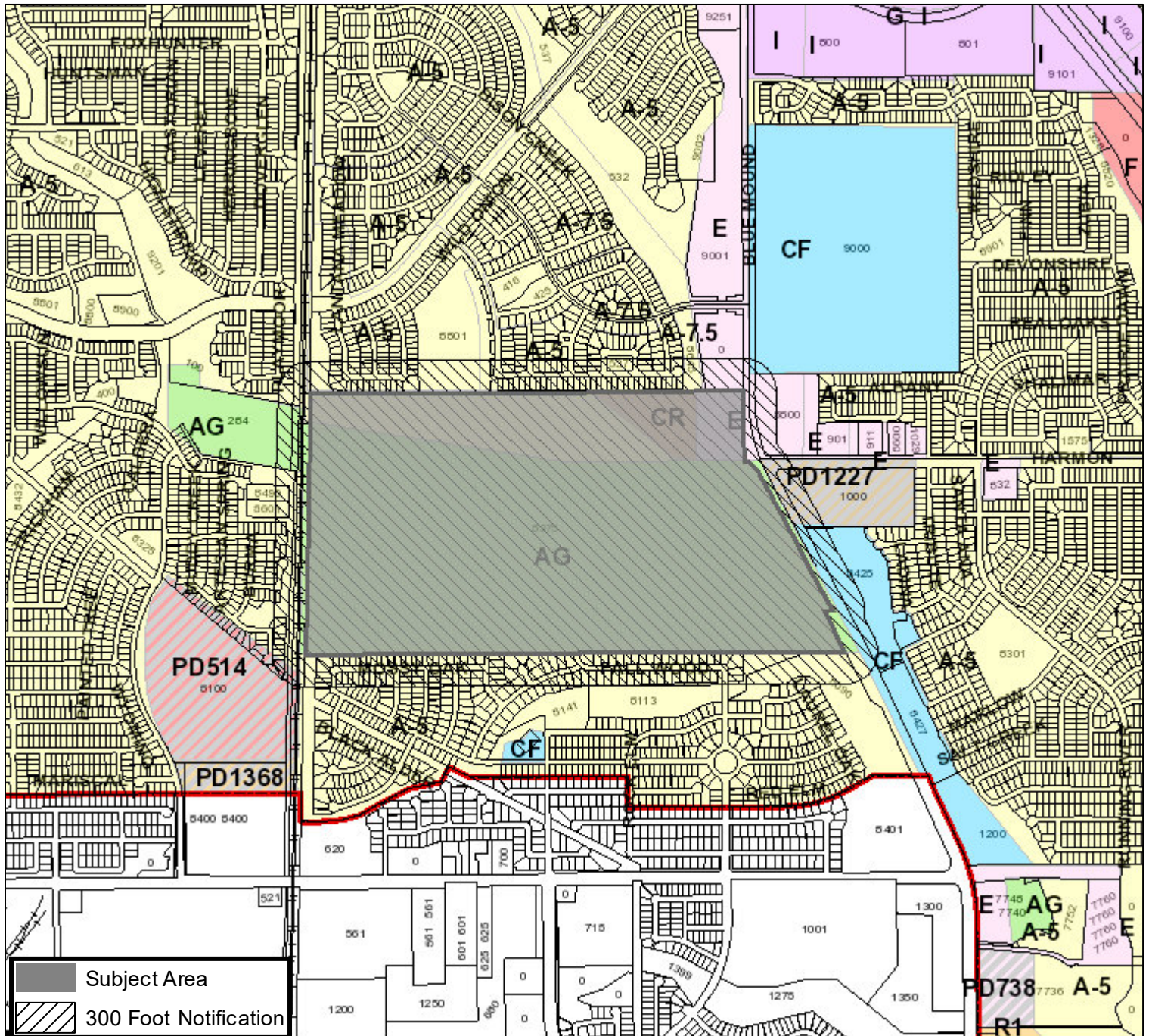
Comprehensive Plan Consistency – Far Northwest

The 2023 Adopted Comprehensive Plan designates the subject property as existing parkland uses.

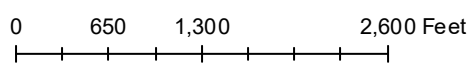
The proposed zoning of “CF” Community Facilities **is consistent** with the Comprehensive Plan.

Area Zoning Map

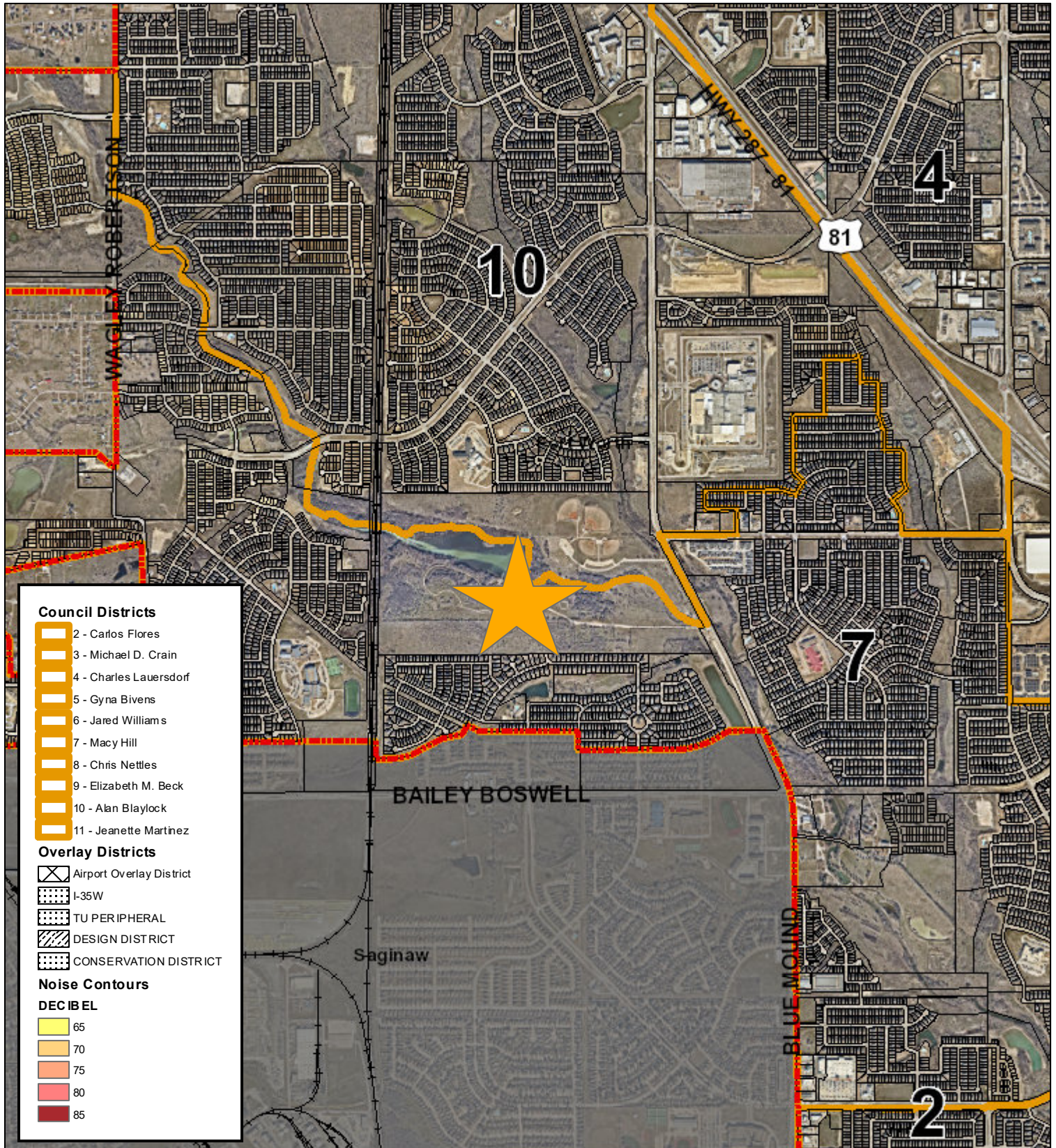
Applicant: City of Fort Worth
 Address: 8375 Blue Mound Road
 Zoning From: CR; A-5 & E
 Zoning To: CF
 Acres: 245.40319007
 Mapsco: Text
 Sector/District: Far_Northwest
 Commission Date: 7/10/2024
 Contact: 817-392-2495



Subject Area
 300 Foot Notification



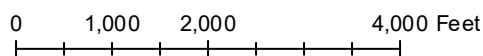
Area Map



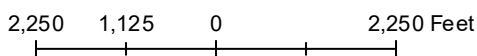
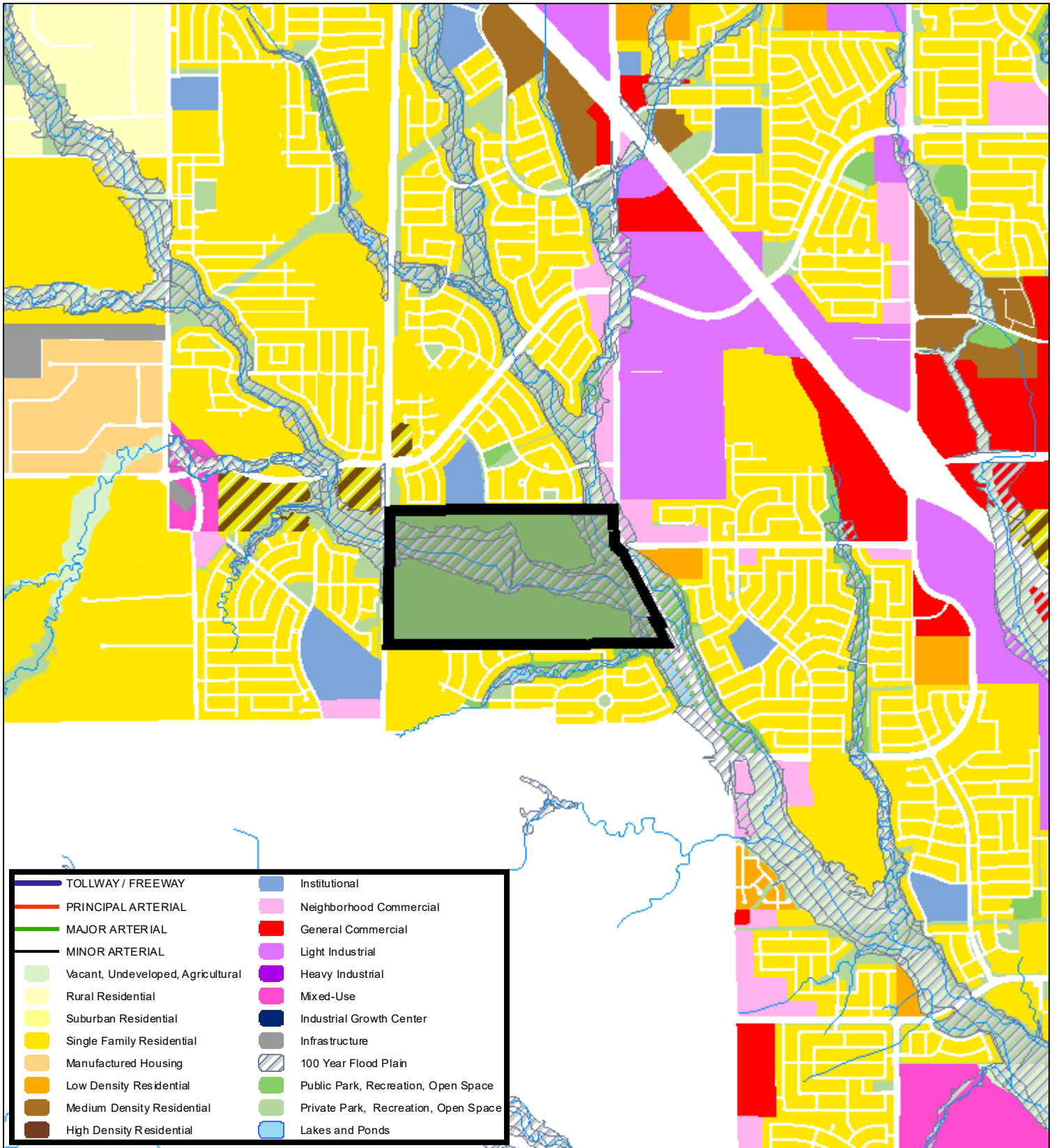
Council Districts	
	2 - Carlos Flores
	3 - Michael D. Crain
	4 - Charles Lauerdorf
	5 - Gyna Bivens
	6 - Jared Williams
	7 - Macy Hill
	8 - Chris Nettles
	9 - Elizabeth M. Beck
	10 - Alan Blaylock
	11 - Jeanette Martinez

Overlay Districts	
	Airport Overlay District
	I-35W
	TU PERIPHERAL
	DESIGN DISTRICT
	CONSERVATION DISTRICT

Noise Contours	
DECIBEL	
	65
	70
	75
	80
	85



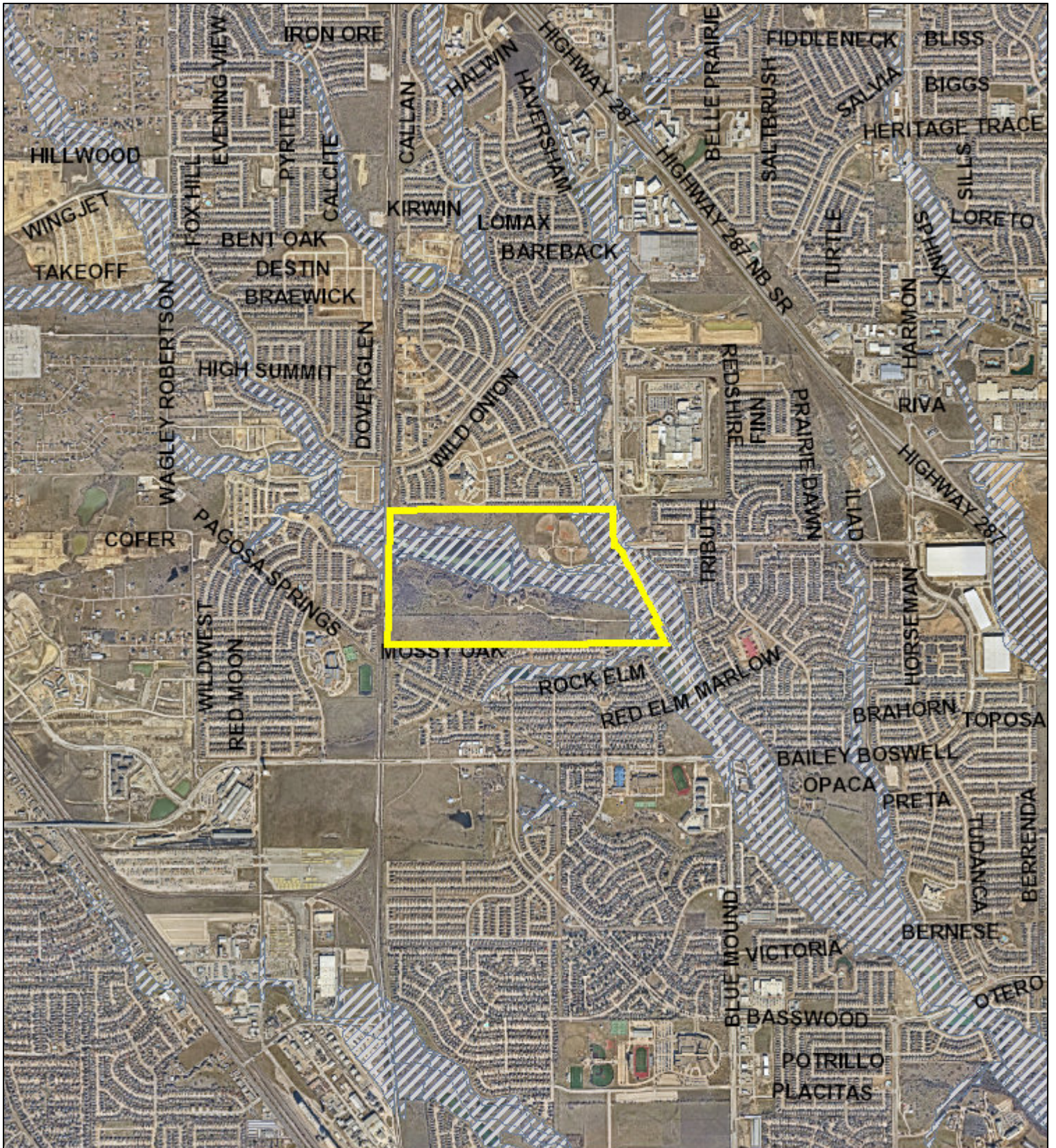
Future Land Use



A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



Aerial Photo Map



0 1,500 3,000 6,000 Feet





Zoning Staff Report

Date: July 10, 2024

Case Number: SP-24-007

Council District: 4

Zoning Map Amendment

Case Manager: [Sandy Michel](#)

Owner / Applicant: NTP35/LP / Spencer Morrison

Site Location: 8601 & 8701 North City Drive

Acreage: 10.1 acres

Request

Proposed Use: Multifamily Development

Request: Add Site Plan for PD 1302 Planned Development for all uses in "UR" Urban Residential with specific development standards related to setbacks, off-street parking, and loading standards, enhanced landscaping, parking lot landscaping, façade variation, façade design standards, building materials, building entries, signs, screening, height, density allowed, and allowed uses as described attached in Exhibit A

Recommendation

Staff Recommendation: **Approval**

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1. [Project Description and Background](#)
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7. Site Plan
8. Area Map
9. Future Land Use Map
10. Aerial Photograph

Project Description and Background

The applicant is seeking approval for the site plan of PD 1302, as depicted in Figure 1. The property in question is located at 8601 and 8701 North City Drive and encompasses a total of 10.1 acres, which are currently vacant (see Figure 2). The primary objective of the PD 1302 site plan is to construct two multi-family buildings. While multi-family buildings are permitted under the PD/UR zoning, there are special requirements due to the property's location within a form-based district. For more details, please refer to the 'site plan comments.' This report specifically evaluates Lots 2 and 3, Block 2, to assess the "PD/UR" Planned Development designation with specific development standards related to setbacks, off-street parking, and loading standards, enhanced landscaping, parking lot landscaping, façade variation, façade design standards, building materials, building entries, signs, screening, height, density allowed, and allowed uses.

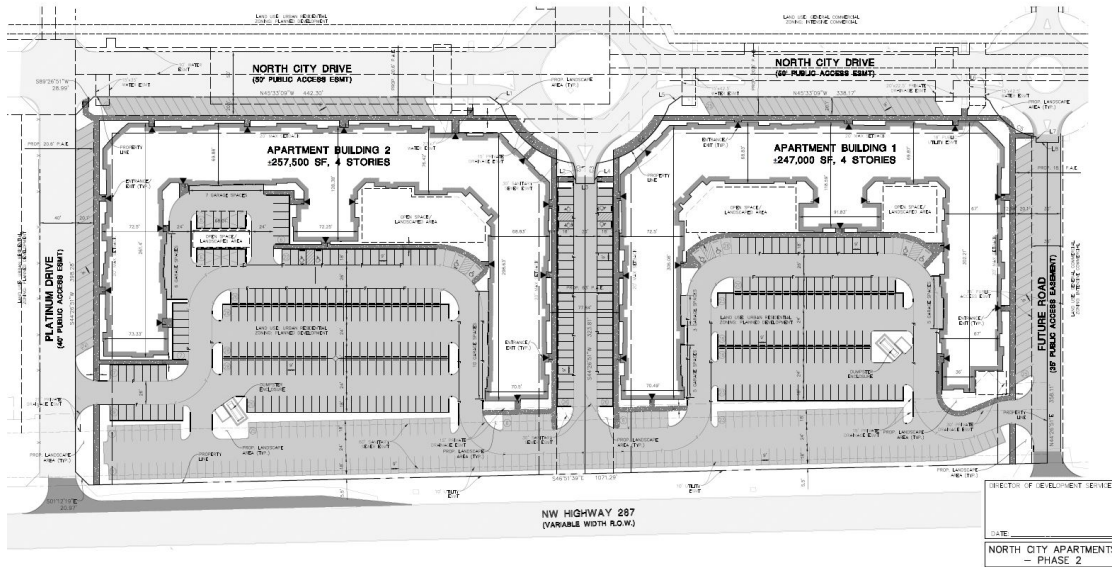


Figure 1: Proposed Site Plan Exhibit A



Figure 2: Site Photos

The applicant has provided a detailed description of their proposed project: “THE PROPOSED SITE PLAN IS BEING SUBMITTED TO SHOW CONFORMANCE WITH THE EXISTING PD IN PLACE, PD 1302. THERE ARE NO CHANGES TO THE DEVELOPMENT STANDARDS OR WAIVERS BEING REQUESTED. THE TWO (2) SITES SHOWN IN THE SITE PLAN HAVE A DESIGNATED FUTURE LAND USE OF URBAN RESIDENTIAL PER PD 1302. THE PROVIDED SITE PLAN COMPLIES WITH THE URBAN RESIDENTIAL LAND USE. THIS PROJECT INCLUDES TWO (2) MULTIFAMILY BUILDINGS THAT TOTAL +/-504,500 SQUARE FEET AND ARE FOUR (4) STORIES IN HEIGHT. THE PROJECT WILL INCLUDE BOTH ON-STREET AND OFF-STREET PARKING IN ORDER TO SERVE THE DEVELOPMENT.”

Surrounding Zoning and Land Uses

North	PD 1302- PD/UR Planned Development / Residential
East	“G” Intensive Commercial / Vacant Lot
Southeast	“G” Intensive Commercial / Vacant Lot
Southwest	“PD1270” PD/G Intensive Commercial/ Vacant Lot
West	“PD1270” PD/G Intensive Commercial/ Vacant Lot

Recent Zoning History

- ZC-15-158: From: “AG” Agricultural/I-35 Design Overlay to “I” Light Industrial/I-35 Design Overlay
- ZC-19-173: From: “I” Light Industrial / I-35 Overlay to “UR” Urban Residential / I-35 Overlay
- ZC-20-171: From: “UR” Urban Residential and “G” Intensive Commercial to “**PD/MU-2**” Planned Development for all uses in “MU-2” High Intensity Mixed-Use with waivers to Setbacks, Yard Standards, Minimum Height Single Use, Maximum Height Single Use, Off Street Parking, Off-Street Parking and Loading Standards, Enhanced Landscaping, Landscaping in Parking and Driveway Areas, Façade Design Standards, Façade Variation, Fenestration, Building Materials, Building Entries, Signs, Screening, and Drive-In Business alcohol sales; site plan required. “**PD/UR**” Planned Development for all uses in “UR” Urban Residential with waivers to Setbacks, Off Street Parking, Other Off-Street Parking and Loading Standards, Enhanced Landscaping, Parking Lot Landscaping, Façade Variation, Façade Design Standards, Building Materials, Building Entries, Signs, Screening, Height, and Density, and allowed uses; site plan required

Public Notification

300-foot Legal Notifications were mailed on June 28, 2024.
The following organizations were emailed on June 28, 2024:

Organizations Notified	
Streams And Valleys Inc	Trinity Habitat for Humanity
North Fort Worth Alliance	

** Located within this registered Neighborhood Association*

Development Impact Analysis

Site Plan Comments

Zoning

- Staff has reviewed the site plan that was submitted at the application; here are the notes:
 - **Platting**
 - For site plans to be properly reviewed the site must be platted. This site has been platted and can be found under FP-22-163.

These are the UR standards that could not be reviewed due to the lack of information but will need to be reviewed before permitting.

- **Setback Requirements**
 - The setbacks are exceeding the 20' max from the property line.
 - **Per PD1302-** Rear setback min can be 0' **Per Ord. 4.713.d.2-** Primary Street setback min is 0' and max is 20', side street setback min is 0' and max is 20', and common lot line is 0'.
- **Height Requirements**
 - The site plan is following the min 2 stories and the max 5 stories.
- **Parking Requirements**
 - The parking is complying.
 - **Per Ord. 4.713.e.2-** Apartments require 0.75 to 1 space required per bedroom; Plus, 2 spaces per 500 square feet of leasing office and/or social rooms. This proposed project has 705 parking spaces for 5,000 sq. ft. social rooms and 627 bedrooms but no leasing office square footage was provided. The minimum requirement for this project is 647 parking spaces.
- **Buffers, Landscaping, and Pedestrian Lighting**
 - The portion of the ordinance is not complying.
 - **Enhanced Landscaping and Pedestrian Lighting Requirements Per Ord. 4.713.f.2-** The site plan is not in compliance with this ordinance. Staff has not seen any landscape enhancements or pedestrian lighting.
 - **Landscaping in Parking and Driveway Areas-** The UR district is intended to create a public environment in which pedestrian safety, interest, and comfort are paramount. Therefore, parking areas that front public streets and pedestrian pathways shall be screened to minimize pedestrians' view of parked vehicles and the impact of vehicle headlights.
 - **Urban Forestry-** 5 percent (%) site canopy coverage must be provided through either preservation or planting. Developments with surface parking lots must provide 40% canopy coverage over new, expanded, or reconstructed surface parking. Submission of applicable urban forestry plans for review shall comply with Section 6.302 (g), Urban Forestry Plan/Permits.
- **Facade Variation Requirements**
 - **Facade Variation, Per Ord. 4.713.g.2-** Each new building facade that is greater than 50 feet in width and is oriented to a publicly accessible street or open space must incorporate each of the following scaling elements. For building facades less than 50 feet in width, a minimum of two elements are required. The site plan did not include elevations to show the façade variations. Staff can not determine if a waiver will be needed, but staff will need to review it before any approved site plan.
 - **Building Materials, Per Ord. 4.713.g.4-** Not less than 70 percent (%) of all new building facades (not including door and window areas) facing publicly accessible streets or open space shall be constructed of the following masonry materials: stone, brick, terra cotta, patterned pre-cast concrete, cement plaster stucco, cement board siding, cast tone or prefabricated brick panels.
 - **Building Entries, Per Ord. 4.713.g.5-** The intent of building entries is to create a pedestrian-oriented development in which buildings are oriented toward publicly accessible streets and sidewalks. Please follow the standards for building entries, staff was unable to review due to a lack of information shown on the site plan.

(Comments made by Platting (Subdivision Ordinance), Transportation/Public Works, Fire, Park & Recreation, and Water Department staff cannot be waived through the Zoning Commission and City Council. Approval of the zoning site plan does not constitute the acceptance of conditions.)

Supplemental Information

Additional Site Photos



These are the general requirements for UR projects. They serve as a guide to help maintain the quality of submissions after receiving zoning approval. Adhering to these requirements will ensure that the project meets all necessary standards and expectations throughout the approval process.

SITE PLAN REQUIREMENTS- please have these items in the plan set when you submit.

- General vicinity map that is drawn to scale showing the position of the proposed site in the Section(s), Township, and Range.
- Principal roads, city limits, and other pertinent information.
- Name, address, and telephone number of the owner(s) of the property.
- Name, address, and telephone number of the engineer or landscape architect preparing the plan. The designated contact person must be referenced on the plans.
- Title block, north arrow, scale, and date.
- Location of right-of-way/easement lines for private and public property. Please review Ordinance 4.713.h.5, which addresses Privately Owned Streets and Drives with Public Access Easements.
- Location of existing streets, railroads, buildings, transmission lines, sewers, and bridges.
- Written project description- scope of work
- Building height with dimensions and setbacks dimensions
- Locations of fences, gates, and walls
- Landscape plan.
- Per Ordinance 4.713.f.2, **Enhanced Landscaping and Pedestrian Lighting:** Street trees and pedestrian-scaled lighting are required along all public rights- of way in the MU-1 district, see subsection (h)(5). Adherence to the landscape ordinance 6.301 is encouraged, except as here-in provided.
- Urban Forestry:** 5 percent (%) of site canopy coverage must be provided through either preservation or planting. Developments with surface parking lots must provide 40% canopy coverage over new, expanded, or reconstructed surface parking. The surface parking canopy coverage counts towards the site canopy coverage requirement. Please provide Tree Coverage Diagrams for Parking Lot(s). Submission of applicable urban forestry plans for review shall

comply with Section 6.302(g), Urban Forestry Plan/Permits. Contact Urban Forestry, to complete these requirements by email at UrbanForestry@fortworthtexas.gov or by phone @ (817)392-7933.

- General parking and circulation plan with enhanced landscape features and parking calculations.
- Optional: Renderings or 3-D models are optional to better understand your project. Staff may or may not ask to include this. This will be reviewed on a case-by-case basis.

Facade Design Standards Requirements- please have Elevations in the plan set when you submit.

Review Ordinance 4.713.g.2 for standards on Facade Variation. Each new building facade greater than 50 feet in width and oriented to a publicly accessible street or open space must incorporate each of the following scaling elements. A minimum of two elements are required for building facades less than 50 feet in width.

- Show the locations and dimensions of all windows, doors, and other openings.
- Location of balconies, awnings, and building entries.
- Fences, equipment, etc. with dimensions.
- Roof equipment with screening heights and locations.
- Per Ordinance 4.713.g.3, not less than 70 percent (%) of all new building facades (not including door and window areas) facing publicly accessible streets or open space shall be constructed of the following masonry materials: stone, brick, terra cotta, patterned pre-cast concrete, cement plaster stucco, cement board siding, and cast stone or prefabricated brick panels. Show the building materials with the percentages as they are listed and shown on elevations.

If you have any general questions about Mixed-Use or this checklist, please email us @ MixedUse.UrbanRes@fortworthtexas.gov

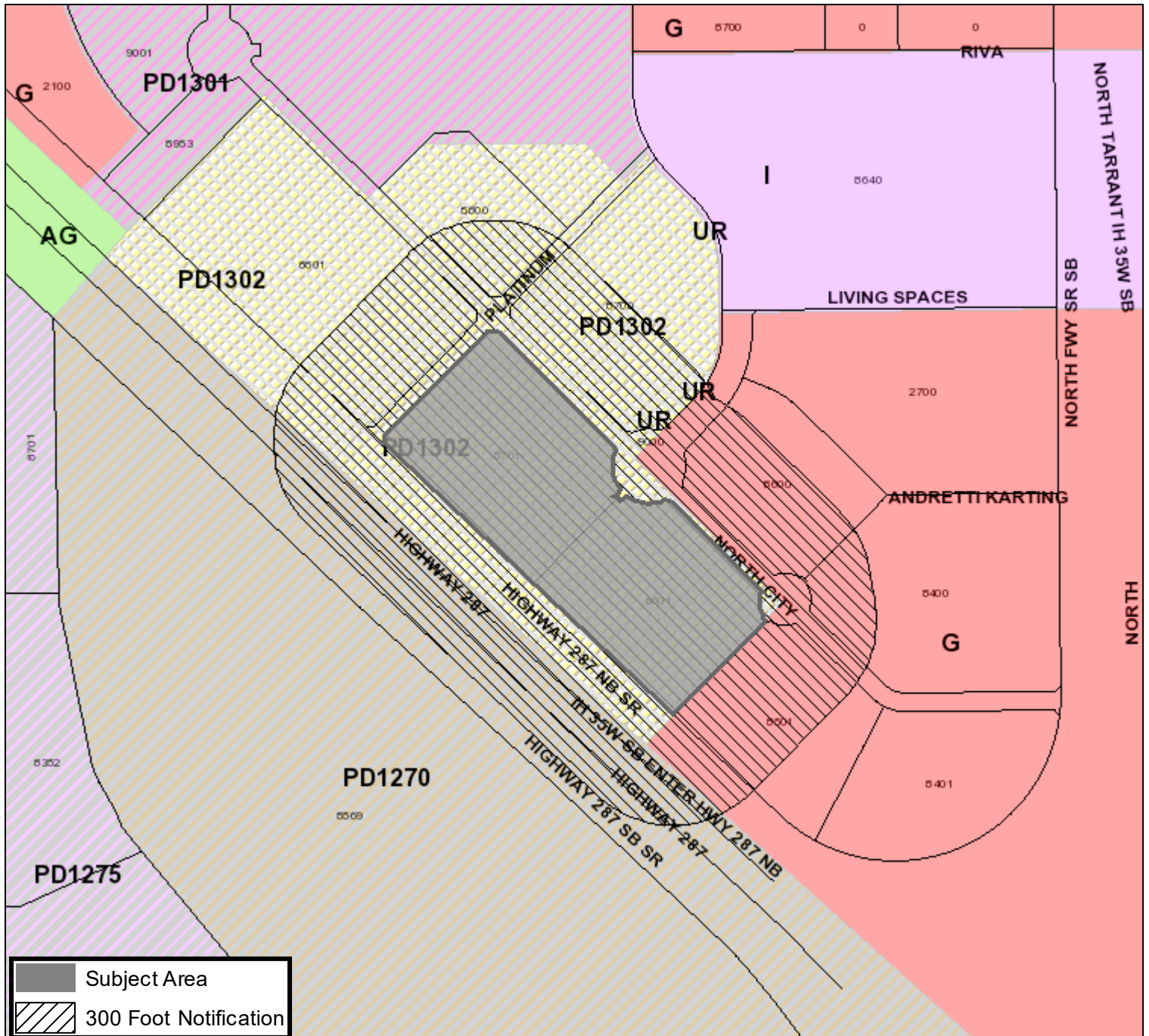






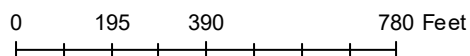
SP-24-007

Area Zoning Map

Applicant: NTP35 LP
 Address: 8701 & 8601 North City Drive
 Zoning From: PD 1302
 Zoning To: Add the required site plan
 Acres: 10.19675052
 Mapsco: Text
 Sector/District: Far_North
 Commission Date: 7/10/2024
 Contact: 817-392-2806



 Subject Area
 300 Foot Notification



- NOTES:**
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE SPECIFIED.
 - HEAD IN PARKING STALLS ARE ASSUMED TO BE 18' DEEP AND 9' WIDE.
 - ANGLED STALLS ARE ASSUMED TO MEET CITY OF FORT WORTH CRITERIA FOR 60" PARKING STALLS.
 - ALL PROVIDED LIGHTING WILL CONFORM TO THE LIGHTING CODE.
 - ALL SIGNAGE WILL CONFORM TO ARTICLE 4, SIGNS.
 - PROJECT WILL COMPLY WITH "SECTION 6.301, LANDSCAPING."
 - PROJECT WILL COMPLY WITH "SECTION 6.302, URBAN FORESTRY."
 - ALL ROOFTOP SCREENING WILL COMPLY WITH CITY CODE.
 - ALL STREET TREE PLANTINGS WILL COMPLY WITH CITY CODE.
 - ALL PEDESTRIAN LIGHTING WILL COMPLY WITH CITY CODE.
 - DUMPSTER ENCLOSURES TO BE SCREENED WITH 10' MASONRY WALL AND METAL GATES.
 - ALL PARKING STALLS OUTSIDE OF THE RIGHT OF WAY ARE TO BE IN A PUBLIC ACCESS EASEMENT. EASEMENT IS TO FOLLOW THE BACK OF CURB LINE.
 - ALL BUILDING HEIGHTS BETWEEN GRADE BREAKS ARE TO BE MEASURED TO APPROXIMATELY THE TOP PLATE LINE.

PARKING SUMMARY TABLE

PARKING REQUIREMENTS

1 SPACE / 1 BEDROOM = 627
1 SPACE / 250 SF OF COMMON AREA = 20

PARKING COUNT

REQUIRED PROPOSED	647 SPACES
GARAGE ON-STREET	36 SPACES
STANDARD ADA ACC.	157
VAN ACC.	2
OFF-STREET STANDARD ADA ACC.	508
VAN ACC.	4
TOTAL	705 SPACES
WHEELSTOPS	194

BUILDING EXTERIOR CONSTRUCTION MATERIALS:

APARTMENT BUILDING:

- 60% MASONRY
- 40% FIBER CEMENT SIDING OR PANEL

SITE SUMMARY TABLE

STANDARDS ARE BASED ON PD 1302

SITE ACREAGE

10.23 ACRES

SETBACKS (MIN/MAX)

FRONT 0-20 FT
SIDE 0-20 FT
REAR 0-20 FT

BUILDING DATA

UNIT COUNT: 469 UNITS
APARTMENT BUILDING: ±504,500 SF, ±42 FT TALL

LAND USE

EXISTING: VACANT LAND
PROPOSED: URBAN RESIDENTIAL

GROSS FLOOR AREA

±504,500 SF

LAND DENSITY

45.84 UNITS/ACRE

ENGINEER
MANHARD CONSULTING
505 PECAN STREET
SUITE 201
FORT WORTH, TX 76102
817.865.5227

DEVELOPER
CROSS DEVELOPMENT
4317 MARSH RIDGE ROAD
CARROLLTON, TX 75010
469.328.3061

SURVEYOR
MANHARD CONSULTING
505 PECAN STREET
SUITE 201
FORT WORTH, TX 76102
817.865.5344

ARCHITECT
CROSS ARCHITECTS
879 JUNCTION DRIVE
ALLEN, TX 75013
469.393.1122

LAND USE & ZONING

EXISTING LAND USE: VACANT LAND
PROPOSED LAND USE: URBAN RESIDENTIAL

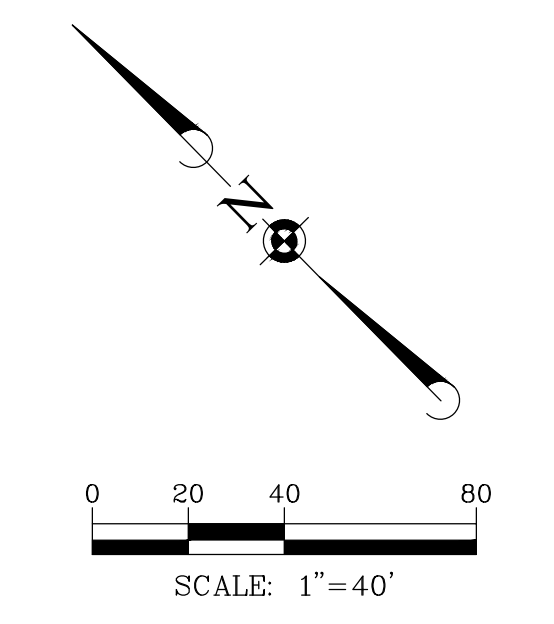
EXISTING ZONING: PLANNED DEVELOPMENT
PROPOSED ZONING: N/A

Line Table

Line #	Length	Direction
L1	16.110	N9° 13' 27.29"W
L2	6.673	N44° 26' 51.00"E
L3	20.997	N45° 33' 09.00"W
L4	6.673	S44° 26' 51.00"W
L5	16.110	N81° 52' 50.71"W
L6	8.320	N11° 52' 11.04"W
L7	5.999	N44° 26' 51.00"E
L8	12.498	N45° 33' 09.00"W

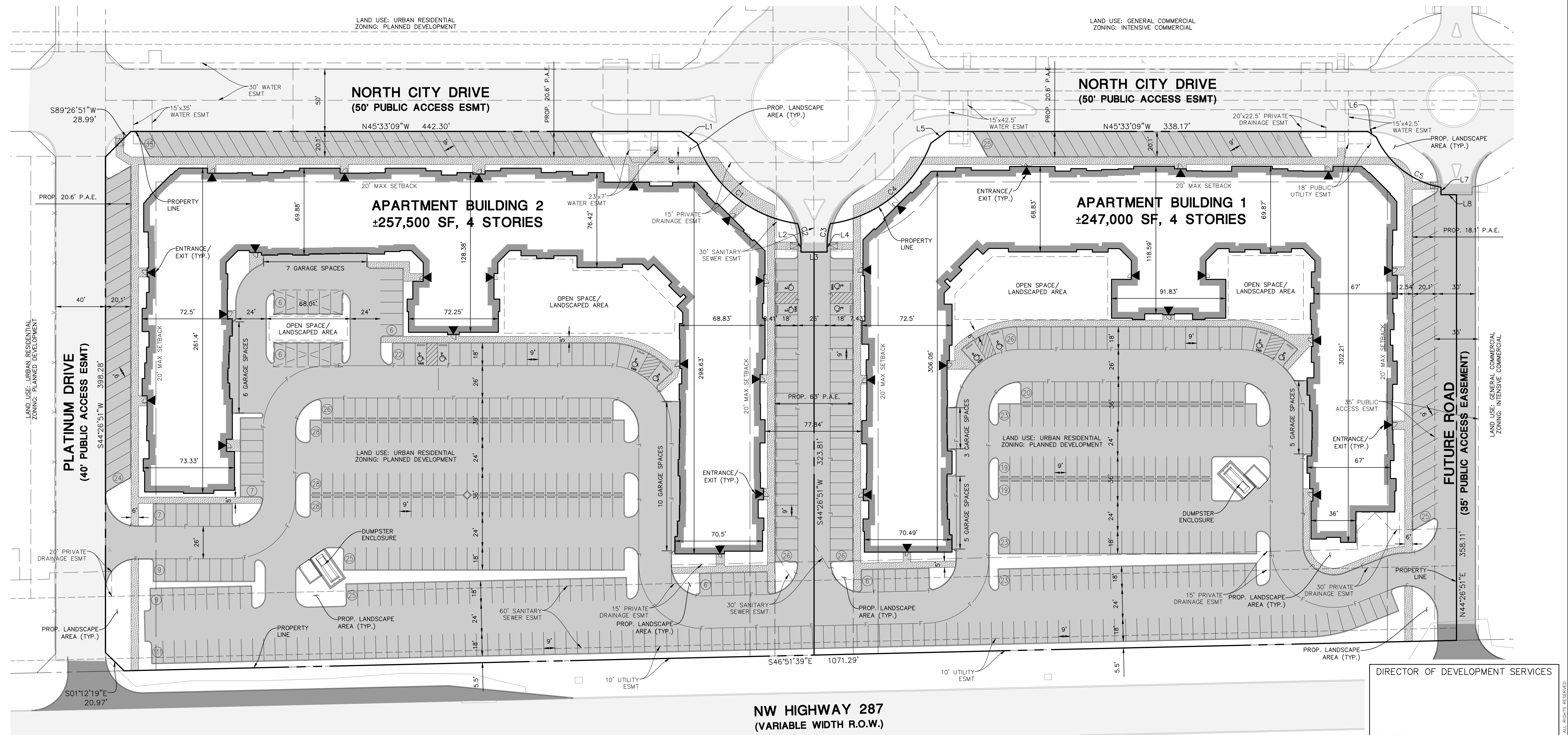
Curve Table

Curve #	Length	Radius	Delta
C1	108.525	99.985	062.1895
C2	16.506	49.492	019.1086
C3	16.506	49.492	019.1086
C4	108.525	99.985	062.1895
C5	68.402	70.989	055.2075



LEGEND

- PROPOSED CONCRETE SIDEWALK
- PROPOSED CONCRETE PAVING
- PROPOSED CONCRETE PAVING (BY OTHERS)
- EXISTING CONCRETE PAVING



DIRECTOR OF DEVELOPMENT SERVICES

DATE: _____

NORTH CITY APARTMENTS - PHASE 2

ZONING CASE NO: SP-XX-XXX

Manhard CONSULTING

505 Pecan Street, Suite 201, Fort Worth, TX 76102, Ph: 817.865.5344, manhard.com
Civil Engineers | Surveyors | Water Resource Engineers | Water & Waste Water Engineers
Construction Managers | Environmental Scientists | Landscape Architects | Planners
Texas Board of Professional Engineers & Land Surveyors Reg. No. F-10194754 (Surv), F-29055 (Eng)

NORTH CITY APARTMENTS - PHASE 2
8701 & 8601 NORTH CITY DRIVE, FORT WORTH, TARRANT COUNTY, TEXAS
LOTS 1 & 2, BLOCK 2, NORTH CITY ADDITION-EAST

SITE PLAN

FOR INTERIM REVIEW ONLY
THIS DOCUMENT IS NOT
ISSUED FOR CONSTRUCTION
OR PERMITTING PURPOSES
JONATHAN D. RUSSELL, P.E.
TEXAS P.E. No. 108855
ISSUED THIS DATE:
5/31/2024

PROJ. MGR.: JR
PROJ. ASSOC.: KH
DRAWN BY: JD
DATE: 5/31/2024

SHEET
SP
611.062003

PENDING

EXHIBIT A

ZC-20-171

DEVELOPMENT REGULATIONS

Development of the subject property shall be in conformance with the Zoning Ordinance of the City of Fort Worth, and as amended, except as noted in the regulations below.

“PD/MU-2” Planned Development for all uses in “MU-2” High Intensity Mixed-Use with specific development regulations related to Setbacks, Yard Standards, Minimum Height Single Use, Maximum Height Single Use, Off Street Parking, Off-Street Parking and Loading Standards, Enhanced Landscaping, Landscaping in Parking and Driveway Areas, Façade Design Standards, Façade Variation, Fenestration, Building Materials, Building Entries, Signs, Screening, and Drive-In Business alcohol sales as provided below:

Setback	Minimum rear yard setback may be 0'. Buildings may be set back up to 11' from a common property line.
Yard standards	Building facades shall be located within the area between the property line and the maximum setback for a minimum of 55% average of the primary street frontage
Minimum Height Single Use	Small buildings or single use commercial buildings may be 1 story.
Maximum Height Single Use	A maximum height of 8 stories (plus height bonus) is allowed for multifamily buildings.
Maximum Parking Requirements	Maximum commercial, mixed use parking is 125% of required.
Minimum Parking Requirements	Townhouse - 1.5 parking spaces per dwelling unit. Apartment/Condominium - 1.45 parking spaces per dwelling unit. Senior Living (Age restricted to 50 and over) - 1 parking space per dwelling unit.
Off-Street Parking and Loading Standards	Surface parking shall be permitted between a building and the street off of internal streets and private drives. The maximum surface parking lot frontage shall not exceed 40% average of the development's total site frontage along a project's primary streets.
Enhanced Landscaping Point Requirements	Only installation of street trees and pedestrian level lighting are required
Required Spacing for Parking Lot Tree Planting	Every Parking space is required to be not more than 100 feet from a large

	<p>canopy tree.</p> <p>5' x 5' diamond-shaped landscape islands are permitted.</p>
Façade Variation	Each new building façade that is greater than 100 feet in width and is oriented to a publicly accessible street or open space shall incorporate all scaling elements. For building facades less than 100 feet in width, a minimum of two elements are required.
Fenestration	Commercial or mixed-use ground story fenestration may not be 60% fronting primary streets and 40% fronting side streets, depending upon type of use.
Fenestration	Residential ground story fenestration will be 20% fronting primary streets and 20% fronting side streets.
Fenestration Alternatives	<p>Energy efficient windows shall count 100% towards fenestration requirement.</p> <p>If the windows do not meet the visible transmittance rating of 0.5 or greater, the alternative can count toward fifty percent of the fenestration requirement.</p>
Façade Design Standards	Parking structure openings may not exceed 70% of the total ground floor facade. At least 50% will be covered by material surface or landscaping or architectural screening. See parking structure conceptual façade exhibit.
Building Materials	<p>Patterned, texture coated, or textured concrete is allowed.</p> <p>Maximum 40% cement board siding may be used.</p> <p>Maximum 20% pre-finished metal façade material may be used (requires ACC approval).</p>
Building Entries – Individual Entries	Apartments, condominiums and manor houses with street level units are not required to have individual entries, each building will have an entry on street level.
Building Entries- Apartment Spacing	Building entries may be up to 175' apart. See multi-family entry exhibit.
Building Entries- Corner Buildings	An entry or patio shall be provided on corners of building on a primary street with ground floor retail uses.

	The entry may face a paseo.
Signs- Maximum Aggregate area	There is no maximum aggregate area of signs per facade.
Signs- Calculation area	The facade area shall be calculated at 45 feet
Service Area Location and Screening	If trash and/or recycling collection is located on the street frontage, it shall be screened with a solid wall on 3 sides with landscaping and have a metal gate. Collection areas shall not be located at front door/main door entry.
Roof Top Screening	Rooftop shall be screened by parapet or built in screenup to the same height as roof mounted equipment. On any sloped roof area, equipment is to be located on the side that does not face a public street.
Drive-In Business	Drive thru windows are allowed on establishments that sell alcohol, but alcohol cannot be sold at the drive thru window.

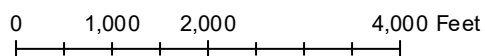
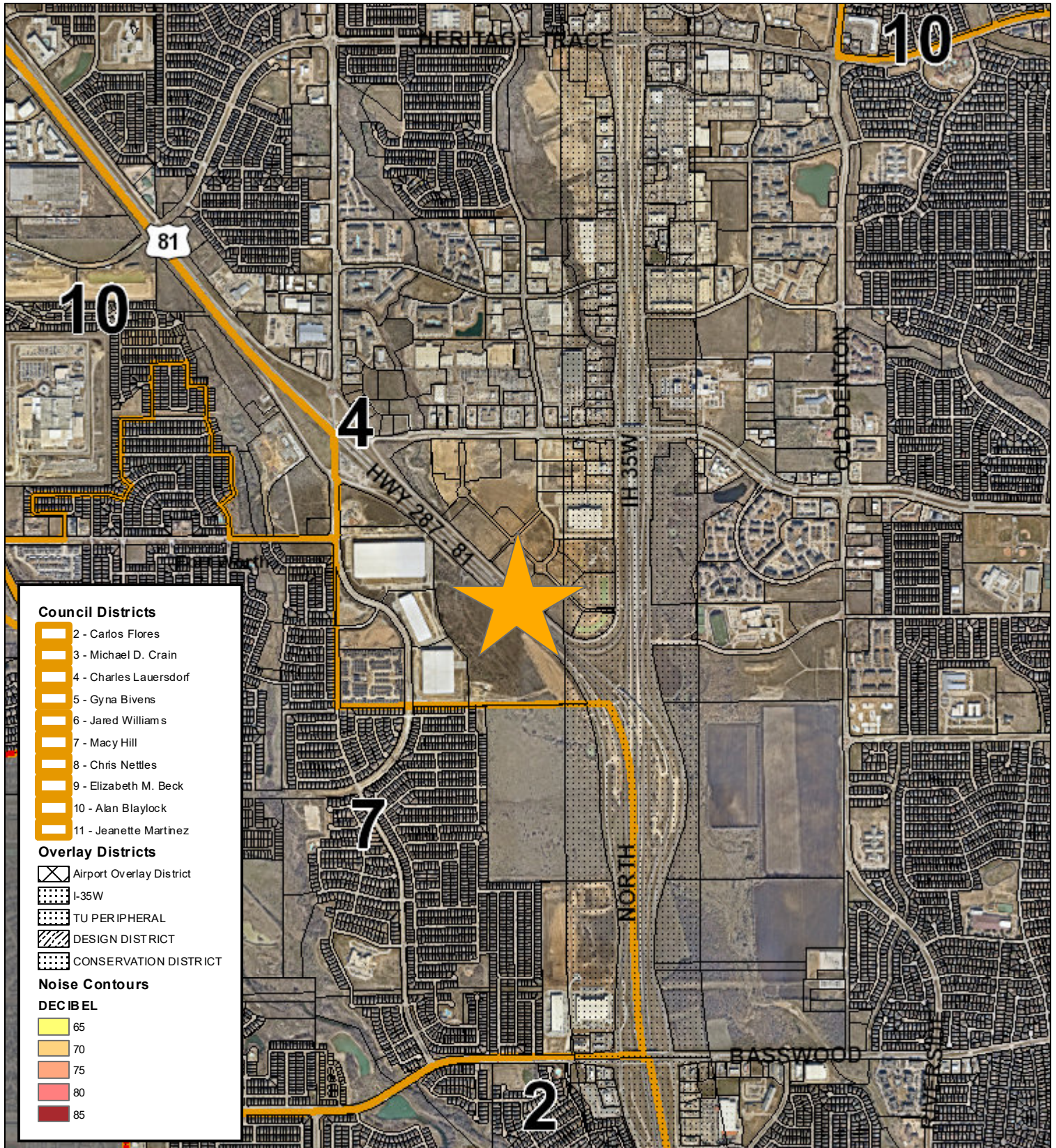
"PD/UR" Planned Development for all uses in "UR" Urban Residential with specific development standards related to Setbacks, Off Street Parking, Other Off-Street Parking and Loading Standards, Enhanced Landscaping, Parking Lot Landscaping, Facade Variation, Facade Design Standards, Building Materials, Building Entries, Signs, Screening, Height, and Density, and allowed uses as provided below; site plan required

Rear Setback	Minimum rear yard setback may be zero (0')
Minimum Parking Requirements	Senior Living - 1 parking space per dwelling unit
Off-Street Parking and Loading Standards	Only along frontage for Hwy 287 - Surface parking shall be permitted between a building and the street off of internal streets and private drives Townhouse - 1.5 parking spaces per dwelling unit. Apartment/Condominium - 1.45 parking spaces per dwelling unit. Senior Living (Age restricted to 50 and over) - 1 parking space per dwelling unit.
Enhanced Landscaping Point Requirements	Only installation of street trees and pedestrian level lighting are required

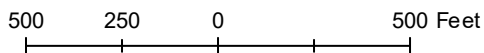
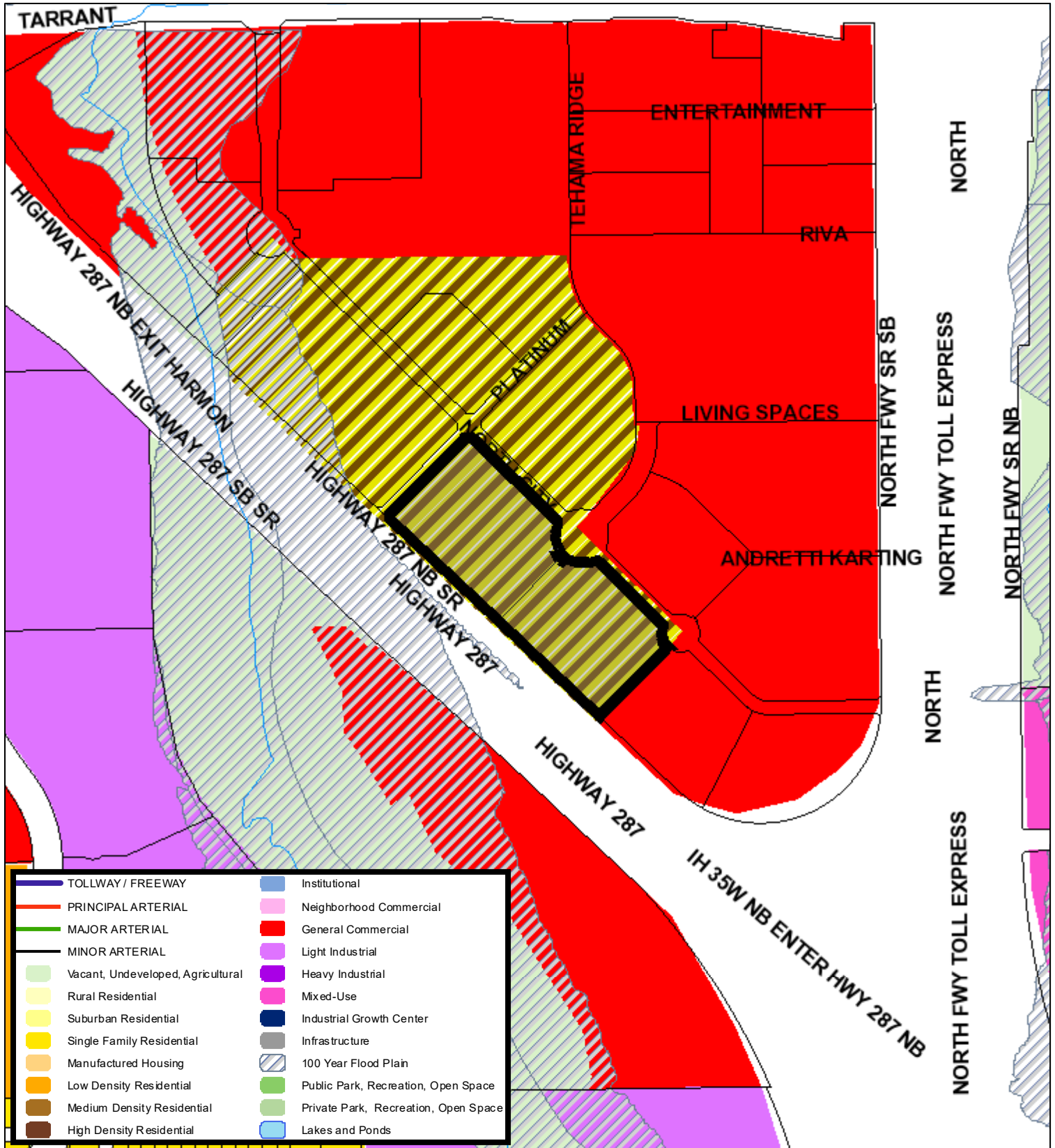
Landscaping for On-Street Parking	No parking screening is required for on-street parking
Required Spacing for Parking Lot Tree Planting	Every parking space is required to be not more than 100 feet from a large canopy tree. 5x5 diamond shaped landscape islands are permitted
Façade Variation	Each new building façade that is greater than 100 feet in width and is oriented to a publicly accessible street or open space shall incorporate all scaling elements. For building facades less than 100 feet in width, a minimum of two elements are required.
Façade Design Standards	Parking structure openings may not exceed 70% of the total ground floor façade. At least 50% will be covered by material surface or landscaping or architectural screening.
Building Materials	Patterned, texturecoated, or textured concrete is allowed. Maximum 40% cement board siding may be used. Maximum 20% pre-finished metal façadematerial may be used
Building Entries	Apartments, condominiums and manor houses with street level units are not required to have individual entries, each building will have an entry on street level. Interval of entry spacing may exceed 125 feet. a. See multi-family entry exhibit.
Townhome Signs	Townhomes may have signage similar to apartments.
Signs	Maximum sign area shall be 200 square feet. Blade signs/marque signs are allowed to be mounted on building face, and under canopy or awning.
Non-Residential Signs	Nonresidential site signs may be up to 8 feet above grade and up to 100 squarefeet. Nonresidential wall signs are allowed to be up to 10%of wall area up to 25 feet tall.
Service Area Location and Screening	If trash and/or recycling collection is located on the street frontage, it shall be screened with a solid wall on 3 sides with landscapingand have a metal gate.

	Collection areas shall not be located at front door main entry
Roof Top Screening	<p>Rooftop shall be screened by parapet or built in screen up to the same height as roof mounted equipment.</p> <p>On any sloped roof area, equipment is to be located on the side that does not face a public street</p>
Height	Maximum height of 8 stories (Plus height bonus) is allowed.
Density	65 units per acre allowed for all types
Other allowed uses	Additional building types are commercial, restaurant, and entertainment

Area Map



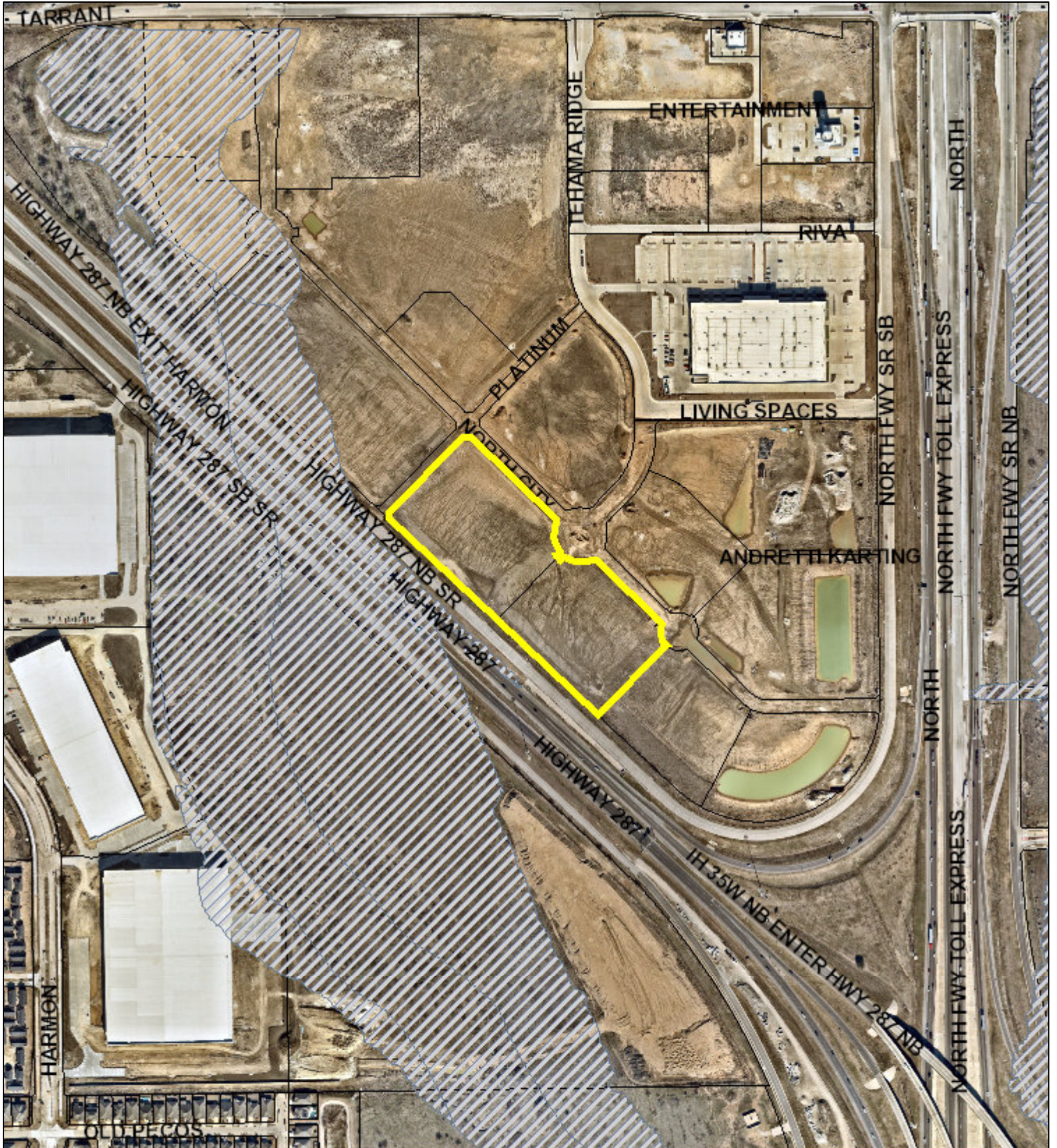
Future Land Use



A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



Aerial Photo Map



0 310 620 1,240 Feet

