



**ZONING COMMISSION  
AGENDA**

Wednesday, February 12, 2025  
Work Session 12:00 PM  
Public Hearing 1:00 PM

**Work Session**

In-Person:  
City Council Conference Room 2020  
200 Texas Street  
2<sup>nd</sup> Floor  
Fort Worth, Texas 76102

**Public Hearing**

In-Person:  
City Council Chamber  
200 Texas Street  
2<sup>nd</sup> Floor  
Fort Worth, Texas 76102

**Videoconference**

<https://fortworthtexas.webex.com/fortworthtexas/j.php?MTID=mf351fcb8883ddeb38057d544ffc0588b>

Meeting/ Access Code: 2555 226 6894

**Teleconference**

817-392-1111 or 469-210-7159 United States Toll (Dallas)  
Meeting/ Access Code: 2555 226 6894

**Viewing Only**

Television: Charter 190; One Source 7; Verizon 5; AT&T Uverse 99  
City of Fort Worth Website Homepage: Watch Live Online

**Staff Report Link**

[www.fortworthtexas.gov/files/assets/public/v/1/development-services/documents/zoning-cases/docket-agenda-minutes/2-12-25-docket.pdf](http://www.fortworthtexas.gov/files/assets/public/v/1/development-services/documents/zoning-cases/docket-agenda-minutes/2-12-25-docket.pdf)

**This meeting will be conducted by videoconference or telephone call in accordance with the Texas Open Meetings Act.**

**Members of the Zoning Commission may be participating remotely by Videoconference in accordance with the Texas Open Meetings Act. The location identified on this agenda is the location at which the presiding officer will be physically present and presiding over the meeting.**

**There are two ways that any member of the public may address the Zoning Commission regarding an item listed on the agenda.**

1. **Virtual –By 5 pm prior to the day of the meeting, register at the following link:**

<https://fortworthtexas.webex.com/weblink/register/rbd9c8c821e1f7e269d65bc65defdbbd6>

2. **In Person –Prior to the start of the meeting, sign-up at the desk located at the entrance to the Council Chambers. Additionally, you may register to speak in person utilizing the link in the virtual instructions above. For questions or assistance with registration, please contact Laura Ruiz at Laura.Ruiz@fortworthtexas.gov or 817-392-8047. Free parking vouchers are available for anyone attending the Zoning Commission meetings. Zoning staff will be available before and after the meeting to hand them out and will be located at the desk where the agendas and sign-up to speak forms are located. Parking is available at the Fort Worth Convention Center Garage located at 1200 Houston St., directly across the street from the Convention Center. The free parking voucher is only available for this parking garage. Upon entering the garage, attendees will need to pull a ticket from the dispenser in the entry lane and they will need to present this ticket in order to obtain a voucher to park without cost. The voucher will be good until 6:00 p.m.**

Please note that the City of Fort Worth is using a third-party vendor to assist with City meetings. If there are service interruptions, including call-in number changes, we will provide alternative call-in numbers on our website whenever possible.

**COMMISSION MEMBERS:**

Rodney Mayo, CD 1	_____	Jeremy Raines, CD 7	_____
Brian Trujillo, CD 2	_____	Tammy Pierce, CD 8	_____
Beth Welch, CD 3	_____	Wes Hoblit, Vice Chair CD 9	_____
Matt McCoy, CD 4	_____	Jacob Wurman, CD 10	_____
Rafael McDonnell, Chair, CD 5	_____	Cathy Romero, CD 11	_____
Kelicia Stevenson, CD 6	_____		

**I. WORK SESSION/Lunch 12:00 PM City Council Conference Room 2020**

- A. Overview of Zoning Cases on Today’s Agenda** Staff

**II. PUBLIC HEARING 1:00 PM**

CASES HEARD AT TODAY’S PUBLIC HEARING ARE SCHEDULED TO BE HEARD AT THE CITY COUNCIL MEETING ON TUESDAY, MARCH 11, 2025, AT 6 P.M., UNLESS OTHERWISE NOTED.

**CALL TO ORDER**

- A. APPROVAL OF MEETING MINUTES of January 8, 2025** Chair

*\*\*\*See the “Staff Report” link on the first page for the cases below. \*\*\**

**B. CONTINUED CASES**

- 1. ZC-24-135** **Case Manager: Sandy Michel** **CD 10**

- a. Site Location: 1101 Highway 114

- b. Acreage: 2.49
- c. Applicant/Agent: Traditions Investors LLC / Ray Oujesky & Teddy Boschini with Kelly Hart & Hallman LLP
- d. Request: From: "A-5" One-Family  
To: "PD/D" Planned Development for all uses in "D" High Density Multifamily for detached multifamily with development standards for reduced front yard setback, reduction in open space, fencing located between buildings and ROW; unit locations; MFD waiver requested; site plan required.

***This case will be continued to the March 12, Zoning Commission. No Public Hearing will be held.***

**2. ZC-24-158 Case Manager: Sandy Michel CD 7**

- a. Site Location: 2498 Silver Creek Road
- b. Acreage: 0.96
- c. Applicant/Agent: City of Fort Worth Water Department / Joshua Kercho
- d. Request: From: "A-21" One-Family Residential  
To: "CF" Community Facilities; Add Conditional Use Permit (CUP) to allow a wastewater lift station in "CF" Community Facilities, site plan included.

**3. ZC-24-159 Case Manager: Beth Knight CD 11**

- a. Site Location: 1000 Wallace Street
- b. Acreage: 1.02
- c. Applicant/Agent: Oncor Electric Company/Travis Yanker
- d. Request: To: Add Conditional Use Permit (CUP) to allow an electrical power substation in "FR" General Commercial Restricted with waivers to allow structures in the projected front yards and fencing materials, site plan included.

**4. ZC-24-161 Case Manager: Lynn Jordan CD 2**

- a. Site Location: 3001, 3002, & 3004 N Crump Street
- b. Acreage: 0.504
- c. Applicant/Agent: Letz Re Holdings LLC / Willbanks Metals / Cheyenne Haddad with Pope, Hardwicke, Christie, Schell & Taplett LLC
- d. Request: To: Add Conditional Use Permit (CUP) for auxiliary parking lot in "A-5" One-Family district with waivers to allow within the front yard setback: parking, gate pad, light poles and fencing; site plan included.

**C. NEW CASES**

**5. ZC-24-063 Case Manager: Stephen Murray CD 11**

- a. Site Location: 519-521 (odds) and 601 Paradise St & 518, 519, 520, Baurline St
- b. Acreage: 0.90
- c. Applicant/Agent: Trinity Phoenix LLC / Felix Wong
- d. Request: From: "A-5" One-Family Residential

To: "PD-CR" Planned Development for detached multifamily on one lot developed to "CR" Low Density Multifamily, with development standards for decrease front yard setback, setback adjacent to one- or two-family residential district, reduced open space, Site Plan included

**6. ZC-25-013 Case Manager: Lynn Jordan CD 11**

- a. Site Location: 3626 Meadowbrook Drive
- b. Acreage: 0.58
- c. Applicant/Agent: Stephen Rivers / Brian Milligan
- d. Request: To: Amend PD1397 Planned Development for "ER" Neighborhood Commercial restricted plus coffee shop, to allow dumpster and enclosure within the 20 ft. supplemental setback; site plan included (SP-24-016).

**7. ZC-24-132 (AX-24-014) Case Manager: Lynn Jordan (Future) CD 10**

- a. Site Location: Generally bounded by Seventeen Lakes Blvd., Round Valley Ln., Endeavor and Litsey Rd.
- b. Acreage: 35.86
- c. Applicant/Agent: Gunner Chi / Whigham Family Ltd Partnership & Nolin W. Ragsdale, I AM ONE, INC., & Rob Betancur-Zena Land Development, LP
- d. Request: From: Unzoned  
To: "A-5" One-Family Residential

**8. ZC-24-166 Case Manager: Beth Knight CD 9**

- a. Site Location: 1309 E Peach Street
- b. Acreage: 0.115
- c. Applicant/Agent: Elizabeth Padilla / PDuran Properties LLC
- d. Request: From: "D" High Density Multifamily/ Historic Samuels Design District Overlay  
To: "MU-1" Low Intensity Mixed-Use/ Historic Samuels Design District Overlay

**9. ZC-24-171 Case Manager: Christine Ross CD 2**

- a. Site Location: 3060 Hardy Street
- b. Acreage: 0.16
- c. Applicant/Agent: Josue Cardenas / Mark Salgado
- d. Request: From: "I" Light Industrial  
To: "A-5" One-Family Residential

**10. ZC-24-172 Case Manager: Stephen Murray CD 3**

- a. Site Location: 5105 & 5201 Benbrook Highway & 7615, 7625, 7599 Mary's Creek
- b. Acreage: 7.015
- c. Applicant/Agent: Darin McReynolds Norman, Urbanworth, LLC / Robert Etal Pulido Sr

- d. Request: From: "E" Neighborhood Commercial & "C" Medium Density Multifamily  
To: "PD/E" Planned Development for all uses in "E" Neighborhood Commercial plus terminal, truck and freight, storage or display outside; trailer, portable; sales, construction or storage; automotive repair; vehicle sales or rental; outdoor sales and storage, garage repair, truck driving school; site plan waiver requested

**11. ZC-24-173** **Case Manager: Stephen Murray** **CD 3**

a. Site Location: 8100 W Elizabeth Lane  
b. Acreage: 0.386  
c. Applicant/Agent: Darunee Moore / Rodney Matthew  
d. Request: To: Add Conditional Use Permit (CUP) for halfway house in "CF" Community Facilities.

**12. ZC-25-001** **Case Manager: Beth Knight** **CD 2**

a. Site Location: 4501 Angle Avenue & 2851 NW Loop 820  
b. Acreage: 31.34  
c. Applicant/Agent: Marine Landings, LLC / Jeff Landon / Taylor Mitchamd.  
Request: From: "C" Medium Density Multifamily  
To: "PD/J" Planned Development for all uses in "J" Medium Industrial excluding waste related, agricultural and accessory uses with development standards to reduce landscape buffers and 75% landscaping in front of the building, site plan included

**13. ZC-25-002** **Case Manager: Sandy Michel** **CD 10**

a. Site Location: 644 E Bond Ranch Road  
b. Acreage: 0.81  
c. Applicant/Agent: Tony Winchester / Jorge Garay  
d. Request: From: "AG" Agricultural  
To: "I" Light Industrial

**14. ZC-25-004** **Case Manager: Sandy Michel** **CD 11**

a. Site Location: 521 & 2109 Beach Street and 4021, 4025 E. 4<sup>th</sup> Street  
b. Acreage: 31.33  
c. Applicant/Agent: Josh Eadie / Amanda Matas / Bo Trainor  
d. Request: From: "I" Light Industrial & "B" Two-Family Residential  
To: "PD/D" Planned Development for "D" High-Density Multifamily plus detached multifamily with development standards for: less than the 30' minimum setback along one-family district, no bufferyard plantings, and to allow fencing along in front of building and along the ROW, no tree canopy preservation requirement; site plan included.

**15. ZC-25-006** **Case Manager: Beth Knight** **CD 11**

- a. Site Location: 5331 Old Handley Road
- b. Acreage: 0.22
- c. Applicant/Agent: Samuel Martinez / Marcelo Barron
- d. Request: From: "A-7.5" One-Family Residential  
To: "A-5" One-Family Residential

**16. ZC-25-007 Case Manager: Christine Ross CD 6**

- a. Site Location: 9705 Block of Old Granbury Road (E. of Chisolm Trail Pkwy, S. of W Risinger Road and W. of Summer Creek Drive)
- b. Acreage: 38.77
- c. Applicant/Agent: HMH VSC Land LLC / Preston Pittman, ONM Living / Lori Lusk, Kimley-Horn Associates
- d. Request: From: "R2" Townhouse/Cluster  
To: "C" Medium Density Multifamily

**17. ZC-25-009 Case Manager: Lynn Jordan CD 7**

- a. Site Location: 2501 and 2601 Montgomery Street
- b. Acreage: 7.404
- c. Applicant/Agent: Montgomery Corner, LLC / Mack Pogue, PPC Land Ventures Inc. / Landon King, LJA Engineering, Inc.
- d. Request: From: "J" Medium Industrial  
To: "PD/G" Planned Development for all uses in "G" Intensive Commercial plus hotel, multifamily, brewery, distillery & winery and excluding automotive uses and industrial uses with development guidelines attached as (exhibit A); site plan waiver requested.

**18. ZC-25-010 Case Manager: Christine Ross CD 7**

- a. Site Location: 5001 Dexter Avenue
- b. Acreage: 0.14
- c. Applicant/Agent: Larry L. Fowler, Jr. / Chad Bates
- d. Request: From: PD 322 "PD/SU Planned Development/Specific Use for a church education building with living area. Site plan required  
To: "A-5" One-Family Residential

**19. ZC-25-012 Case Manager: Lynn Jordan CD 9**

- a. Site Location: 3225 South University Drive
- b. Acreage: 0.16
- c. Applicant/Agent: Alex Veigel
- d. Request: From: PD 95 "PD-SU" for an insurance office; maintaining existing architecture; providing for parking in rear yard only/TCU Residential Overlay.  
To: "C" Medium Density Multifamily/TCU residential Overlay

**20. ZC-25-035(Text Amendment) Case Manager: Stephen Murray All Districts**

- a. Site Location: City Wide
- b. Applicant/Agent: City of Fort Worth
- c. Request: To: An Ordinance Amending The Zoning Ordinance of The City of Fort Worth, By Amending Chapter 9, "Definitions", Section 9.101, "Defined Terms" To Remove "Unified Residential Development" And Amend "Commercial/Institutional Use", "Floor Area", "Open Space", "Net Land Area", And "Open Space"; Amending Chapter 6 "Development Standards," Article 1, "General" Section 6.100, "Height" To Add "I" Light Industrial To Where The Height of A Building May Be Increased; And To Amend Various Sections of The Zoning Ordinance To Remove References To Section 6.506 of The Zoning Ordinance And "Unified Residential Development" And Replace Such References With Appropriate Sections.

**D. ADJOURNMENT:** \_\_\_\_\_

**ASSISTANCE AT THE PUBLIC MEETINGS:**

This meeting site is wheelchair accessible. Persons with disabilities who plan to attend this meeting and who may need accommodations, auxiliary aids, or services such as interpreters, readers, or large print are requested to contact the City's ADA Coordinator at (817) 392-8552 or e-mail [ADA@FortWorthTexas.gov](mailto:ADA@FortWorthTexas.gov) at least 48 hours prior to the meeting so that appropriate arrangements can be made. If the City does not receive notification at least 48 hours prior to the meeting, the City will make a reasonable attempt to provide the necessary accommodations.

**ASISTENCIA A REUNIONES PUBLICAS:**

Este sitio de reunión es accesible con silla de ruedas. Se solicita a las personas con discapacidades que planean asistir a esta reunión y que necesitan acomodaciones, ayudas auxiliares o servicios tales como intérpretes, lectores o impresiones con letra grande, que se comuniquen con el Coordinador de la Asociación Americana de Discapacitados (ADA) de la Ciudad llamando al teléfono (817) 392-8552 o por correo electrónico a [ADA@FortWorthTexas.gov](mailto:ADA@FortWorthTexas.gov) por lo menos 48 horas antes de la reunión, de modo que puedan hacerse los arreglos adecuados. Si la Municipalidad no recibe una notificación por lo menos 48 horas antes de la reunión, ésta hará un intento razonable para proporcionar las acomodaciones necesarias.

**Executive Session.**

A closed executive session may be held with respect to any posted agenda item to enable the Commission to receive advice from legal counsel, pursuant to Texas Government Code, Section 551.071.



# Zoning Staff Report

**Date:** February 12, 2025

**Case Number:** ZC-24-158

**Council District:** 7

## Zoning Map Amendment & Site Plan

**Case Manager:** [Sandy Michel](#)

**Owner / Applicant:** City of Fort Worth/ Josh Kercho

**Site Location:** 2498 Silver Creek Road

**Acreage:** 0.955 acre

### Request

**Proposed Use:** Wastewater Lift Station

**Request:** From: "A-21" One Family Residential  
To: "CF" Community Facilities; Add Conditional Use Permit (CUP) to allow a wastewater lift station in "CF" Community Facilities, site plan included.

### Recommendation

**Land Use Compatibility:** Requested change **is compatible**

**Comprehensive Plan Map Consistency:** Requested change **is consistent**

**Comprehensive Plan Policy Consistency:** Requested change **is consistent**

**Staff Recommendation:** **Approval**

### Table of Contents

1. [Project Description and Background](#)
2. [Surrounding Zoning and Land Uses](#)
3. [Recent Zoning History](#)
4. [Public Notification](#)
5. [Development Impact Analysis](#)
  - a. [Land Use Compatibility](#)
  - b. [Comprehensive Plan Consistency](#)
6. Zoning Map with 300 ft. Notification Area
7. Area Map
8. Future Land Use Map
9. Aerial Photograph



## Project Description and Background

The subject property, encompassing approximately 0.955 acres, is located southwest of the intersection of Western Oaks Road and Silver Creek Road (**Figure 1**). It is situated within the Jacob Wilcox #2 Survey, Abstract No. 1725. Currently, the property is vacant, as are the surrounding areas, with the exception of a residential home located to the west along Silver Creek Road and Western Oaks Boulevard (**Figure 2**). The vacant parcels are zoned as “A-21” One-Family Residential, while the residential home is zoned as “A-5” One-Family Residential.

The applicant, the City of Fort Worth Water Department, intends to develop a Wastewater Lift Station to serve the city. Details regarding this proposed use were outlined in the submitted zoning application, which also included a site plan illustrating the proposed development (**Figure 3**). Additionally, a survey of the property was provided, specifying the area for the requested zoning changes (**Figure 4**).

A site plan is required for this rezoning due to the nature of the requested use within the proposed zoning district, Community Facilities (CF). According to our ordinance 4.407.e.1 (‘*Site Plan Requirements*’) a site plan is required for a Conditional Use Permit (CUP). The CUP ensures that the proposed development mitigates potential impacts upon the surrounding community. As part of this process, the site plan must demonstrate how the proposed use will function within the site, including access, parking, landscaping, and other relevant considerations.

The site has FEMA Floodplain and deep potential high water seen on the site that may exceed 5 ft in depth on the roads. Not located in a regulatory local City Flood Risk Area. Road overtopping events are noted south of the site near channel crossing.

### Applicant’s Description

The applicant has provided a detailed project description to help us understand the reason for the request. The applicant has written, “*The City of Fort Worth Water Department is proposing to install a new regional wastewater lift station along Silver Creek to accommodate anticipated development by providing wastewater service in this part of the City. The lift station was identified in the City’s wastewater master plan as project no. 96 and is shown on the attached wastewater impact fee capital improvements plan for reference.*”

*Per PDC-24-0221 City staff recommended pursuing rezoning of the existing site from A-21 to CF to accommodate the proposed usage.*

*We are also requesting a conditional use permit (CUP) as part of this application to permit the proposed usage.”*



Figure 1: Site Photos taken by staff on 1/30/2025; view from Western Oaks Boulevard



Figure 2: Site Photos taken by staff on 1/30/2025; view from the corner of Silver Creek Road and Western Oaks Boulevard

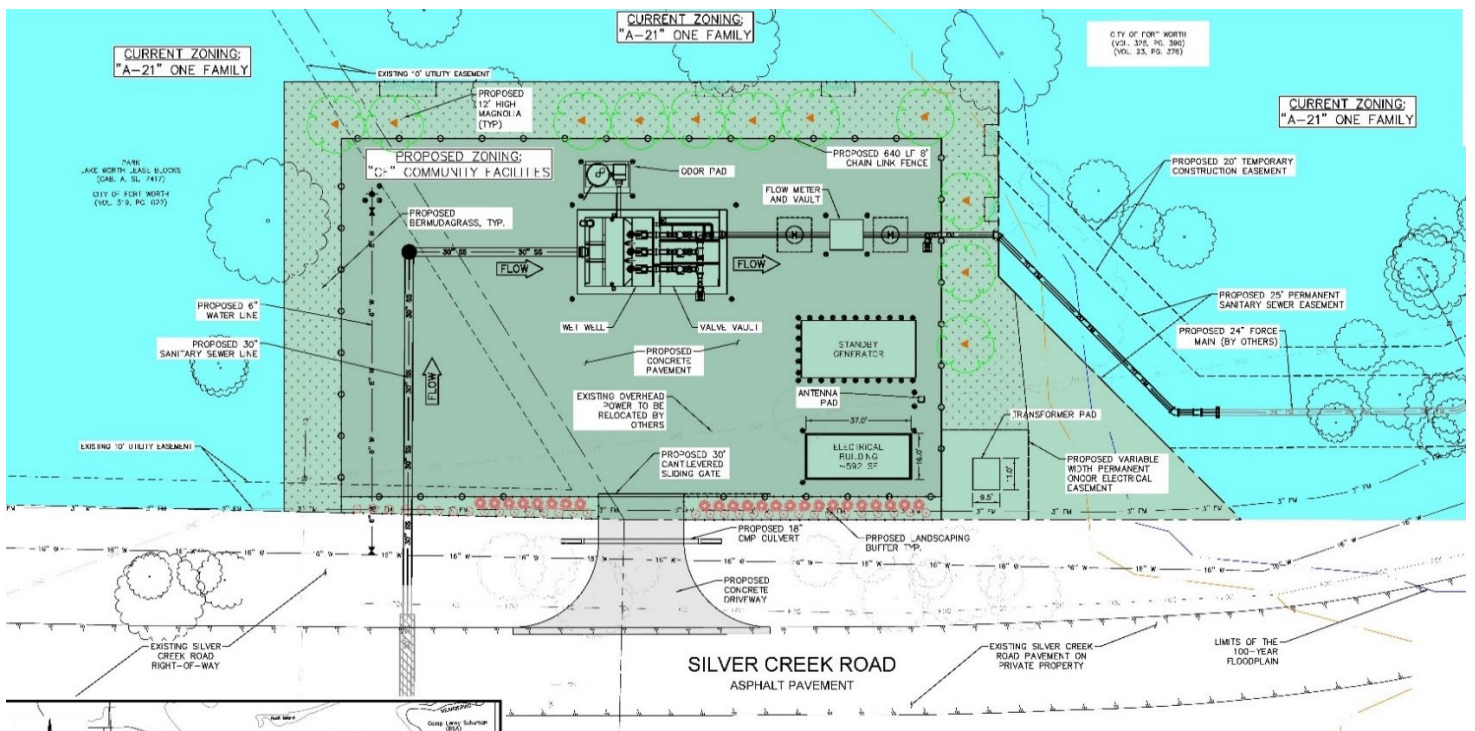
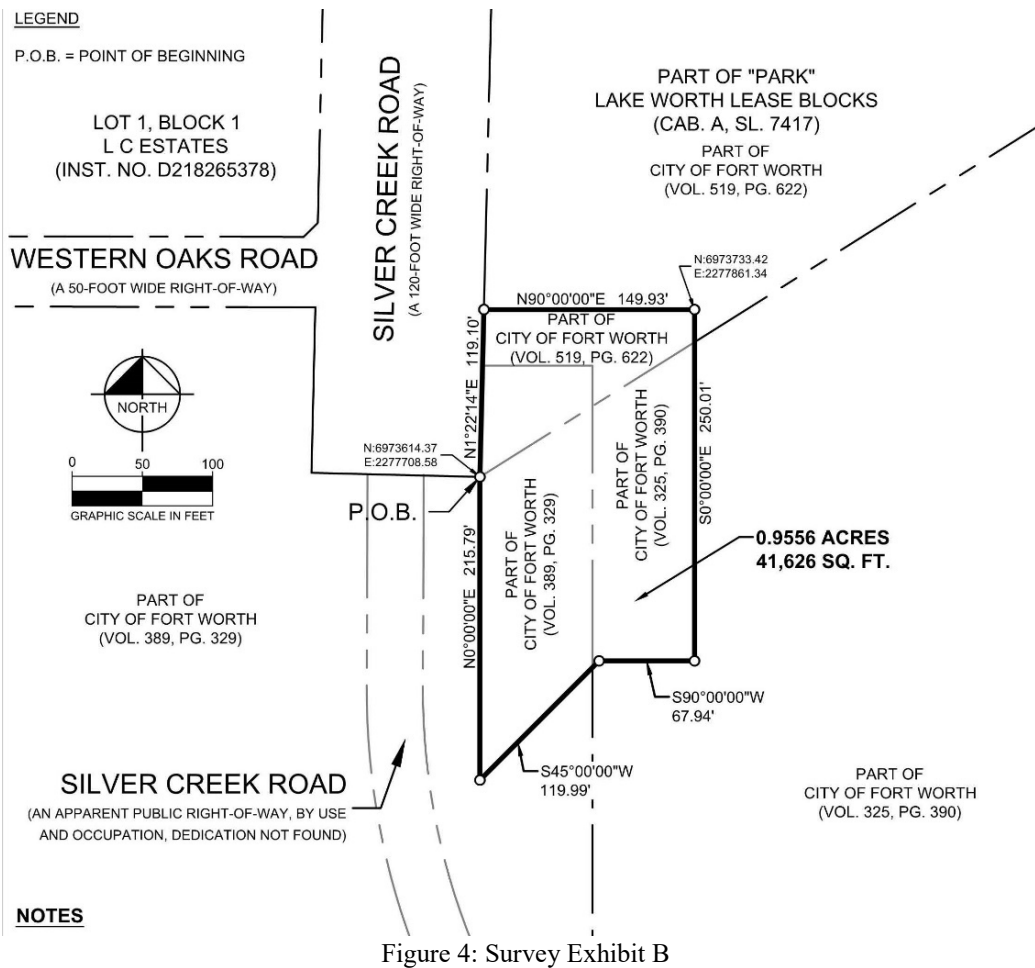


Figure 3: Required Site Plan



## Zoning History

- ZC-07-112; The requested rezoning was from "A-10" One Family Residential to "A-21" One Family Residential. Approval at the 06/13/2007 meeting.

## Public Notification

### Written Notice

Written notice of the Zoning Commission public hearing was mailed to the owners of real property lying within 300 feet on January 31, 2025.

### Posted Notice

A sign was erected on the property not less than 10 days before the Zoning Commission public hearing date.

### Published Notice

A notice of the public hearing before the City Council will be published in the Fort Worth Star-Telegram at least 15 days before the hearing.

### Courtesy Notice

The following organizations were emailed on January 31, 2025:

Organizations Notified	
Trinity Habitat for Humanity	Streams and Valleys Inc
Neighborhood Association on South Lake Worth	

\* Located within a registered Neighborhood Organization

## Surrounding Zoning and Land Uses

North	“A-21” One Family / Vacant land
East	“A-21” One Family / Vacant land
South	“A-21” One Family / Vacant land
West	“A-5” One Family / Residential

## Development Impact Analysis

### Land Use Compatibility

The surrounding area primarily consists of vacant properties, except a single-family residence located nearby. The applicant is seeking to rezone the subject parcel to facilitate the development of a wastewater lift station. This proposed development is a component of the City of Fort Worth’s Wastewater Master Plan, identified as Project No. 96 (Figure 3).

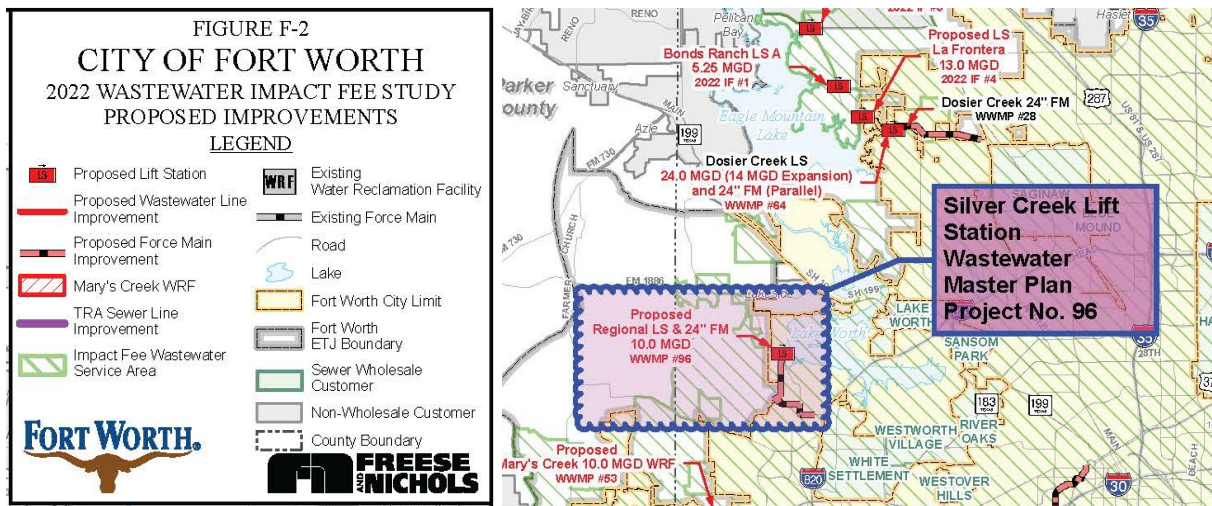


Figure 3: Snapshots from the CFW 2022 Wastewater Impact Fee Study Proposed Improvements

The proposed lift station is intended to support anticipated growth and future development in the area. By enhancing the wastewater infrastructure, this project will provide essential services to the incoming developments while also benefiting an existing single-family residence and neighboring properties. The enhanced infrastructure is expected to have a positive impact on the surrounding community by ensuring the area is well-equipped to handle the demands of future residential growth.

Furthermore, the rezoning request aligns with the general land use patterns and zoning designations of the surrounding area. This compatibility ensures a cohesive development approach while addressing the community's infrastructure needs.

The proposed zoning is **compatible** with surrounding land uses.

### Comprehensive Plan Consistency- FLU Map and Policies

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The adopted Comprehensive Plan currently designates the subject property as an Existing Public Parkland on the Future Land Use Map. While “CF” zoning is appropriate for parks and open space. Conditional Use Permits provide an opportunity to determine if a particular use can be developed in a manner consistent with the surrounding area. The proposed lift station will help with the CFW 2022 Wastewater Impact Fee Study Proposed Improvements overall goal.

SPECIAL		
Vacant, Undeveloped, Agricultural	Vacant, undeveloped, or agriculture lands; vacant land located in the 100-year floodplain	AG
Infrastructure	Railroads, airports, utilities	ALL
Parks, Recreation, Open Space	Public or private recreation, or passive land	ALL
Institutional	Schools, churches, government, human services, utilities, community centers	Schools and Churches: ALL Others: CF

Based on conformance with the policies stated above, the proposed zoning is **consistent** with the Comprehensive Plan FLU Map and Policies.



The following items will have to be complied prior to issuance of a building permit:

### **Zoning and Land Use**

The site plan generally complies with zoning regulations and the Conditional Use Permit (CUP) requirements outlined in Ordinance 4.407.e.1 (*'Site Plan Requirements'*).

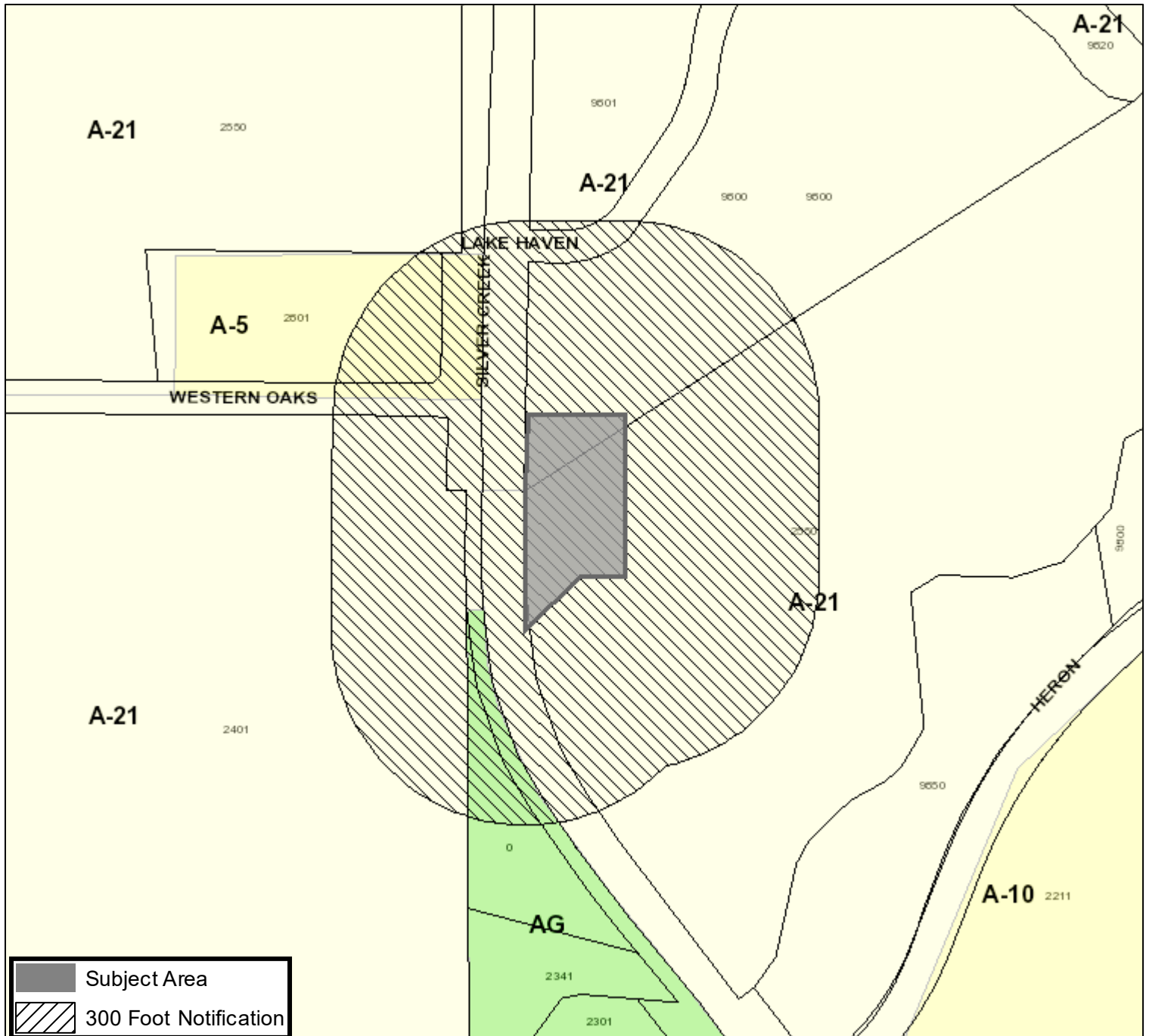
1. Site will require an accepted drainage study prior to platting, grading, infrastructure plan review, and building permit issuance. Site may require a Flood Study prior to final platting, infrastructure plan review, grading, and building permit issuance.
2. 5-foot sidewalk will be required; waiver available if needed





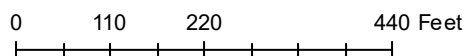
**ZC-24-158**

## Area Zoning Map

Applicant: City of Fort Worth  
Address: SEC of Western Oaks & Silver Creek  
Zoning From: A-21  
Zoning To: CF  
Acres: 0.95561504  
Mapsc0: Text  
Sector/District: Far\_West  
Commission Date: 1/8/2025  
Contact: 817-392-2806



	Subject Area
	300 Foot Notification



**ENGINEERING STUDIES**  
**2012 Wastewater Master Plan**  
**Impact Fee Study 2022-2031**  
**Village Creek Facilities Plan**

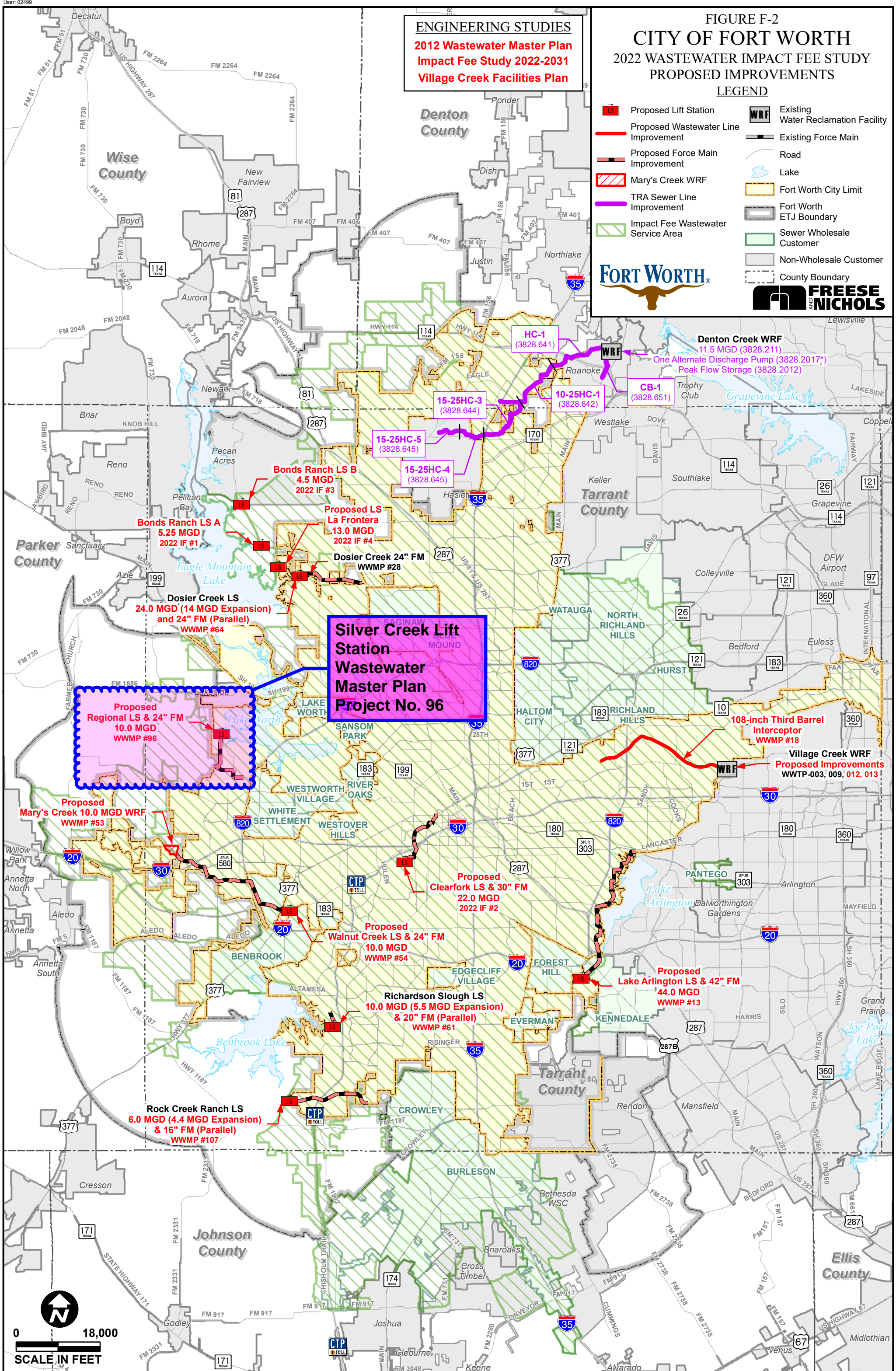
**FIGURE F-2**  
**CITY OF FORT WORTH**  
**2022 WASTEWATER IMPACT FEE STUDY**  
**PROPOSED IMPROVEMENTS**

**LEGEND**

	Proposed Lift Station		Existing Water Reclamation Facility
	Proposed Wastewater Line Improvement		Existing Force Main
	Proposed Force Main Improvement		Road
	Mary's Creek WRF		Lake
	TRA Sewer Line Improvement		Fort Worth City Limit
	Impact Fee Wastewater Service Area		Fort Worth ETJ Boundary
			Sewer Wholesale Customer
			Non-Wholesale Customer
			County Boundary

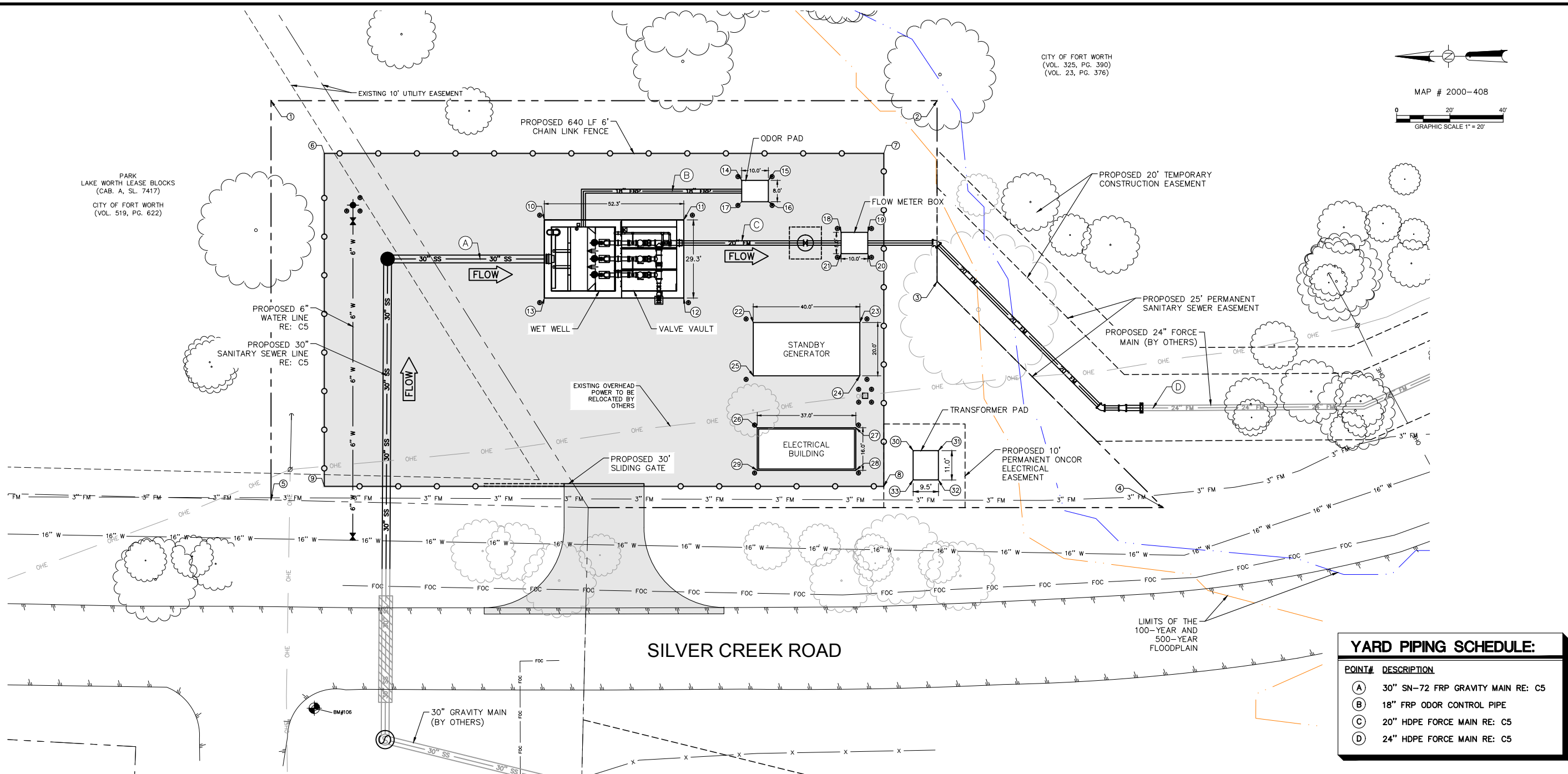
**FORT WORTH**

**FREES AND NICHOLS**





K:\FTW\_UTILITIES\061018452-SILVER-CREEK-LS-FM-GM\CADD\SHEETS\LIFT STATION\SITE PLAN.DWG 10/18/2024 1:32 PM



**1**  
**C1**  
**SITE PLAN AND DIMENSION CONTROL**  
SCALE: 1" = 20'

**DIMENSION CONTROL COORDINATE TABLE**

POINT#	NORTHING	EASTING	DESCRIPTION
1	6974751.47	2278193.87	PROPERTY CORNER
2	6974501.47	2278193.87	PROPERTY CORNER
3	6974501.47	2278125.94	PROPERTY CORNER
4	6974416.62	2278041.09	PROPERTY CORNER
5	6974751.47	2278043.94	PROPERTY CORNER
6	6974731.47	2278174.07	PROPOSED CHAIN LINK FENCE CORNER
7	6974521.47	2278174.07	PROPOSED CHAIN LINK FENCE CORNER
8	6974521.47	2278049.07	PROPOSED CHAIN LINK FENCE CORNER
9	6974731.47	2278049.07	PROPOSED CHAIN LINK FENCE CORNER
10	6974648.89	2278149.12	LIFT STATION NE CORNER
11	6974596.55	2278149.12	LIFT STATION SE CORNER
12	6974596.55	2278119.78	LIFT STATION SW CORNER
13	6974648.89	2278119.78	LIFT STATION NW CORNER
14	6974574.80	2278163.95	ODOR CONTROL PAD NE CORNER
15	6974564.80	2278163.95	ODOR CONTROL PAD SE CORNER
16	6974564.80	2278155.95	ODOR CONTROL PAD SW CORNER
17	6974574.80	2278155.95	ODOR CONTROL PAD NW CORNER

**DIMENSION CONTROL COORDINATE TABLE**

POINT#	NORTHING	EASTING	DESCRIPTION
18	6974537.49	2278144.45	FLOW METER BOX NE CORNER
19	6974527.49	2278144.45	FLOW METER BOX SE CORNER
20	6974527.49	2278136.45	FLOW METER BOX SW CORNER
21	6974537.50	2278136.45	FLOW METER BOX NW CORNER
22	6974570.47	2278110.57	GENERATOR BOX NE CORNER
23	6974530.47	2278110.57	GENERATOR BOX SE CORNER
24	6974530.47	2278090.57	GENERATOR BOX SW CORNER
25	6974570.47	2278090.57	GENERATOR BOX NW CORNER
26	6974568.97	2278071.07	ELECTRICAL BUILDING NE CORNER
27	6974531.97	2278071.07	ELECTRICAL BUILDING SE CORNER
28	6974531.98	2278055.07	ELECTRICAL BUILDING SW CORNER
29	6974568.97	2278055.07	ELECTRICAL BUILDING NW CORNER
30	6974510.47	2278062.47	TRANSFORMER PAD NE CORNER
31	6974500.97	2278062.47	TRANSFORMER PAD SE CORNER
32	6974500.97	2278051.46	TRANSFORMER PAD SW CORNER
33	6974510.47	2278051.46	TRANSFORMER PAD NW CORNER

**YARD PIPING SCHEDULE:**

POINT#	DESCRIPTION
(A)	30" SN-72 FRP GRAVITY MAIN RE: C5
(B)	18" FRP ODOR CONTROL PIPE
(C)	20" HDPE FORCE MAIN RE: C5
(D)	24" HDPE FORCE MAIN RE: C5

**NOTES:**

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES, WHETHER PRIVATE OR PUBLIC, PRIOR TO EXCAVATION. THE INFORMATION AND DATA SHOWN WITH RESPECT TO EXISTING UNDERGROUND FACILITIES AT OR CONTIGUOUS TO THE SITE IS APPROXIMATE AND BASED ON INFORMATION AND DATA FURNISHED BY THE OWNERS OF SUCH UNDERGROUND FACILITIES OR ON PHYSICAL APPURTENANCES OBSERVED IN THE FIELD. THE OWNER AND ENGINEER SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ANY SUCH INFORMATION OR DATA; AND, THE CONTRACTOR, SHALL HAVE FULL RESPONSIBILITY FOR REVIEWING AND CHECKING ALL SUCH INFORMATION AND DATA, FOR LOCATING ALL UNDERGROUND FACILITIES, FOR COORDINATION OF THE WORK WITH THE OWNERS OF SUCH UNDERGROUND FACILITIES DURING CONSTRUCTION. FOR THE SAFETY AND PROTECTION THEREOF, AND REPAIRING ANY DAMAGE THERETO RESULTING FROM THE WORK, THE COST OF ALL OF WHICH WILL BE CONSIDERED AS HAVING BEEN INCLUDED IN THE CONTRACT PRICE. THE CONTRACTOR SHALL NOTIFY ANY AFFECTED UTILITY COMPANIES OR AGENCIES IN WRITING AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.
2. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR PERFORMING ALL CONSTRUCTION LAYOUT FROM THE SITE LAYOUT CONTROL POINTS SHOWN ON THIS SHEET, AND FROM THE DIMENSIONS AND BASELINES SHOWN. THE CONTRACTOR MUST NOTIFY THE ENGINEER OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.

No.	Revisions	By	Date

**Kimley-Horn**  
© 2024 KIMLEY-HORN AND ASSOCIATES, INC.  
801 CHERRY ST., SUITE 1300  
FT. WORTH, TEXAS 76102  
PHONE: (817) 338-8611  
WWW.KIMLEY-HORN.COM  
TBP# FIRM REGISTRATION: F-928

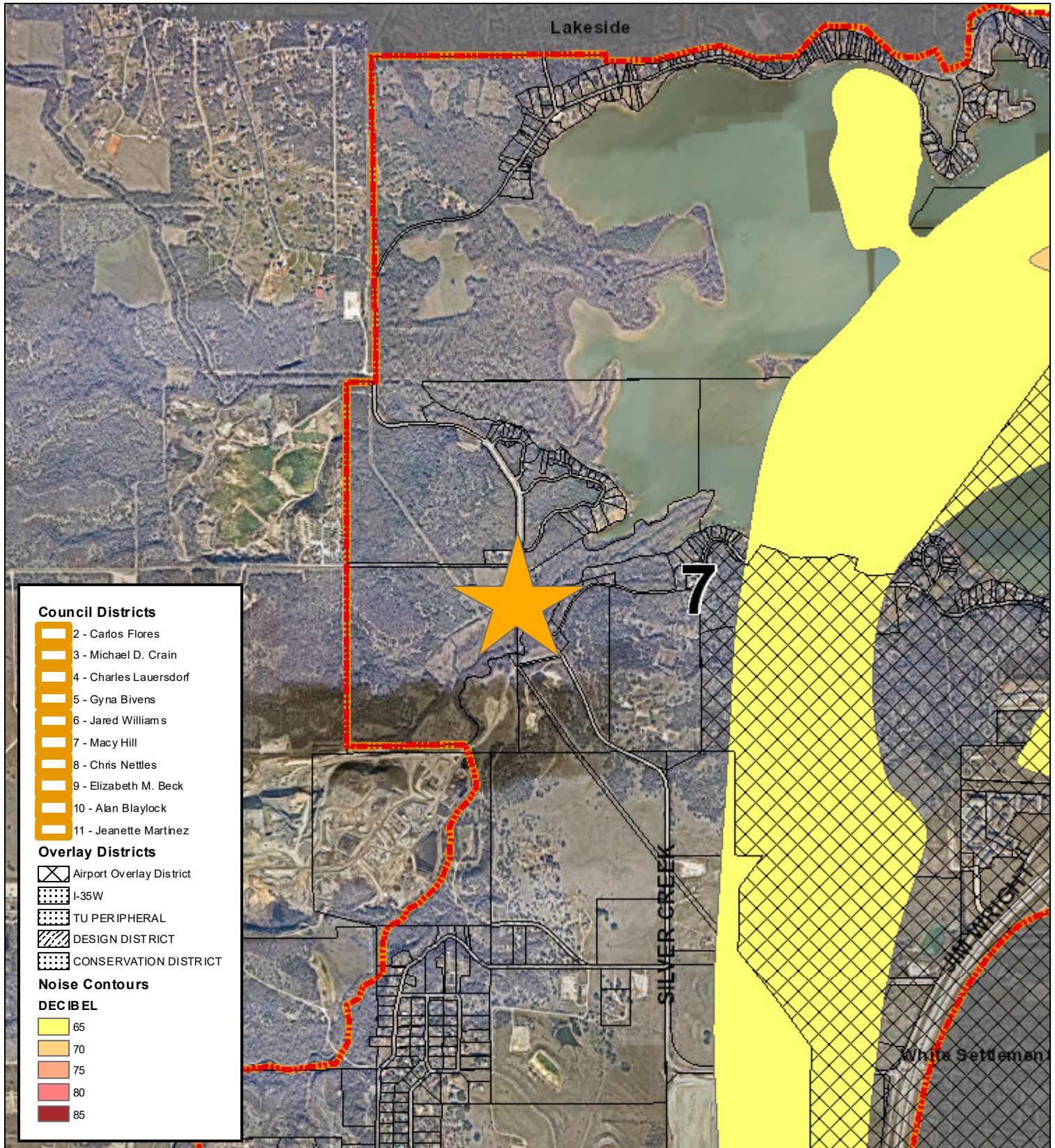
FOR REVIEW ONLY  
Not for construction or permit purposes.  
**Kimley-Horn**  
Engineer: WILLIAM A. WEISMAN  
P.E. No. 127793 Date: SEP 2024

DATE: SEP 2024  
DESIGNED BY: WAW  
DRAWN BY: GAW  
CHECKED BY: JCK  
KHA PROJECT: 061018452

SILVER CREEK LIFT STATION  
PREPARED FOR: CITY OF FORT WORTH

**SITE PLAN AND DIMENSION CONTROL**

### Area Map



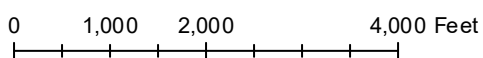
Council Districts	
	2 - Carlos Flores
	3 - Michael D. Crain
	4 - Charles Lauersdorf
	5 - Gyna Bivens
	6 - Jared Williams
	7 - Macy Hill
	8 - Chris Nettles
	9 - Elizabeth M. Beck
	10 - Alan Blaylock
	11 - Jeanette Martinez

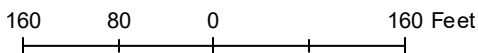
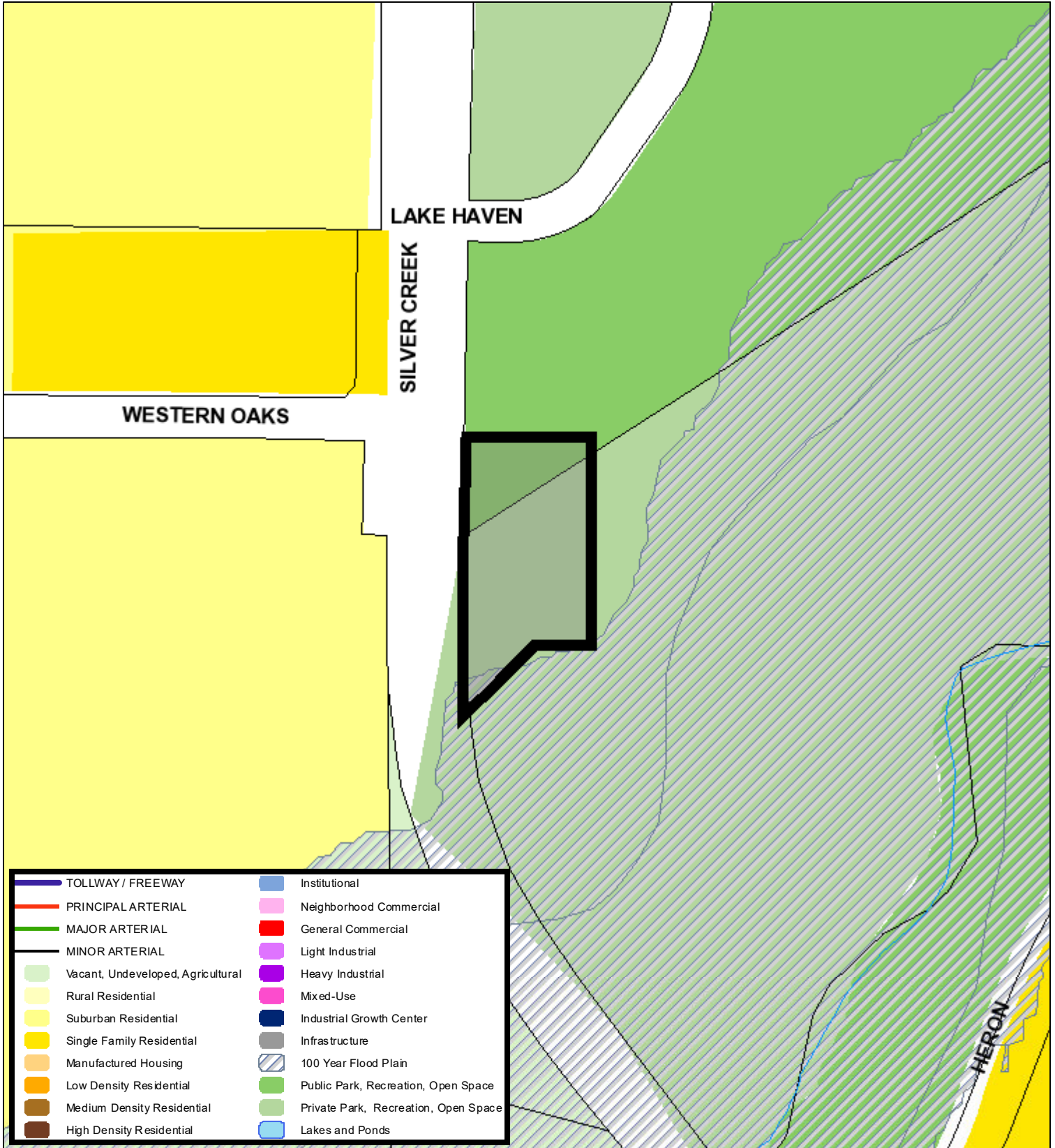
Overlay Districts	
	Airport Overlay District
	I-35W
	TU PERIPHERAL
	DESIGN DISTRICT
	CONSERVATION DISTRICT

Noise Contours	
DECIBEL	
	65
	70
	75
	80
	85



### Future Land Use



A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



**Aerial Photo Map**



0 100 200 400 Feet





# Zoning Staff Report

**Date:** February 12, 2025

**Case Number:** ZC-24-159

**Council District:** 11

## Zoning Map Amendment

**Case Manager:** [Beth Knight](#)

**Owner / Applicant:** Oncor Electric Company/Travis Yanker

**Site Location:** 1000 Wallace Street

**Acreage:** 1.02 acres

### Request

**Proposed Use:** Electric Power Substation Expansion

**Request:** To: Add Conditional Use Permit (CUP) to allow an electrical power substation in “FR” General Commercial Restricted; site plan included with development standard waivers for structures in the projected front yards and fencing materials.

### Recommendation

**Land Use Compatibility:** Requested change **is compatible**

**Comprehensive Plan Map Consistency:** Not applicable

**Comprehensive Plan Policy Consistency:** Requested change **is consistent**

**Staff Recommendation:** **Approval**

### Table of Contents

- [1. Project Description and Background](#)
- [2. Surrounding Zoning and Land Uses](#)
- [3. Recent Zoning History](#)
- [4. Public Notification](#)
- [5. Development Impact Analysis](#)
  - [a. Land Use Compatibility](#)
  - [b. Comprehensive Plan Consistency](#)
  - [c. Site Plan Comments](#)
6. Zoning Map with 300 ft. Notification Area
7. Site Plan
8. Area Map
9. Future Land Use Map
10. Aerial Photograph

## Project Description and Background

The applicant is requesting an expansion to an existing electrical power substation that appears to have been developed in the 1980s. The proposed site is in the northeast quadrant of E. Rosedale Street and Ayers Avenue. The site has been platted into a “pan-handle” shaped lot with the majority of the frontage on Wallace Street and a 40-foot wide area fronting Ayers Avenue. Wallace Street is classified as a local road, serving the few blocks in the immediate vicinity. Electrical power substations are allowed by right in the more intensive industrial districts and only permitted within commercial zoning districts with a CUP approval. A chain link fence surrounds the equipment facing Wallace Street, with the northern 40 feet unfenced and used by an adjacent property for parking and accessing the rear of their building. The site plan shows several development waivers requested related to fencing location and fencing. Although scenic corridors are in the vicinity on the west side of Ayers Avenue and along E. Rosedale Street, the site is not covered by a scenic corridor.



Conditional uses are those uses which are generally compatible with the permitted land uses in a given zoning district, but which require individual review of their proposed location, design and configuration, and the imposition of conditions in order to ensure the appropriateness of the use at a particular location.

While an electrical power substation is not permitted in the “FR” zoning district by right, allowing one by CUP with a site plan may help mitigate any neighborhood concerns, as well as give options for the CUP to be revoked in the event of code violation convictions. The site is currently developed as an electrical substation with high voltage transmission lines running along the northern edge. Commercially zoned land, developed with a variety of commercial uses and a gas well site, surrounds the site to the east, south, and west. A railroad track lies to the north, separating the site from a single-family neighborhood further to the north. The site has direct access to Wallace Street and Ayers Avenue. The site plan shows electrical switching equipment with one equipment building, approximately 110 feet away from the existing residential neighborhood north of the railroad track. No habitable buildings are proposed, and the site is exempt from parking requirements due to being separated by a railroad track from a residential district. The site is also exempt from the current

landscaping requirements because the new structures are less than 3,000 square feet and less than 30% of the existing site footprint.

Through Ordinance 23609 effective March 29, 2019, the Conditional Use Permit allows for an unlimited time period for the operation of a use unless otherwise approved by the City Council. If a time limit is established for a Conditional Use Permit, the renewal of the CUP shall be considered through the public hearing process and approved by the City Council. A CUP shall expire if no permitting action is taken within six months of approval or cease of the use for six months. A CUP may be revoked through the public hearing process if necessary after convictions of one or more code violations.

Per Section 4.407 (a), the following general rules apply to all conditional uses:

- a) Conditional use permits in residential districts shall be limited to those uses designated “CUP” in the Residential District Use Table in Chapter 4, Article 6, Section 4.603.
- b) Approval of a conditional use permit shall authorize only the particular use or category of related uses for which the conditional use permit is issued.
- c) A conditional use shall not be enlarged, extended or otherwise modified unless approved by the City Council or approved administratively as applicable.
- d) The use of property for the purposes described in a conditional use permit shall not commence until a certificate of occupancy has been issued. A certificate of occupancy shall not be issued until all or approvals which may be required by the Codes and Ordinances of the City, including, but not limited to, a Building Permit, a Certificate of Occupancy and subdivision approval have been satisfied.

Section (d) provides the following Conditional Use Permit factors in consideration of appropriateness of a request:

- a) The proposed use is consistent with the Comprehensive Plan;
- b) The proposed use is compatible with the existing and adjacent uses.
- c) The proposed use meets all supplemental use standards specifically applicable to the use as set forth in Chapter 5;
- d) The proposed use is compatible with and preserves the character and integrity of adjacent development and neighborhoods;
- e) The proposed use is not materially detrimental to the public health, safety, and welfare, or results in material damage or prejudice to other property in the vicinity.

The following table provides information related to the proposed waivers of the standard zoning ordinance requirements. The significant waivers are bolded.

<b>Standard</b>	<b>Regulation</b>	<b>Proposed CUP</b>
Projected front yard from “E” zoning	20’	10’
Building Location	Building not allowed in the front yard	Control building appears to be in the front yard
Side Yard Setback	5-foot side yard setback	1.35-foot side yard setback on south
<b>Fencing Material</b>	<b>Solid fencing is not allowed in the front yard</b>	<b>8-foot solid screening fence proposed in Wallace Street front yard</b>

The block faces of both Wallace Street and Ayers Avenue are impacted by the “E” Neighborhood Commercial zoning on the south end of the block that projects its 20-foot required front yard up the remainder of the block. The control center (equipment building) appears to be within this projected front yard. While the existing electrical substation has chain link fencing, the fencing is only immediately around the equipment on Wallace Street. The fencing standards have been upgraded since this site was developed, and chain link fencing is no longer allowed in the front yards of utility facilities. The proposed site plan shows this chain link fencing being replaced in the front yard, as well as extended onto the portion facing Ayers Avenue, where no fencing currently exists.

The adjacent property to the west has been using the pavement in the 40-foot panhandle portion for parking spaces and access to a rear carport. Fencing in this area will cause the adjacent property to access the rear carport from another direction. The chain link fencing proposed is not an enhancement to the neighborhood. Additionally, the site plan shows solid fencing in the required 20-foot front yard setback where only open-design fencing, excluding chain link materials, is allowed. The solid fencing extends towards the southern side yard, but stops approximately 1 ½ feet from the southern property line and 10 feet from the western property line. The gaps leave an area that is unlikely to be maintained. Development waivers would be required for the building and fencing placement in the required front yards, as well as to vary the fencing materials allowed. Minor revisions to the site plan would eliminate most of the development waivers without materially affecting the site’s security.

### Surrounding Zoning and Land Uses

North “A-5” One-Family / Railroad track, single family uses  
 East “E” Neighborhood Commercial, “FR” General Commercial Restricted / Gas well, stealth tower  
 South “FR” General Commercial Restricted / Auto repair uses, vacant building  
 West “FR” General Commercial Restricted, “I” Light Industrial / Commercial uses, small industrial buildings

### Recent Zoning History

ZC-13-182: south of site, from FR to I, denied 2/10/2014.

### Public Notification

300-foot Legal Notifications were mailed on December 20, 2024.  
 The following organizations were notified: (emailed December 20, 2024)

Organizations Notified	
Polytechnic Heights South NA *	Historic Stop Six NA
Stop 6/Poly Oversight	Polytechnic Heights NA
West Meadowbrook NA	Echo Heights Stop Six Environmental Coalition
East Fort Worth, Inc.	Neighborhoods of East Fort Worth Alliance
East Fort Worth Business Association	Fort Worth ISD
Streams and Valleys Inc	Trinity Habitat for Humanity
Southeast Fort Worth Inc.	

\* Located in this registered Neighborhood Association



## Land Use Compatibility

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The applicant is proposing to expand an existing electrical power substation, surrounded by other non-residential uses. The adjacent properties are zoned either “FR” General Commercial Restricted or “A-5” One-Family for the railroad tracks and single-family subdivision. The site plan shows four development waivers requested for fencing in the front yards, as well as allowing both chain link and solid screening fencing where not allowed. The proposed zoning request for an expanded electrical switching station is **compatible** with surrounding non-residential zoning and uses. The use and its operational characteristics would not create notable land use conflicts with the adjacent uses. However, the development waivers are not generally necessary to secure the site, and could be revised to eliminate most waiver requests.

## Comprehensive Plan Consistency – Southeast Sector

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The 2023 Comprehensive Plan currently designates the subject property as “Neighborhood Commercial” on the Future Land Use Map. The requested infrastructure land uses would be included in the list of zoning districts envisioned for this category, as detailed in the excerpt from the Comprehensive Plan below, and is considered to be **consistent**.

FUTURE LAND USE	DESCRIPTION	IMPLEMENTING ZONING
<b>SPECIAL</b>		
Infrastructure	Railroads, airports, utilities	ALL

The proposed zoning is consistent with the land use designations for this area and with the following policies of the Comprehensive Plan:

- Locate large industrial uses along freight rail lines, highways, or airports within industrial growth centers and other appropriate locations.
- Promote a balance of residential, commercial, and industrial uses in the Southeast sector.
- Separate incompatible land uses with buffers or transitional uses. Some land uses have attributes such as height, proportion, scale, operational characteristics, traffic generated, or appearance that may not be compatible with the attributes of other uses.

Based on conformance with the future land use map and with the policies stated above, the proposed zoning is **consistent** with the Comprehensive Plan.

## Site Plan Comments

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The following items will need to be complied prior to the ordinance becoming effective:

1. Remove the statement: “Preliminary – for interim review only” as the zoning case is for regulatory approval.
2. Label the southern group of equipment with a height, similar to the northern equipment label.
3. Label the setback for the solid fence on the east side.

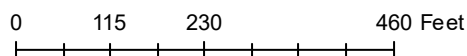
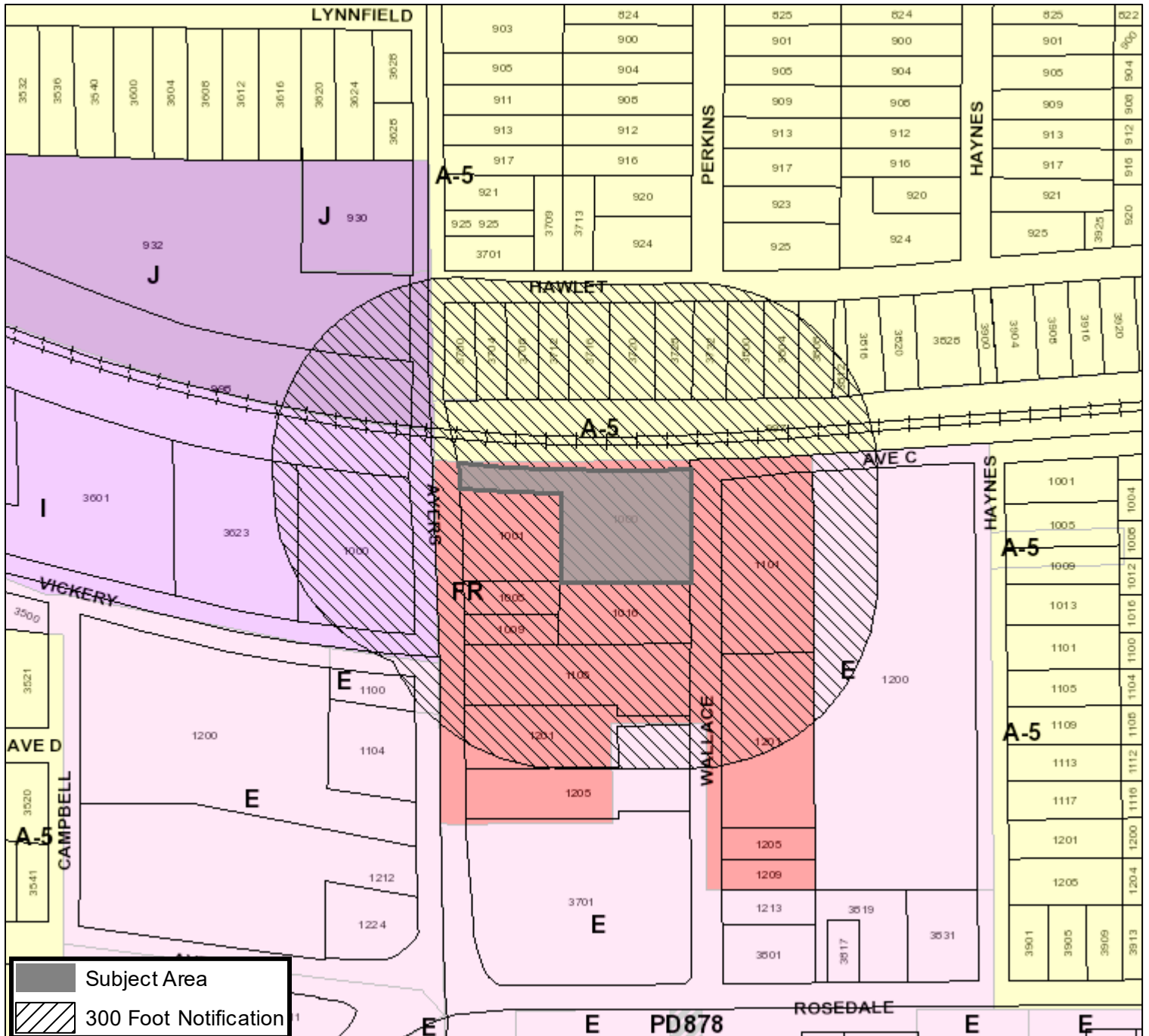
4. If approved, add the note in bold: **“A development waiver was granted to have a solid screening wall in the Wallace Road projected front yard setback.”**
5. If approved, add the note in bold: **“A development waiver is requested to have the equipment building in the Wallace Road projected front yard setback.”**
6. Label the ground surfaces that are not the concrete drives or gravel pad pavement along the southern property line and inside the fenced area.
7. If approved, add the note in bold: **“A development waiver is requested to have a 1.35’ southern side yard setback.”**
8. Site may require an accepted drainage study prior to platting, grading, infrastructure plan review, and building permit issuance.



ZC-24-159

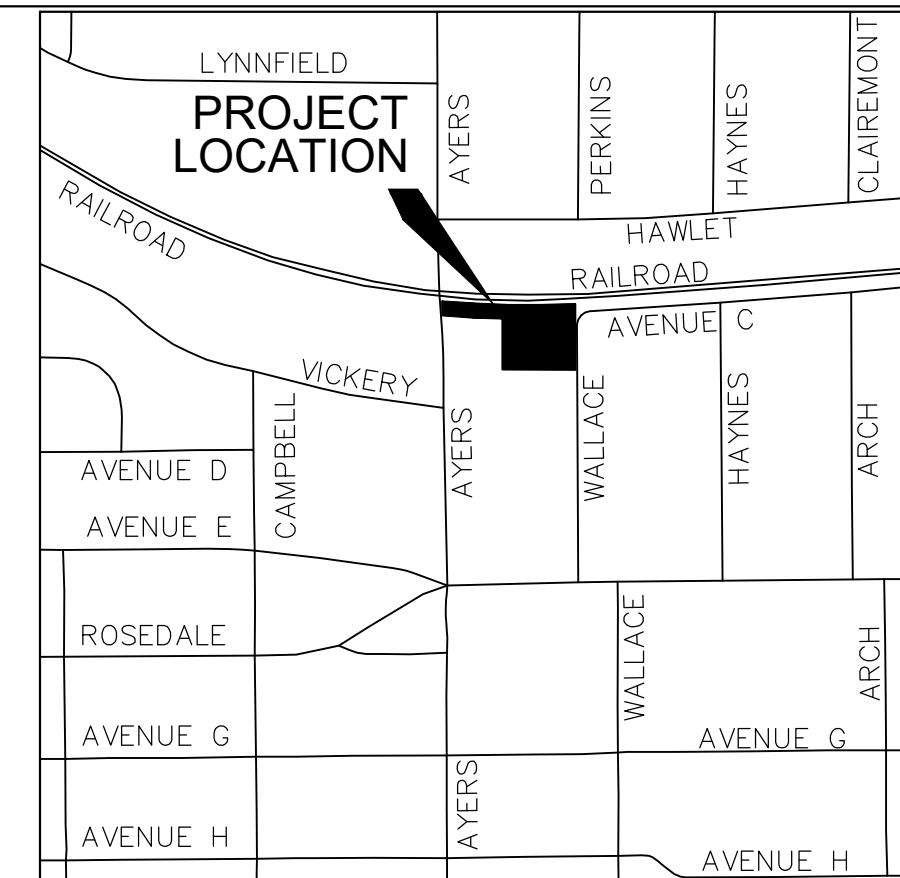
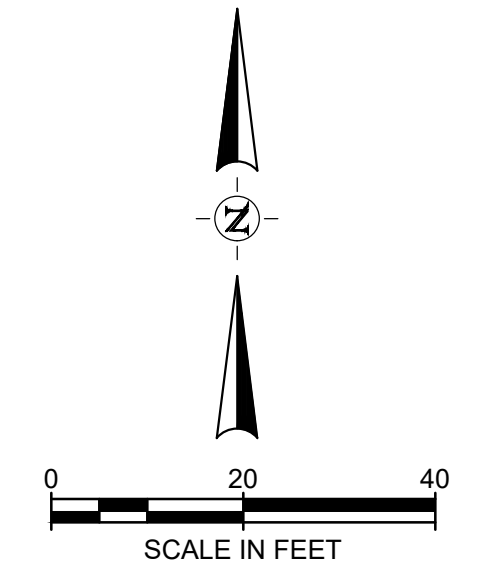
# Area Zoning Map

Applicant: Oncor Electric Delivery Company/Ashton Miller  
 Address: 1000 Wallace Street  
 Zoning From: FR  
 Zoning To: To add CUP to expand Electrical substation  
 Acres: 1.01974401  
 Mapsco: Text  
 Sector/District: Southeast  
 Commission Date: 1/8/2025  
 Contact: 817-392-8190



ZONING: A-5 - ONE-FAMILY DETACHED DWELLINGS  
LAND USE: SINGLE FAMILY RESIDENTIAL

TEXAS & PACIFIC RAILROAD  
(100' WIDTH RIGHT-OF-WAY)



LOCATION MAP  
N.T.S.

**ONCOR ELECTRIC  
DELIVERY COMPANY**  
AYERS SUBSTATION  
FORT WORTH, TEXAS

**LEGEND:**

- EX-SS — EXISTING STORM SEWER
- X — PROPOSED 4' CHAIN LINK FENCE
- [ ] — PROPOSED 8' PRECAST CONCRETE SCREEN WALL
- — — — — PROPERTY LINE
- - - - - EASEMENT LINES AND SETBACKS
- [Pattern] PROPOSED GRAVEL PAD PAVEMENT - 2" - 1" ROCK WITH NO FINES
- [Pattern] PROPOSED CONCRETE DRIVEWAY

**NOTES:**

1. ALL EXISTING UTILITIES ARE SHOWN SCHEMATICALLY AND ARE FOR THE CONTRACTOR'S GUIDANCE ONLY. THE CONTRACTOR SHALL VERIFY THE LOCATION, SIZE, AND MATERIAL OF ALL UTILITIES AFFECTED BY CONSTRUCTION. CONTRACTOR SHALL CONTACT ALL AFFECTED UTILITIES 48 HR'S PRIOR TO CONSTRUCTION.
2. ALL WORK AND MATERIAL SHALL BE IN ACCORDANCE WITH THE CITY DESIGN STANDARDS AND SPECIFICATIONS AND ONCOR PROJECT SPECIFICATIONS AND STANDARDS.
3. ALL DIMENSIONS ARE FROM FACE OF CURB/EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
4. NO PARKING SPACES ARE REQUIRED AS THE RAILROAD SEPARATES THE SITE FROM THE RESIDENTIAL USES WITHIN 250 FEET
5. THIS PROJECT IS EXEMPT FROM SECTION 6.301, LANDSCAPING, AS THE SITE WAS DEVELOPED PRIOR TO 2001. THE EXPANSION IS LESS THAN 3000 SF AND LESS THAN 30% OF THE LOT.
6. ALL SIGNAGE WILL CONFORM TO SECTION 6.4, SIGNS.
7. ALL PROVIDED LIGHTING WILL CONFORM TO THE LIGHTING CODE.

Revision No.	Date	Description

**PRELIMINARY**  
FOR INTERIM REVIEW ONLY  
THESE DOCUMENTS ARE FOR INTERIM REVIEW AND NOT INTENDED FOR REGULATORY APPROVAL, PERMIT BIDDING OR CONSTRUCTION PURPOSES. THEY WERE PREPARED BY OR UNDER THE SUPERVISION OF:  
TRAVIS J. YANKER 141922  
NAME P.E. NO.  
DATE 1/22/2025  
TBPELS ENGINEERING FIRM #F-312

DIRECTOR OF DEVELOPMENT SERVICES  
DATE: \_\_\_\_\_  
**ONCOR AYERS  
SUBSTATION**  
**CONDITIONAL USE PERMIT**  
ZONING CASE: ZC-24-159  
1.024 ACRES  
LOT 1, BLOCK 1, AYERS ADDITION,  
P. ANDERSON SURVEY, ABSTRACT 32  
1000 WALLACE STREET  
CITY OF FORT WORTH,  
TARRANT COUNTY, TEXAS  
FOR  
**ONCOR ELECTRIC  
DELIVERY COMPANY, LLC**

Project No.:	58280
Issued:	1/7/25
Drawn By:	CAD
Checked By:	TJY
Scale:	AS NOTED
Sheet Title	CUP PLAN

**AYERS AVENUE**  
VARIABLE WIDTH RIGHT-OF-WAY  
ASPHALT PAVEMENT

**AVENUE C**  
VARIED WIDTH RIGHT-OF-WAY  
ASPHALT PAVEMENT

ZONING: FR  
(GENERAL COMMERCIAL RESTRICTED)  
LAND USE: NEIGHBORHOOD COMMERCIAL

ZONING: FR (GENERAL COMMERCIAL RESTRICTED)  
LAND USE: NEIGHBORHOOD COMMERCIAL

MORENO JOSE DE JESUS  
VOL. 6315, PG. 925; D.R.T.C.T.  
VOL. 3164, PG. 30; D.R.T.C.T.



EXISTING SANITARY SEWER  
MANHOLE  
RIM=627.92'  
EAST 8" PVC FL=615.02'  
NORTH 8" PVC FL=615.02'  
SOUTHWEST 8" PVC FL=614.92'

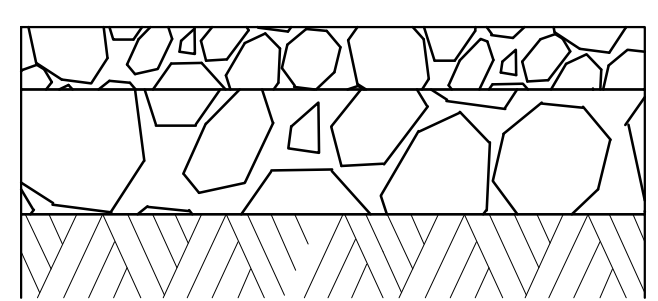
EXISTING SANITARY SEWER  
MANHOLE  
RIM=629.17'  
EAST 8" PVC FL=616.70'  
WEST 8" PVC FL=616.71'

PROPOSED TRANSMISSION LINE  
POLES APPROX. HEIGHT 58'  
NOTE:  
PROPOSED TRANSMISSION LINE  
POLES REGULATED BY ONCOR  
STANDARDS AND PUC STANDARDS.  
T-LINE POLES NOT INCLUDED IN  
THIS PROJECT SCOPE



ALPHONSO AGUIRRE VERGARA  
VOLUME 7043, PAGE 2225  
D.R.T.C.T.

AYERS ADDITION  
BLOCK 1 LOT 1.  
OWNER: ONCOR ELECTRIC  
DELIVERY CO LLC  
VOL. 5845, PG. 568  
VOL. 5631, PG. 790



2" OF 1" ROCK WITH NO FINES  
6" - COMPACTED CRUSHED ROCK FLEX BASE  
6" MIN SCARIFIED AND RE-COMPACTED SUBGRADE (95% STD. PROCTOR)

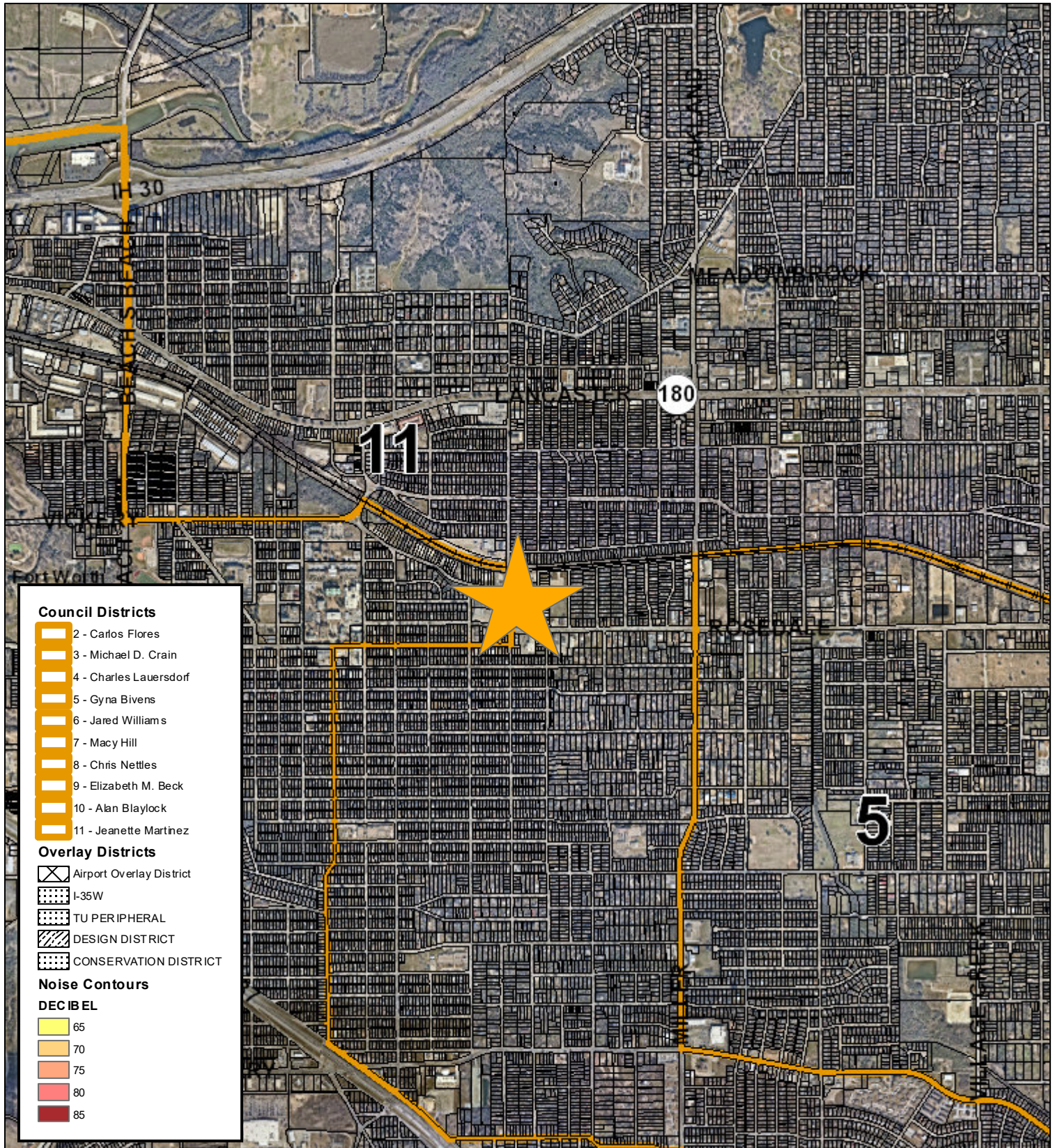
**OWNER/DEVELOPER**  
ONCOR ELECTRIC DELIVERY COMPANY  
777 MAIN STREET, SUITE 707  
FORT WORTH, TX 76102  
CONTACT: SETH SAMPSON  
TEL: (817) 215-6807  
EMAIL: seth.sampson@oncor.com

**ENGINEER**  
HALFF ASSOCIATES, INC.  
3803 PARKWOOD BLVD., SUITE 800  
FRISCO, TX. 75034  
CONTACT: TRAVIS J. YANKER, P.E.  
TEL: (214) 937-3937  
EMAIL: tyanker@halff.com

**SURVEYOR**  
DUNAWAY, INC.  
550 BAILEY AVENUE, SUITE 400  
FORT WORTH, TX 76107  
CONTACT: KEVIN JUNGE, RPLS  
TEL: (817) 335-1121  
EMAIL: KJunge@dunaway.com

TOTAL DISTURBED AREA: 0.976 ACRES

### Area Map



**Council Districts**

- 2 - Carlos Flores
- 3 - Michael D. Crain
- 4 - Charles Lauersdorf
- 5 - Gyna Bivens
- 6 - Jared Williams
- 7 - Macy Hill
- 8 - Chris Nettles
- 9 - Elizabeth M. Beck
- 10 - Alan Blaylock
- 11 - Jeanette Martinez

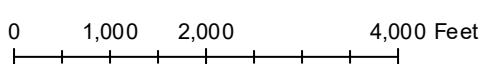
**Overlay Districts**

- Airport Overlay District
- I-35W
- TU PERIPHERAL
- DESIGN DISTRICT
- CONSERVATION DISTRICT

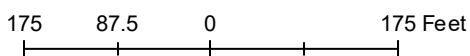
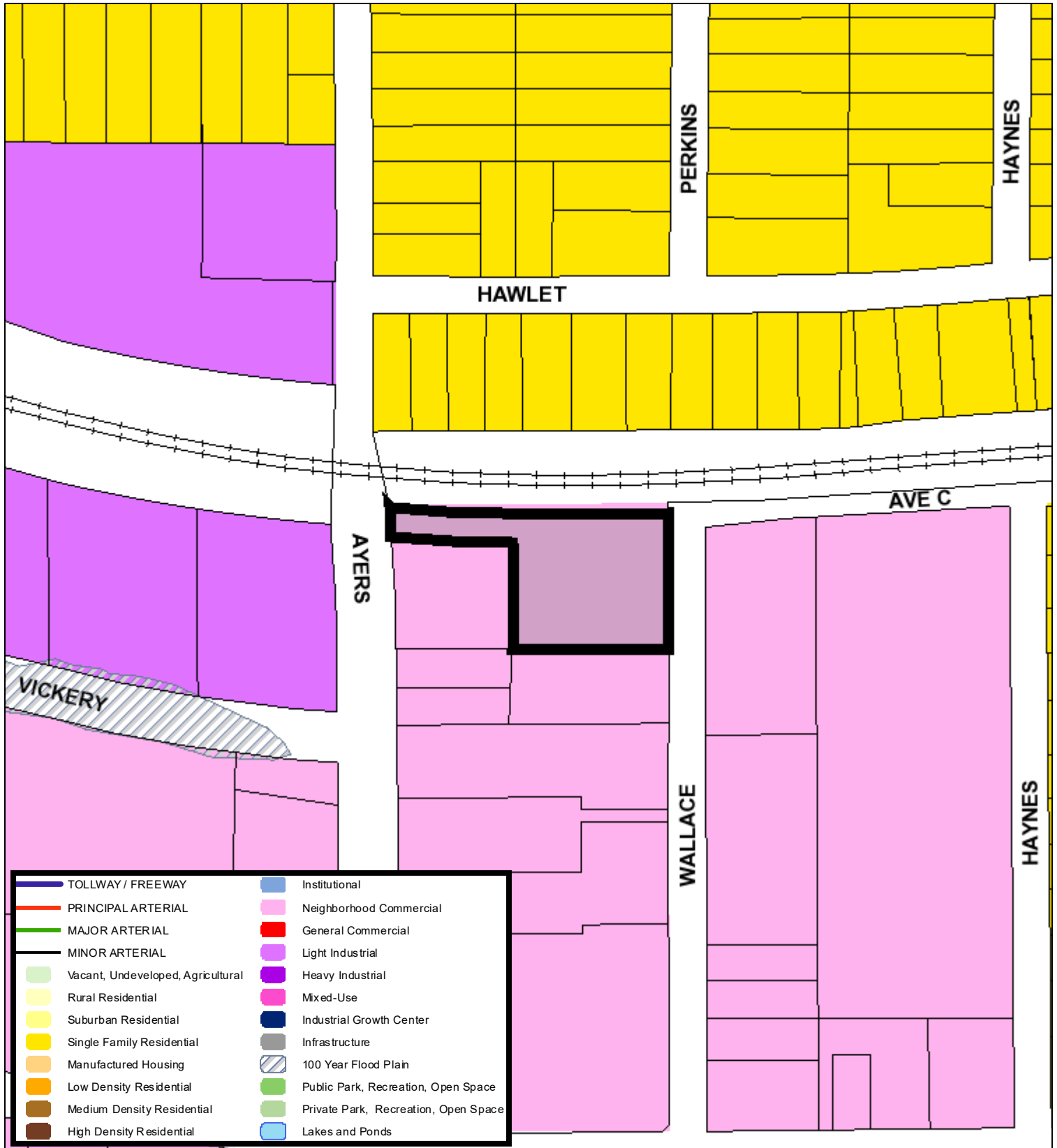
**Noise Contours**

**DECIBEL**

- 65
- 70
- 75
- 80
- 85



### Future Land Use



A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



### Aerial Photo Map



0 112.5 225 450 Feet





# Zoning Staff Report

Date: February 12, 2025

Case Number: ZC-24-161

District: 2

## Zoning Map Amendment & Site Plan

**Case Manager:** Lynn Jordan

**Owner / Applicant:** Letz Re Holdings LLC / Willbanks Metals / Cheyenne Haddad with Pope, Hardwicks, Christie, Schell & Taplett LLP

**Site Location:** 3001, 3002 & 3004 N. Crump Street

**Acreage:** 0.50 acres

### Request

**Proposed Use:** Auxiliary Parking

**Request:** To: Add Conditional Use Permit (CUP) for auxiliary parking lot in “A-5” One-Family district with waivers to allow within the front yard setback: parking, gate pad, light poles and fencing; site plan included.

### Recommendation

**Land Use Compatibility:** Requested change **is not compatible**

**Comprehensive Plan Policy Consistency:** Requested change **is not consistent**

**Staff Recommendation:** **Denial**

### Table of Contents

1. [Project Description and Background](#)
2. [Surrounding Zoning and Land Uses](#)
3. [Recent Zoning History](#)
4. [Public Notification](#)
5. [Development Impact Analysis](#)
  - a. [Land Use Compatibility](#)
  - b. [Comprehensive Plan Consistency](#)
  - c. [Economic Development Plan](#)
  - d. [Site Plan Comments](#)
6. Zoning Map with 300 ft. Notification Area
7. Site Plan
8. Area Map
9. Future Land Use Map
10. Aerial Photograph



## Project Description and Background

This zoning case was continued from the January Zoning Commission meeting to allow for the applicant time to revise the site plan. The revised site plan shows 44 parking spaces (reduced from 52), two existing driveways, a new driveway on the west side a six-foot fence surrounding the property.

The site consists of 4 vacant lots totaling about 0.50 of an acre. The subject properties are situated at the end of the block near the intersection of North Crump Street and NE 29<sup>th</sup> Street. The applicant is requesting to add a Conditional Use Permit (CUP) to allow an auxiliary parking lot in “A-5” One-Family zoning. The applicant owns the business directly to the south which operates 24/7 and needs additional parking for staff, which may be insufficient on parking. A site plan has been submitted as required with an application for a CUP.

Auxiliary parking lots are not permitted in the “A-5” One-Family residential zoning district as a by right use. They may be permitted within “A-5” zoning districts through the CUP process. Conditional uses are those uses which are generally compatible with the permitted land uses in a given zoning district, but which require individual review of their proposed location, design and configuration, and the imposition of conditions in order to ensure the appropriateness of the use at a particular location.

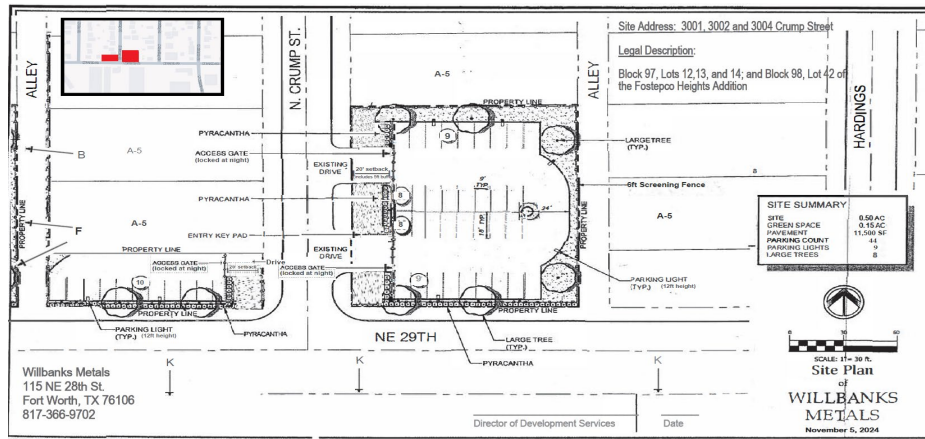
The site is surrounded by residential uses or zoning. Because the site is adjacent to residential zoning, the screening fence or additional landscaping is required. The revised site plan shows 44 parking spaces (reduced from 52), two existing driveways, a new driveway on the west side a six-foot fence surrounding the property. The revised site plan has a 6 ft. solid fence within the front yard. In the A-5 zoning district, 4 ft. open type design is only allowed within the front yard, a waiver would be required for the fence to be solid along N. Crump Street.

Additional landscaping and a screening fence are required on the northern, side and rear property line because the site is across the alley from a residential lot. The Zoning Ordinance requires the lot to be chained and locked overnight.

Per Section 4.407 (d) provides the following Conditional Use Permit factors in consideration of appropriateness of a request:

- a) The proposed use is consistent with the Comprehensive Plan;
- b) The proposed use is compatible with the existing and adjacent uses.
- c) The proposed use meets all supplemental use standards specifically applicable to the use as set forth in Chapter 5;
- d) The proposed use is compatible with and preserves the character and integrity of adjacent development and neighborhoods;
- e) The proposed use is not materially detrimental to the public health, safety, and welfare, or results in material damage or prejudice to other property in the vicinity.

## Revised Site Plan



## Surrounding Zoning and Land Uses

- North "A-5" One-Family residential / single-family
- East "A-5" One-Family residential / single-family
- South "K" Heavy Industrial / industrial warehouse uses
- West "A-5" One-Family residential and "F" General Commercial / vacant, single family / auto repair shop

## Recent Zoning History

- The existing zoning has been in place at least since 2004.

## Public Notification

### Written Notice

Written notice of the Zoning Commission public hearing was mailed to the owners of real property lying within 300 feet on December 23, 2024.

### Posted Notice

A sign was erected on the property not less than 10 days before the Zoning Commission public hearing date.

### Published Notice

A notice of the public hearing before the City Council will be published in the Fort Worth Star Telegram at least 15 days before the hearing.

### Courtesy Notice

The following organizations were emailed on December 23, 2024:

Organizations Notified	
Inter-District 2 Alliance	Far Greater Northside Historical NA
Diamond Hill Jarvis NAC*	Northside Neighborhood Association
North Fort Worth Historical Society	Streams and Valley's Inc.
Trinity Habitat for Humanity	Fort Worth ISD
*Located within this registered Neighborhood Association	

# Development Impact Analysis

## Land Use Compatibility

The applicant is proposing a zoning change to add a CUP to allow for auxiliary parking in the “A-5” zoning district. Surrounding land uses consist primarily of single-family and an automotive use to the west. The amount of parking proposed 44 spaces is not compatible based on proximity to residential, a smaller parking lot might be sufficient.

The proposed zoning request for an auxiliary parking lot **is not compatible** with surrounding land uses.

## Comprehensive Plan Consistency – North Side

The adopted Comprehensive Plan currently designates the subject property as Single Family. This land use designation is intended to offer a mix of retail, services, offices and mixed uses serving daily needs for a local market area. An auxiliary parking lot is only permitted by right in the “ER” through “K” districts. The proposed use is more aligned with Neighborhood Commercial Land Use designation as opposed to the current designation of Single Family. Refer to table below from the Comprehensive Plan:

### FUTURE LAND USE AND ZONING CLASSIFICATIONS

FUTURE LAND USE	DEFINITION	ZONING
<b>RESIDENTIAL</b>		
Rural Residential	1+ acre single-family	A-2.5, A-43
Suburban Residential	1/2+ acre single-family	A-21
Single-Family Residential	3,500+ sq. ft. lot single-family	A-10, A-7.5, A-5, AR
Manufactured Housing	Manufactured home parks and subdivisions	MH
Low Density Residential	2,500+ sq. ft. lot single-family, two-family, patio homes, townhouses, cluster housing	B, R1, R2
Medium Density Residential	Up to 36 units/acre multifamily	CR, C, D
Urban Residential	Medium to high density, residential only, pedestrian-oriented development for use between higher and lower intensity uses	UR
High Density Residential	>36 units/acre multifamily, mixed-use multifamily and pedestrian-oriented development in growth centers	UR, MU-1, MU-2, Form-Based Codes

Based on a lack of conformance with the future land use map, the proposed zoning **is not consistent** with the FLU component of the Comprehensive Plan. The request does not adhere to the following Comprehensive Plan policy:

- Promote appropriate infill of old commercial centers (greyfields), and contaminated sites (brownfields) within developed areas, particularly in the central city

## Site Plan Comments

### Zoning and Land Use

The site plan as submitted is not in general compliance with the Zoning Ordinance regulations.

1. Add the zoning case number in the lower right corner.

2. If the screening fence within the front yard is taller than 4 foot, a waiver will be required. It also needs to be open type design, also a possible waiver.
- ~~3. Label the land use and zoning classifications of the immediately adjacent properties abutting the site.~~
- ~~4. There is a 20 ft. projected front yard setback along N. Crump Street, (both sides of the street) no parking stalls or permanent structures permitted. Remove parking stalls and lighting with those setbacks.~~
- ~~5. Chain Link fences are not permitted in residential districts. 6 ft. screening fence required along all sides adjacent to residential zoning.~~
- ~~6. Parking lots shall be chained and locked at night, indicate on the site plan.~~
- ~~7. Parking lot lighting shall not trespass off the property, shielded down and away. The legend shows 13 parking lights which is a little excessive in a residential neighborhood.~~
8. Indicate on the site plan the type of surface parking proposed.
9. Provide the width of the parking isles.
10. Provide the 5 ft. bufferyard on the site plan, no paving can be within this bufferyard only landscaping.
11. New drive approach is too close to the alley, confirm with Transportation if it would be allowed.
12. Provide the height of the parking lot lights.

### **Transportation Department**

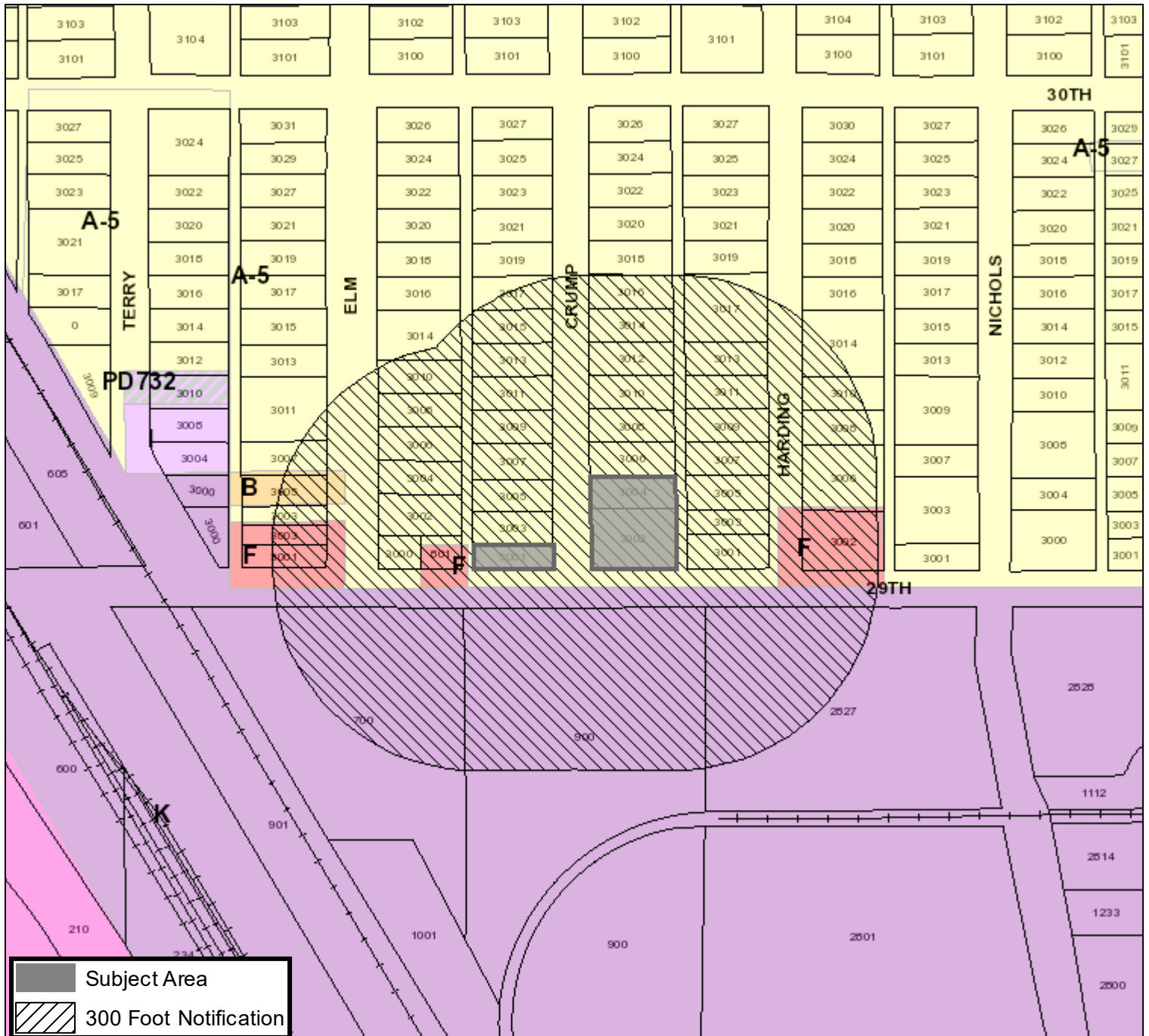
Access to the alley will not be allowed in the current configuration.  
5 ft/ sidewalks will be required with any building permit.

*(Comments made by Platting (Subdivision Ordinance), Transportation/Public Works, Fire, Park & Recreation, and Water Department staff cannot be waived through the Zoning Commission and City Council. Approval of the zoning site plan does not constitute the acceptance of conditions.)*



# Area Zoning Map

Applicant: Letz Re Holdings LLC  
 Address: 3001, 3002 and 3004 N. Crump Street  
 Zoning From: A-5  
 Zoning To: Add CUP for Auxiliary Parking  
 Acres: 0.50442512  
 Mapsco: Text  
 Sector/District: Northeast  
 Commission Date: 1/8/2025  
 Contact: 817-392-7869

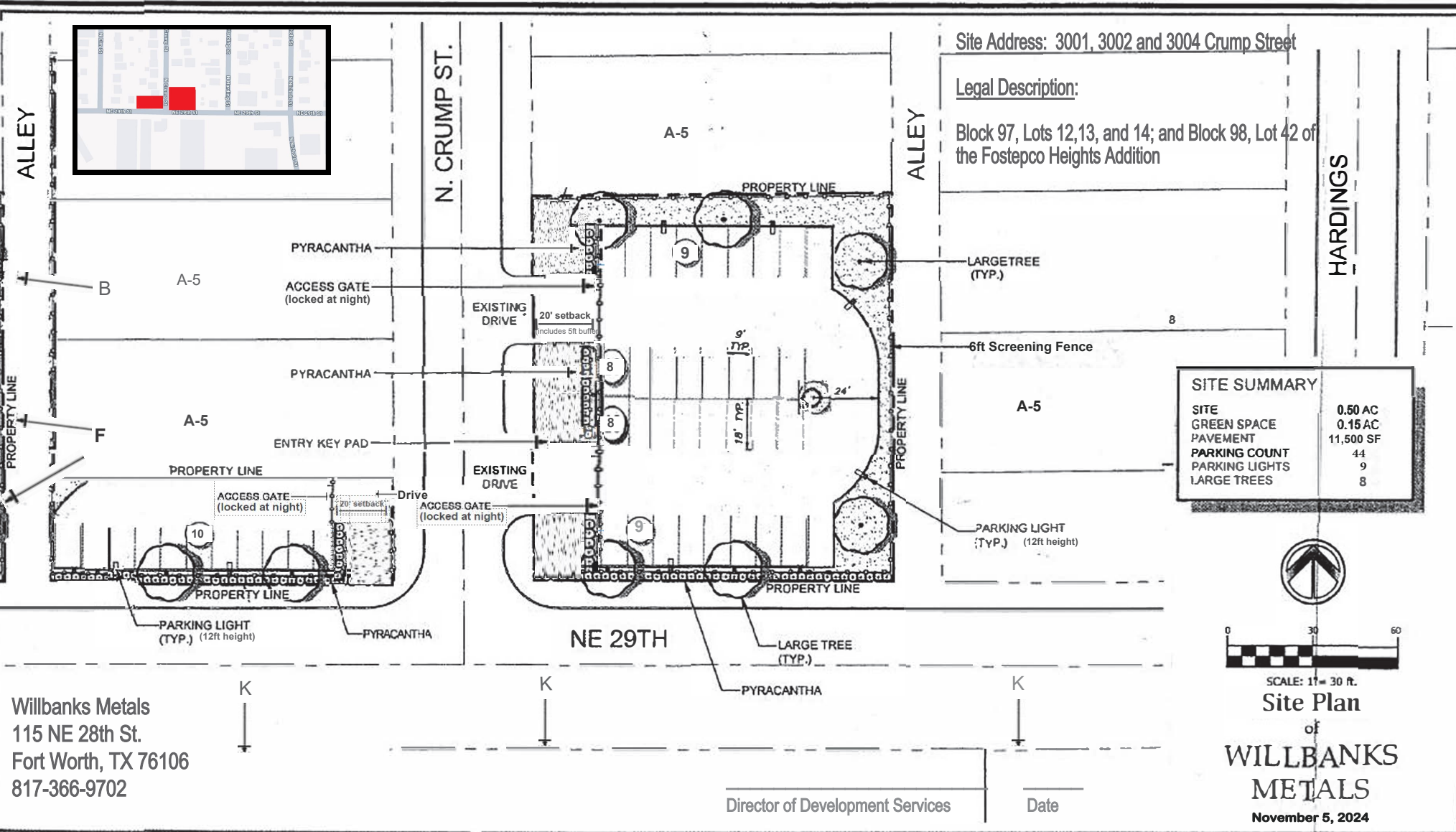




Site Address: 3001, 3002 and 3004 Crump Street

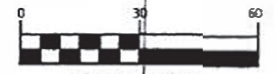
Legal Description:

Block 97, Lots 12,13, and 14; and Block 98, Lot 42 of the Fostepco Heights Addition



HARDINGS

SITE SUMMARY	
SITE	0.50 AC
GREEN SPACE	0.15 AC
PAVEMENT	11,500 SF
PARKING COUNT	44
PARKING LIGHTS	9
LARGE TREES	8



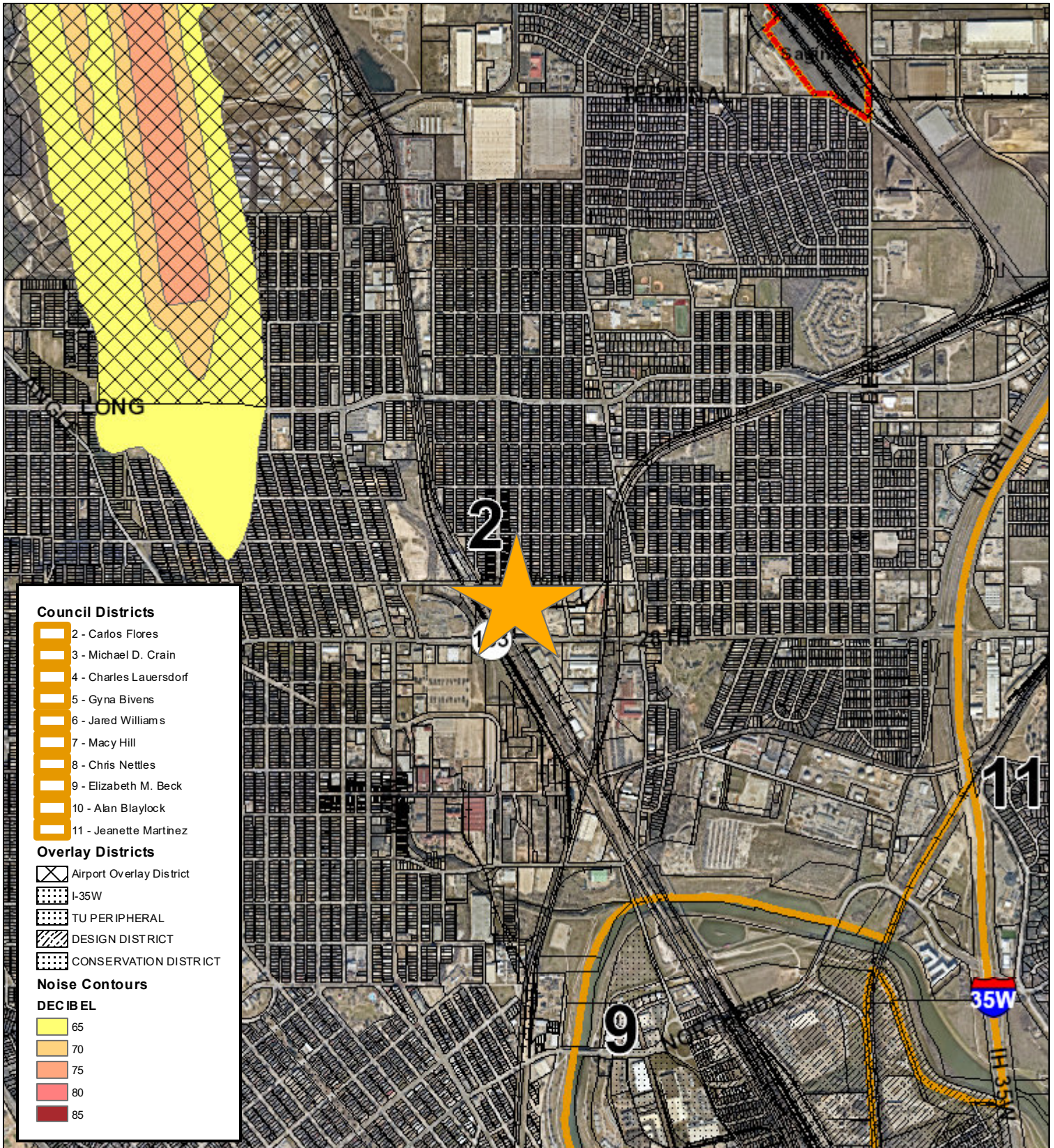
SCALE: 1" = 30 ft.

Site Plan  
of  
**WILLBANKS  
METALS**  
November 5, 2024

Willbanks Metals  
115 NE 28th St.  
Fort Worth, TX 76106  
817-366-9702

Director of Development Services \_\_\_\_\_ Date \_\_\_\_\_

### Area Map



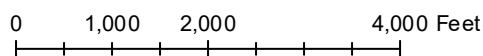
Council Districts	
	2 - Carlos Flores
	3 - Michael D. Crain
	4 - Charles Lauerdsdorf
	5 - Gyna Bivens
	6 - Jared Williams
	7 - Macy Hill
	8 - Chris Nettles
	9 - Elizabeth M. Beck
	10 - Alan Blaylock
	11 - Jeanette Martinez

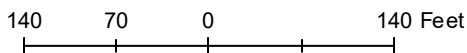
Overlay Districts	
	Airport Overlay District
	I-35W
	TU PERIPHERAL
	DESIGN DISTRICT
	CONSERVATION DISTRICT

Noise Contours	
DECIBEL	
	65
	70
	75
	80
	85



### Future Land Use



A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.





## Aerial Photo Map



0 90 180 360 Feet





# Zoning Staff Report

Date: February 12, 2025

Case Number: ZC-24-063

Council District: 11

## Zoning Map Amendment & Site Plan

Case Manager: [Stephen Murray](#)

Owner / Applicant: Trinity Phoenix LLC / Felix Wong

Site Location: 521 & 601 Paradise St., 518, 519, & 520, Baurline St

Acreage: 0.9 acre

### Request

Proposed Use: Detached Multifamily

Request: From: "A-5" One-Family Residential

To: "PD-CR" Planned Development for all uses in "CR" Low Density Multifamily, excluding government office, museum, and country club; development standards for a reduced projected front yard setback, a reduced setback adjacent to one- or two-family residential district, and a reduced open space requirement; site plan included.

### Recommendation

Land Use Compatibility: Requested change **is compatible**

Comprehensive Plan Map Consistency: Requested change **is not consistent (technical inconsistency)**

Comprehensive Plan Policy Consistency: Requested change **is consistent**

Staff Recommendation: **Approval**

### Table of Contents

- [1. Project Description and Background](#)
- [2. Surrounding Zoning and Land Uses](#)
- [3. Recent Zoning History](#)
- [4. Public Notification](#)
- [5. Development Impact Analysis](#)
  - [a. Land Use Compatibility](#)
  - [b. Comprehensive Plan Consistency](#)
6. Zoning Map with 300 ft. Notification Area
7. Area Map
8. Future Land Use Map
9. Aerial Photograph

## Project Description and Background

### Prior Consideration

This case was initially heard September of last year. Council remanded it back to Zoning Commission in order to create a project that is less dense. As a result, the applicant has brought a new zoning case. Although, the zoning is based on “CR” Low Density Multifamily, the project is more single-family in nature.

### Summary

The subject site is a 0.90-acre tract within the Riverside Addition to the City of Fort Worth, in Council District 11. The site is currently undeveloped and is proposed to be rezoned from the existing “A-5” One Family Residential zoning to “PD-CR” Planned Development Low Density Multifamily to accommodate a multi-family (more single-family in nature) development on one lot comprised of 9 units.

It should be noted that this site has potential high water that can get up to 5 ft deep. No FEMA Floodplain or City Flood Risk Area on site. However, an accepted drainage study is required prior to platting, commercial grading issuance, and building permit issuance. In addition, increased density may impact the roadway in this area.

Development Standards for this site are as follows:

<b>Property Development Standards</b>		
REQUIREMENTS	A-5 DISTRICT REQUIREMENTS	PD DEVELOPMENT STANDARDS
Lot Area	5,000 sf	Average 3,942 sf per dwelling (i.e. 39,426 sf total lot area / 10 dwellings)
Lot Width	50'	Not applicable; all dwellings will be on a single lot
Lot Coverage	50%	Less than 50% of the single lot mentioned above
Front Yard	20' minimum; and subject to projected front yard per Section 6.101(d)&(f)	25' minimum along Paradise St 5' minimum along Baurline St
Rear Yard	5' minimum	5' minimum
Side Yard, Interior Lot	5' minimum; 10' between dwellings	10' between dwellings
Height	35' maximum	35' maximum
Fences	Per requirements in Section 4.705(c)(2)	No fence along front yard or perimeter except for a 6' high wood screening fence adjacent to the existing houses
Signage	Per requirements in Section 4.705(d)(1)	No proposed signs
Parking	2 parking spaces located behind front building wall for dwellings with three or fewer bedrooms	2 parking spaces per dwelling in the garage behind front building wall
Single Family Residential Design Standards	Substantive variation and diversity in front elevations within a certain lot pattern per Section 6.507	Development will conform with the provisions of Section 6.507

Landscape and Buffer	May be required for nonresidential uses	Not applicable for this residential development
Maximum parking	Shall not exceed 125% of minimum, otherwise one additional tree for every 10 parking spaces per Section 6.201(b)(2)	Proposed parking will not exceed 125% of the minimum required parking

CR requires 60% open space percentages for multifamily. The applicant will provide 10.7%. This figure doesn't include any area less than 25' x 25', which isn't considered as qualifying open space by the city. By comparison, the last site plan showing 13 townhouses that went to the Commission has 12.3% open space. The current development layout is more spread out causing more non-qualifying open space among the single family detached houses. That being stated, this development is more in line with single-family residential and support the waiver request for open space.

The applicant intends to provide the following enhanced landscaping.

Enhanced Landscaping	Enhanced landscaping required along public rights-of-way and shall earn minimum 20 points	10 pts - Street Trees - large canopy trees 35-40 ft. on center along Paradise St 5 pts - Widened sidewalks - 10' wide concrete sidewalks along Paradise St 5 pts - Sustainable Landscaping - Xeriscaping with native plants recommended for use in North Central Texas
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**Applicant's Submission**

A narrative, provided by the applicant as part of their submittal package, is included below further describing the proposed development.

*This will be a low density single-family residential development on a single lot of almost one acre in area. The detached dwellings will cluster around a private common access road, which will serve as a fire lane. This small-scale development will be the impetus for redevelopment and reinvestment in this area. The scale and low intensity will allow it to fit into the fabric of the existing neighborhood. After zoning change approval, the next steps will be a replat of the existing lots to a single lot for all the proposed dwellings, the abandonment of the unused right-of way of Fisher Avenue and the creation of a homeowner's association for maintenance of the common access road and open space.*







## Surrounding Zoning and Land Uses

- North "A-5" One Family Residential / single-family residential
- East "A-5" One Family Residential / undeveloped
- South "A-5" One Family Residential / railroad tracks
- West "A-5" One Family Residential / single-family residential

## Recent Zoning History

ZC-19-057, Approved on June 4, 2019, Council initiated rezoning for the area generally bounded by Highway 121, Riverside Drive, and the Trinity River. This council-initiated zoning change request was intended to align the existing land uses and zoning and received input and support from the neighborhood (United Riverside). The entire area covered by the rezoning is 400 acres

## Public Notification

### Written Notice

Written notice of the Zoning Commission public hearing was mailed to the owners of real property lying within 300 feet on January 31, 2025.

### Posted Notice

A sign was erected on the property not less than 10 days before the Zoning Commission public hearing date.

### Published Notice

A notice of the public hearing before the City Council will be published in the Fort Worth Star Telegram at least 15 days before the hearing.

### Courtesy Notice

The following organizations were emailed on January 30th, 2025:

Organizations Notified	
Riverside Alliance	United Riverside NA*
East Fort Worth Business Association	Vintage Riverside NA
United Riverside Rebuilding Corporation Inc	East Fort Worth, Inc
Trinity Habitat for Humanity	Streams and Valleys Inc
Tarrant Regional Water District	Oakhurst Alliance of Neighbors
Fort Worth ISD	Friends of Riverside Park

## Development Impact Analysis

### Land Use Compatibility

The current zoning on the property is "A-5" One-Family residential. The subject site is surrounded on all four sides by one-family residential zoning, including direct adjacency on the northern property lines. Areas to the west and east are generally developed as single-family residential neighborhoods. To the south, both streets (Paradise & Baurline) dead end at the railroad tracks, which pass in an approximately east-west direction. These tracks are utilized by TRE Trinity Railway Express commuter rail service that links Dallas and Fort Worth.

Being situated adjacent to the rail line, and with the street dead ends forming a cul-de-sac type of environment with limited through traffic, this request limited to 9 units appears to be an ideal location for this type of housing. Access would be provided through two streets instead of being concentrated down to a single street for ingress/egress. The limited façade lengths would be in-scale with the existing surroundings. The proposed rezoning is compatible with surrounding land uses.

The adopted Comprehensive Plan currently designates the subject property as *future single family residential* on the Future Land Use Map. This designation is analogous to, but not the same as “A-5”, “A-7.5”, “A-10”, and “AR” zones. “CR” Townhouse/Cluster zoning would be classified as Medium Density Residential under the adopted Future Land Use Plan. The difference between Single-Family Residential and Medium Density Residential is negligible as both have a residential character.

### FUTURE LAND USE AND ZONING CLASSIFICATIONS

FUTURE LAND USE	DEFINITION	ZONING
<b>RESIDENTIAL</b>		
Rural Residential	1+ acre single-family	A-2.5A, A-43
Suburban Residential	1/2+ acre single-family	A-21
Single-Family Residential	3,500+ sq. ft. lot single-family	A-10, A-7.5, A-5, AR
Manufactured Housing	Manufactured home parks and subdivisions	MH
Low Density Residential	2,500+ sq. ft. lot single-family, two-family, patio homes, townhouses, cluster housing	B, R1, R2
Medium Density Residential	Up to 36 units/acre multifamily	CR, C, D
Urban Residential	Medium to high density, residential only, pedestrian-oriented development for use between higher and lower intensity uses	UR
High Density Residential	>36 units/acre multifamily, mixed-use multifamily and pedestrian-oriented development in growth centers	UR, MU-1, MU-2, Form-Based Codes

While the proposed zoning is not strictly consistent with the map designation for this area, the proposed zoning **is consistent** with the following policies of the Comprehensive Plan:

- Promote a variety of housing choices
- Encourage infill of compatible housing
- Support the 2023 Fort Worth Neighborhood Conservation Plan & Housing Affordability Strategy to encourage development of all types of market rate housing

While the proposed use is in conformance with the policies stated above, the proposed zoning **is not consistent (Technical Inconsistency)** with the Comprehensive Plan Future Land Use Map designation. If this zoning change request is approved, staff recommends that the Future Land Use Map also be updated to reflect this change.

### Site Plan Comments

If approved, the following items need to be complied on the site plan prior to the ordinance becoming effective:

- Items needed to be complied prior to the ordinance being published
  - All items need are provided
- Items that are permitting comments, but don't necessarily impact the face of the site plan;
  - Fire.
    - 20ft. Fire lanes thru out the complex (24 provided)
    - Possibility of adding a fire hydrant
    - Alley paved to current fire code standards
- Items that are important for consideration of the PD request.
  - Stormwater
    - Site has potential high water that can get up to 5 ft deep. No FEMA Floodplain or City Flood Risk Area on site.

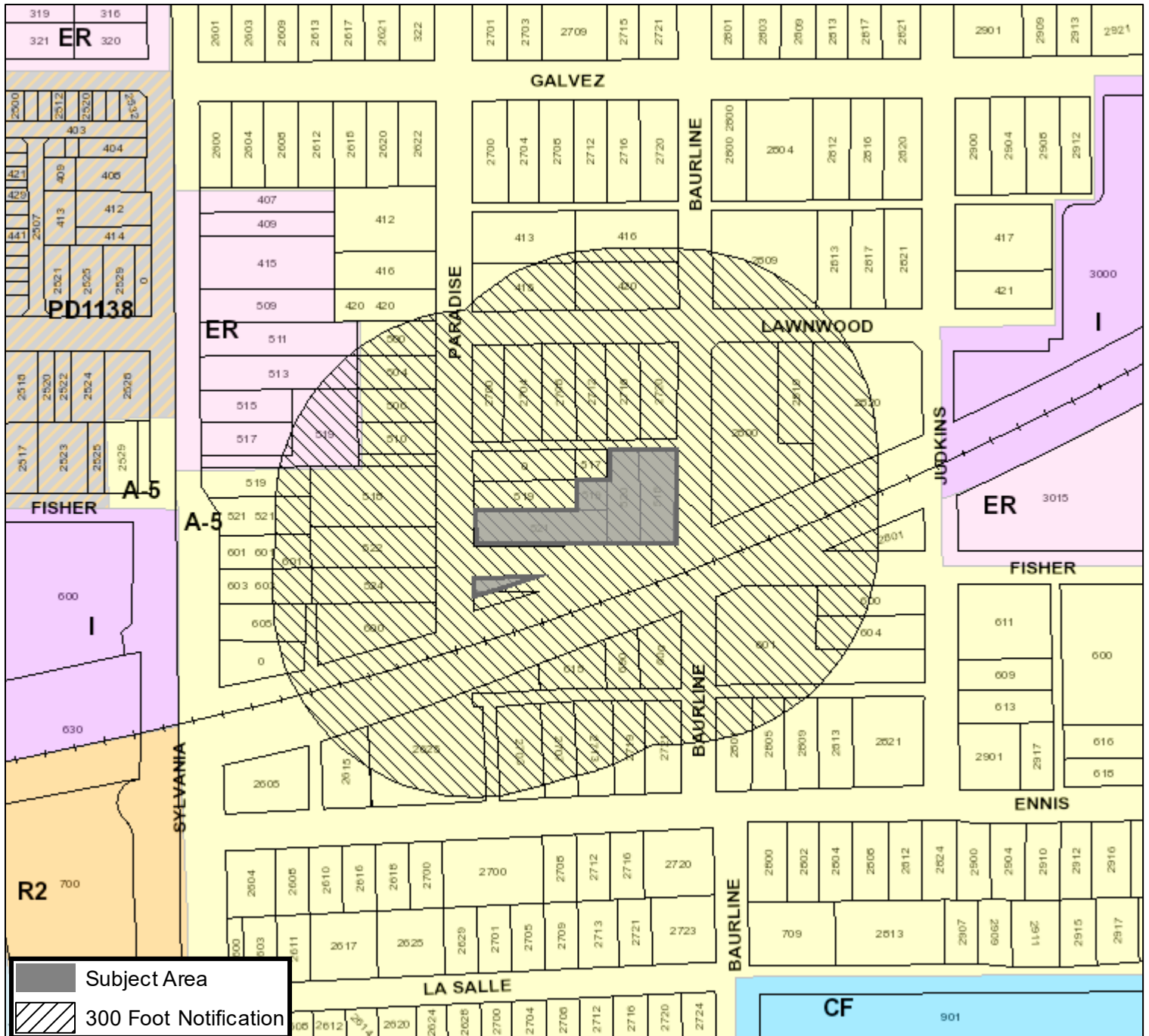


- Storm Infrastructure is located along Lawnwood St per TPW Plan Set S-0602, K-1018, & K-0133.
- An accepted drainage study is required prior to platting, commercial grading issuance, and building permit issuance.
- Zoning
  - Open space roughly 11 percent (60 percent required)
    - *Staff supports this development standard because the proposal is more in line with single-family detached*

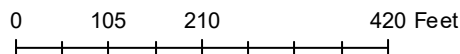


### Area Zoning Map

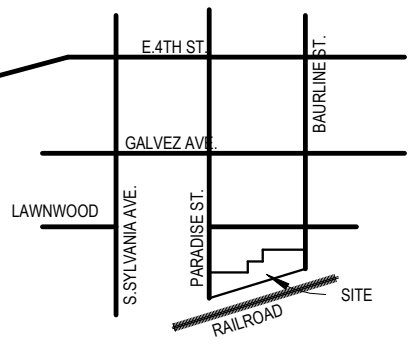
Applicant: Trinity Phoenix LLC/Felix Wong  
 Address: 519-521(odds) & 601 Paradise Street & 518-520 (evens) Baurline Street  
 Zoning From: A-5  
 Zoning To: PD/CR Planned Development for all uses in "CR" Low Density Multifamily, with development  
 Acres: 0.63240312  
 Mapsco: Text  
 Sector/District: Northeast  
 Commission Date: 2/12/2025  
 Contact: 817-392-8043



Subject Area  
 300 Foot Notification



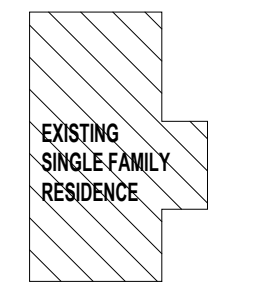
# Lawnwood St.



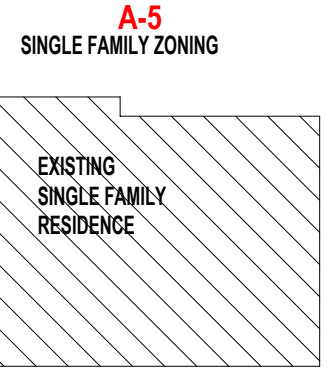
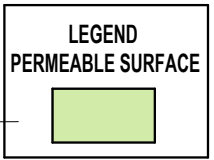
VICINITY MAP

Paradise St.

Baurline St.



A-5 SINGLE FAMILY ZONING



PROPOSED USE - ONE-FAMILY DETACHED DWELLINGS WITH ALL UNITS ON A SINGLE LOT ACCESSED FROM PARADISE STREET

TOTAL RESIDENTIAL UNITS = 10  
 PARKING SPACES REQUIRED = 20  
 GARAGE PARKING PROVIDED = 20

TOTAL SITE AREA - 39,426 SF  
 IMPERMEABLE AREA = 25,033 SF  
 PERMEABLE AREA = 14,393 SF (36%)

The development is designed to "A-5" standards from Section 4.705 of the Zoning Ordinance, with the exception of any waiver/development standards listed below.

1. Average lot area per dwelling less than 5,000 SF
2. Front yard setback minimum along Baurline St

Additionally, the development will comply with requirements of the following:

1. Section 6.300 and 6.301 Landscaping and Bufferyard
2. Section 6.302, Urban Forestry
3. Section 6.507 One-family Dwelling Unit Design Standards

Director of Development Services

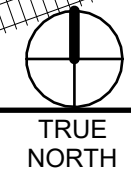
Date

**SCHAUMBURG ARCHITECTS**

8432 Blue Heron Ct., Ft. Worth, TX 76018 817-929-2389  
 Coombs Surveying, PO Box 6160, Fort Worth TX 76115, 817-920-7600  
 Brunel Engineering, Box 40147, Fort Worth TX 76140, 817-995-3132  
 Owner: Trinity Pheonix LLC, 309 E Broad St, Mansfield TX 76063, (817) 473-3332

**SITE PLAN**

SCALE: 1" = 40'-0"



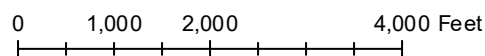
**PARADISE STREET DEVELOPMENT**

**ZC-24-063**  
 12-02-24

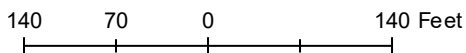
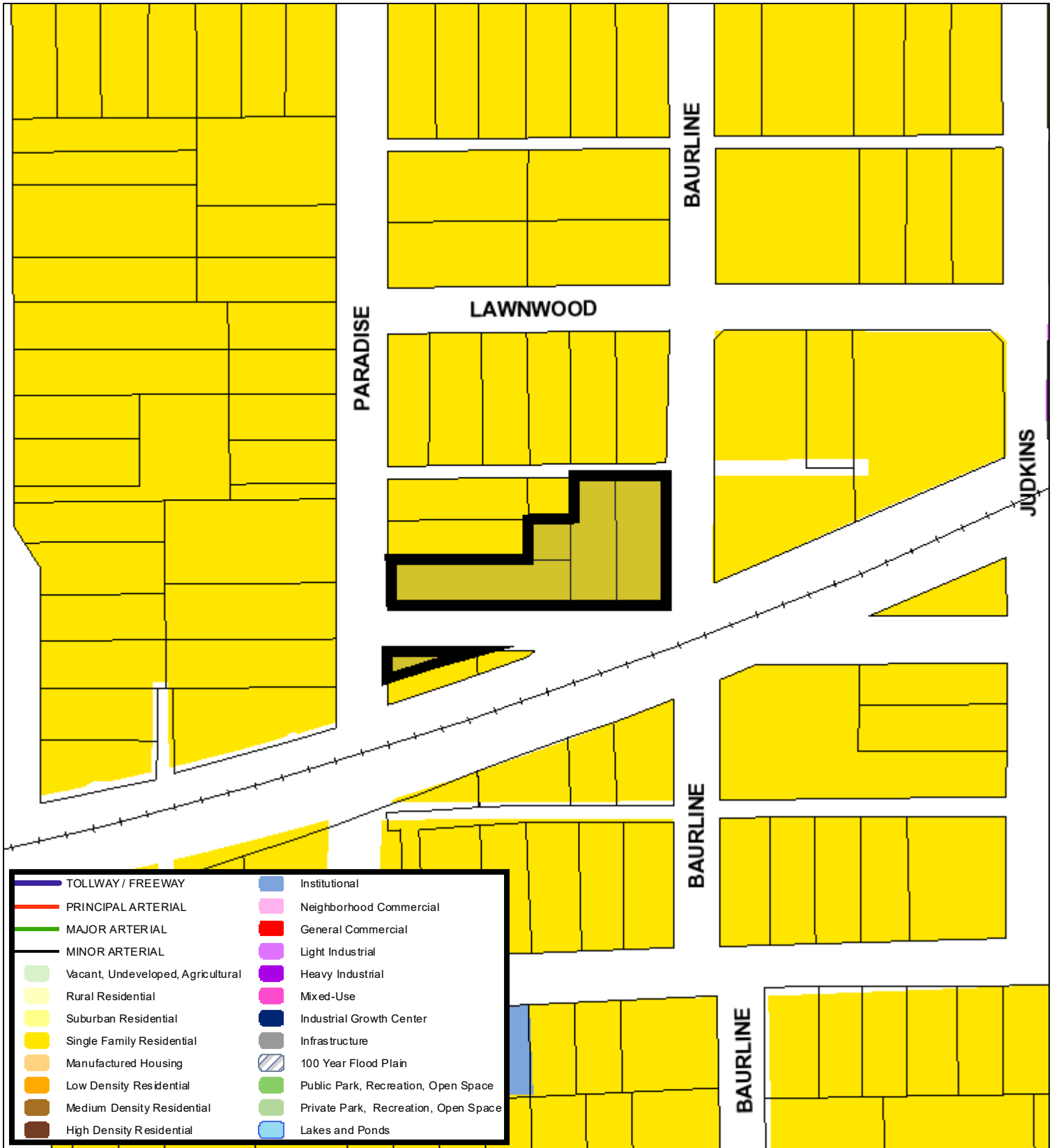
ADDRESS 512 PARADISE STREET  
 BEING all of Lots 7 and 8, and portions of Lots 9, 10, 11 and 12, Block 58 and portions of Lots 1 and 2, Block 83, Riverside Addition, an addition to the City of Fort Worth, Texas, according to the plat recorded in Volume 63, Page 97 of the Plat Records of Tarrant County, Texas, and a portion of Fisher Avenue lying between said Blocks 58 and 83

COPYRIGHT 2024 SCHAUMBURG ARCHITECTS

### Area Map



### Future Land Use



A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



## Aerial Photo Map



0 90 180 360 Feet





# Zoning Staff Report

**Date:** February 12, 2025

**Case Number:** ZC-25-013

**Council District:** 11

## Zoning Map Amendment

**Case Manager:** Lynn Jordan

**Owner / Applicant:** Stephen Rivers / Brian Milligan

**Site Location:** 3626 Meadowbrook Drive

**Acreage:** 0.58 acres

### Request

**Proposed Use:** Retail

**Request:** To: Amend “PD1397” Planned Development for all uses in “ER” Neighborhood Commercial Restricted plus Coffee Shop to allow within the 20 ft. supplemental setback a dumpster enclosure; Site plan included (SP-24-016).

### Recommendation

**Land Use Compatibility:** Requested change **is compatible**

**Comprehensive Plan Policy Consistency:** Requested change **is consistent**

**Staff Recommendation:** **Approval**

### Table of Contents

1. [Project Description and Background](#)
2. [Surrounding Zoning and Land Uses](#)
3. [Recent Zoning History](#)
4. [Public Notification](#)
5. [Development Impact Analysis](#)
  - a. [Land Use Compatibility](#)
  - b. [Comprehensive Plan Consistency](#)
6. Zoning Map with 300 ft. Notification Area
7. Area Map
8. Future Land Use Map
9. Aerial Photograph

## Project Description and Background

The subject area was rezoned in January 2024 to PD/ER plus coffee shop; site plan required. The property is currently a vacant commercial site within the West Meadowbrook Neighborhood Association.

The applicant submitted the required site plan, upon review it was noted a waiver from the development standards would be required. The applicant is seeking a waiver to allow for a dumpster enclosure to be located within the 20ft. supplemental setback. There is an existing building on-site that will be rehabbed for commercial type uses. The second phase will consist of the new coffee shop.





## Surrounding Zoning and Land Uses

North “A-7.5” One-Family/ single family and vacant commercial building  
East “A-5” One-Family / single family and one duplex  
South “A-5” One-Family / single family  
West “A-7.5” One-Family / single family

## Recent Zoning History

- ZC-09-115, subject site and surrounding area, Council-initiated zoning, approved
- ZC-23-002 site to the north, Council-Initiated rezoning from “ER” to “A-5”
- ZC-22-186 from “A-7.5” to PD/SU, approved
- ZC-22-194 from “A-7.5” to “PD/A-7.5” plus triplex, denied

## Public Notification

### Written Notice

Written notice of the Zoning Commission public hearing was mailed to the owners of real property lying within 300 feet on January 31, 2025.

### Posted Notice

A sign was erected on the property not less than 10 days before the Zoning Commission public hearing date.

### Published Notice

A notice of the public hearing before the City Council will be published in the Fort Worth Star Telegram at least 15 days before the hearing.

### Courtesy Notice

The following organizations were notified: (emailed January 31, 2025)

Organizations Notified	
West Meadowbrook NA *	Streams and Valleys Inc
East Fort Worth, Inc.	Trinity Habitat for Humanity
East Fort Worth Business Association	Southeast Fort Worth Inc
Neighborhoods of East Fort Worth	Fort Worth ISD

\* Located within this registered Neighborhood Association

## Development Impact Analysis

### Land Use Compatibility

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The surrounding neighborhood is developed as single family uses with public parks between the neighborhood and the East Freeway (I-30) to the north. With the exception of a vacant commercial site to the north, the rezoning site is surrounded by single family uses and one duplex. The parcel was developed as a small shopping center but has been vacant of commercial uses for over 10 years, when the City of Fort Worth obtained ownership for non-payment of taxes.

The waiver being requested is for a dumpster enclosure, typically these structures are located behind a building screened from the public row. The existing structure sits right on the property line adjacent to an alley. The applicant has also provided a bufferyard for plantings to screen from the residential district adjacency. The location of the dumpster, closest to the building with additional landscaping, stff supports the requested waiver.

Section 6.301 (d) *Screening for commercial and institutional uses.* Screening for commercial/institutional uses shall include screening of loading docks, truck berths, refuse handling facilities (including refuse disposal and recycling) and ground level mechanical equipment visible from public right-of-way.

As such, the proposed zoning is **compatible** with surrounding land uses.

### Comprehensive Plan Consistency – Eastside

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The future land use map will be updated accordingly with the recent zoning change from January 2024. The 2022 Comprehensive Plan previously designated the subject property as Neighborhood Commercial however, on the 2023 update, the recommendation was changed to Single Family Residential based on recent zoning changes. The proposed zoning is consistent with the Future Land Use Designation of Neighborhood Commercial and is consistent with following policies of the Comprehensive Plan:

- Promote a balance of residential, commercial, and industrial uses
- Promote appropriate infill development of vacant lots within developed areas, which will efficiently utilize existing infrastructure, particularly in the central city
- Encourage new development in character with the existing neighborhood scale, architecture, and platting pattern, while working to improve pedestrian, bicycle, and transit access between adjacent neighborhoods and nearby destinations.
- Promote traditional neighborhood and other pedestrian-oriented developments, which encourage human interaction, walking, bicycling, mixed uses, slower traffic, public places, and attractive streetscapes.

Additionally, the proposed zoning would be in alignment with the following policies of the Comprehensive Plan for the Eastside Planning Sector:

2. Promote a desirable combination of compatible residential, office, retail, and commercial uses in the mixed-use zoning districts of the Oakland Corners Urban Village, Historic Handley Urban Village, and the Trinity Lakes form-based code district.

3. Encourage redevelopment of the Oakland Corners Urban Village consistent with its urban village and neighborhood empowerment zone plans.
10. Encourage the reuse of vacant buildings.
11. Encourage demolition of buildings that cannot be economically rehabilitated

## Site Plan Comments

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### **Zoning and Land Use**

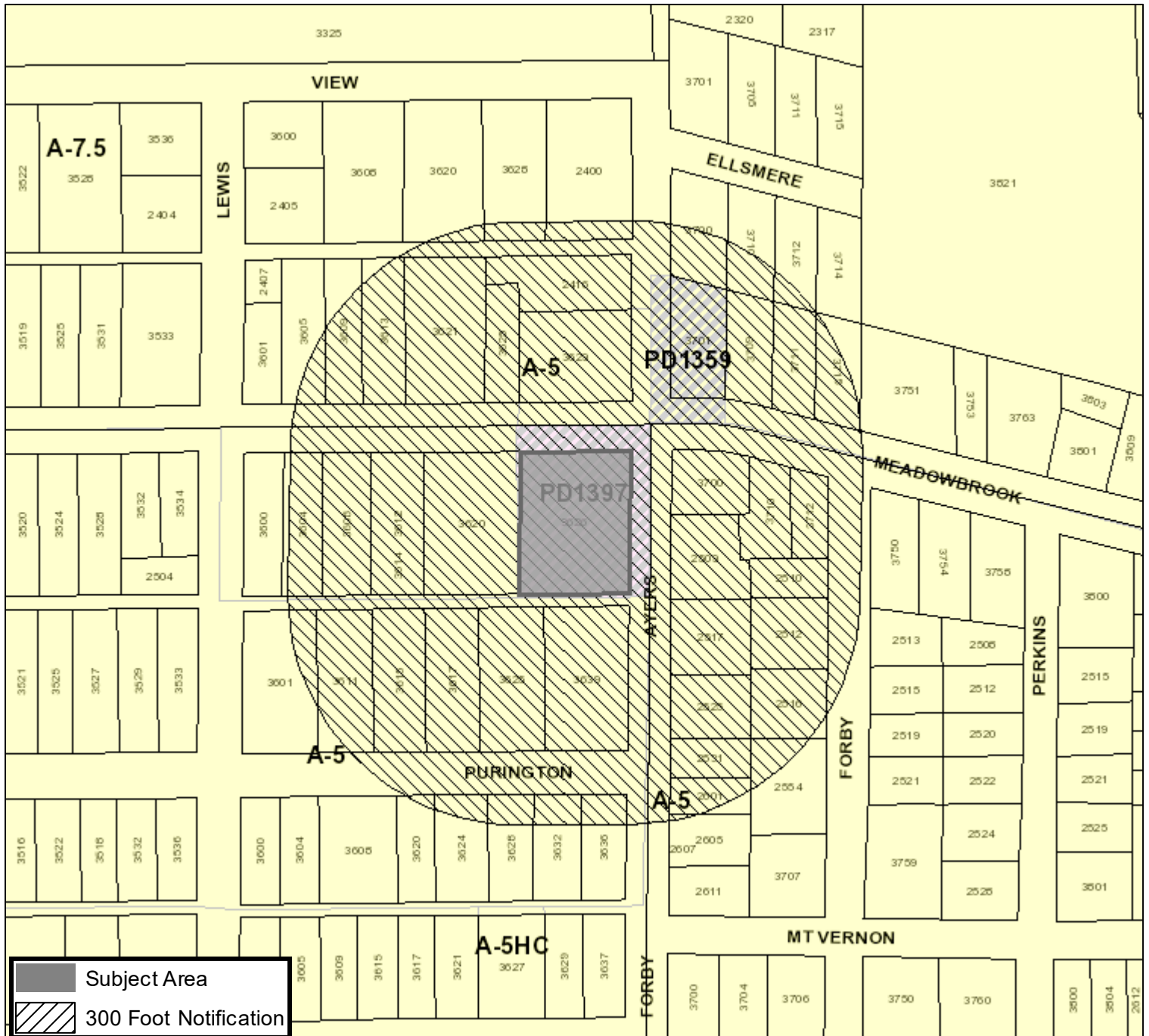
The site plan as submitted is in general compliance with the Zoning Ordinance regulations.

1. Added 1-29-2025\*\* Change the zoning case number to ZC-25-013.

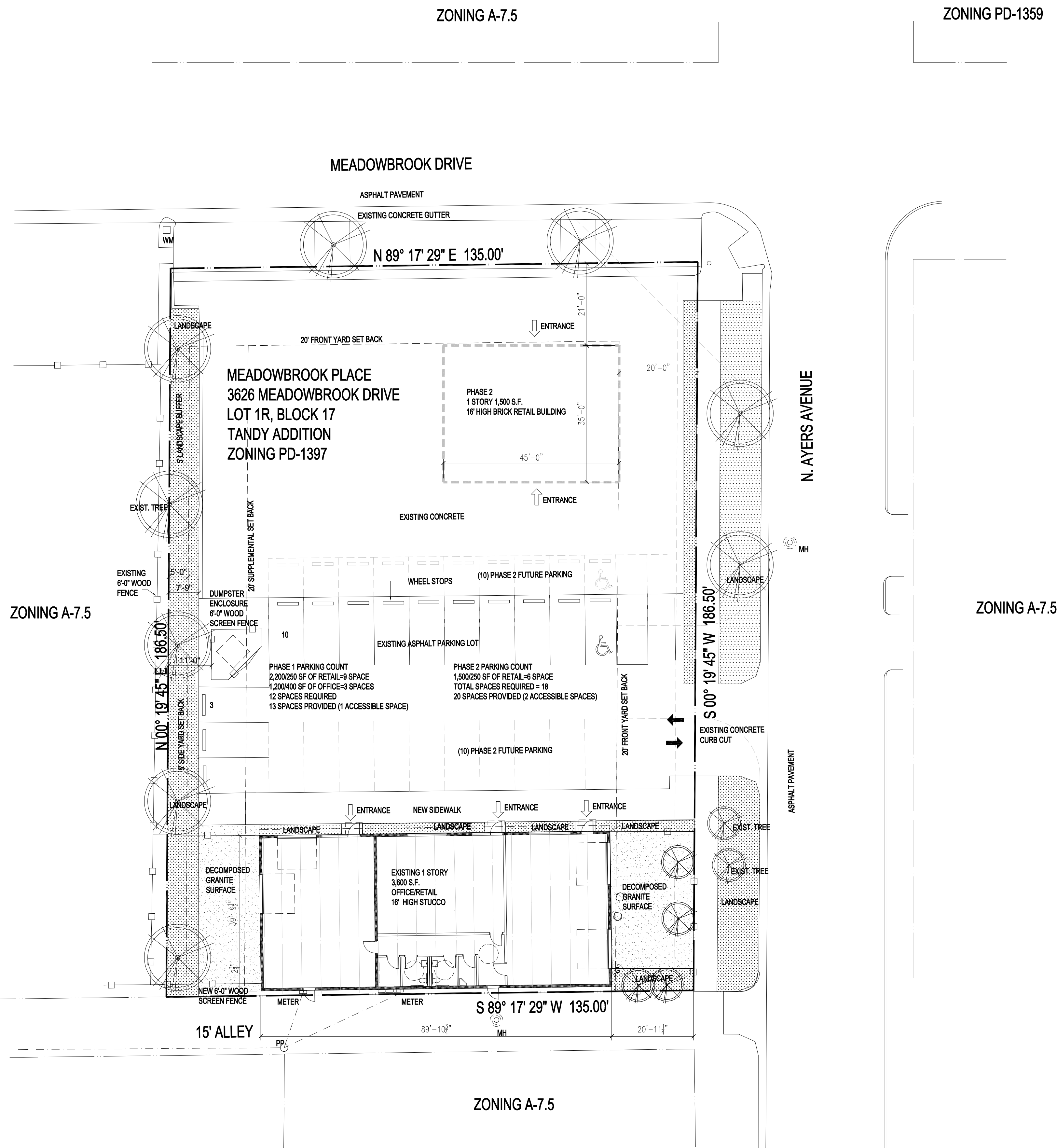
*(Comments made by Platting (Subdivision Ordinance), Transportation/Public Works, Fire, Park & Recreation, and Water Department staff cannot be waived through the Zoning Commission and City Council. Approval of the zoning site plan does not constitute the acceptance of conditions.)*

### Area Zoning Map

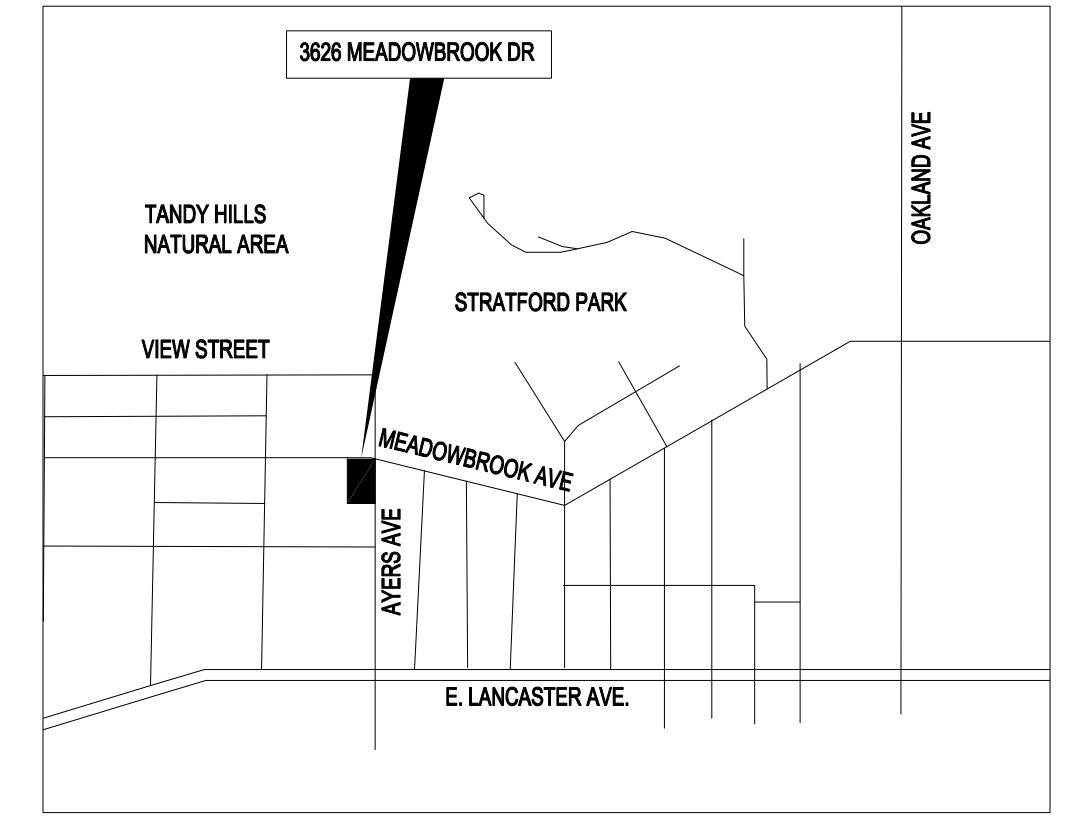
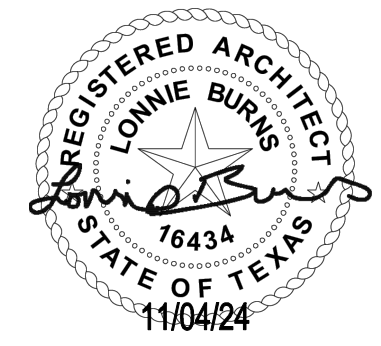
Applicant: Meadowbrook Place LLC / Brian Milligan  
 Address: 3626 Meadowbrook Drive  
 Zoning From: PD 1397  
 Zoning To: Amend PD1397 waiver for dumpster enclosure, add required site plan  
 Acres: 0.61250834  
 Mapsco: Text  
 Sector/District: Eastside  
 Commission Date: 2/12/2025  
 Contact: 817-392-7869



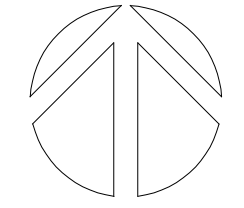
0 90 180 360 Feet



**01** **SITE PLAN**  
 FILE NAME: COFFEE FOLK.DWG SCALE: 1/16"=1'-0"



**02** **VICINITY MAP**  
 SCALE: 1"=1000'



**GENERAL NOTES:**

1. THIS PROJECT WILL COMPLY WITH SECTION 6.301, LANDSCAPEING.
2. THIS PROJECT WILL COMPLY WITH SECTION 6.302, URBAN FORESTRY.
3. ALL SIGNAGE WILL CONFORM TO ARTICLE 4, SIGNS.
4. ALL PROVIDED LIGHTING WILL CONFORM TO THE LIGHTING CODE.
5. THE FOLLOWING MINIMUM STANDARDS SHALL APPLY TO THE WIDTH AND LENGTH OF PARKING SPACES.

TYPE	WIDTH	LENGTH
STANDARD	9'-0"	18'-0"

**OWNER:**  
 MEADOWBROOK PLACE, LLC  
 1101 BRAE COURT  
 FORT WORTH, TEXAS 76111

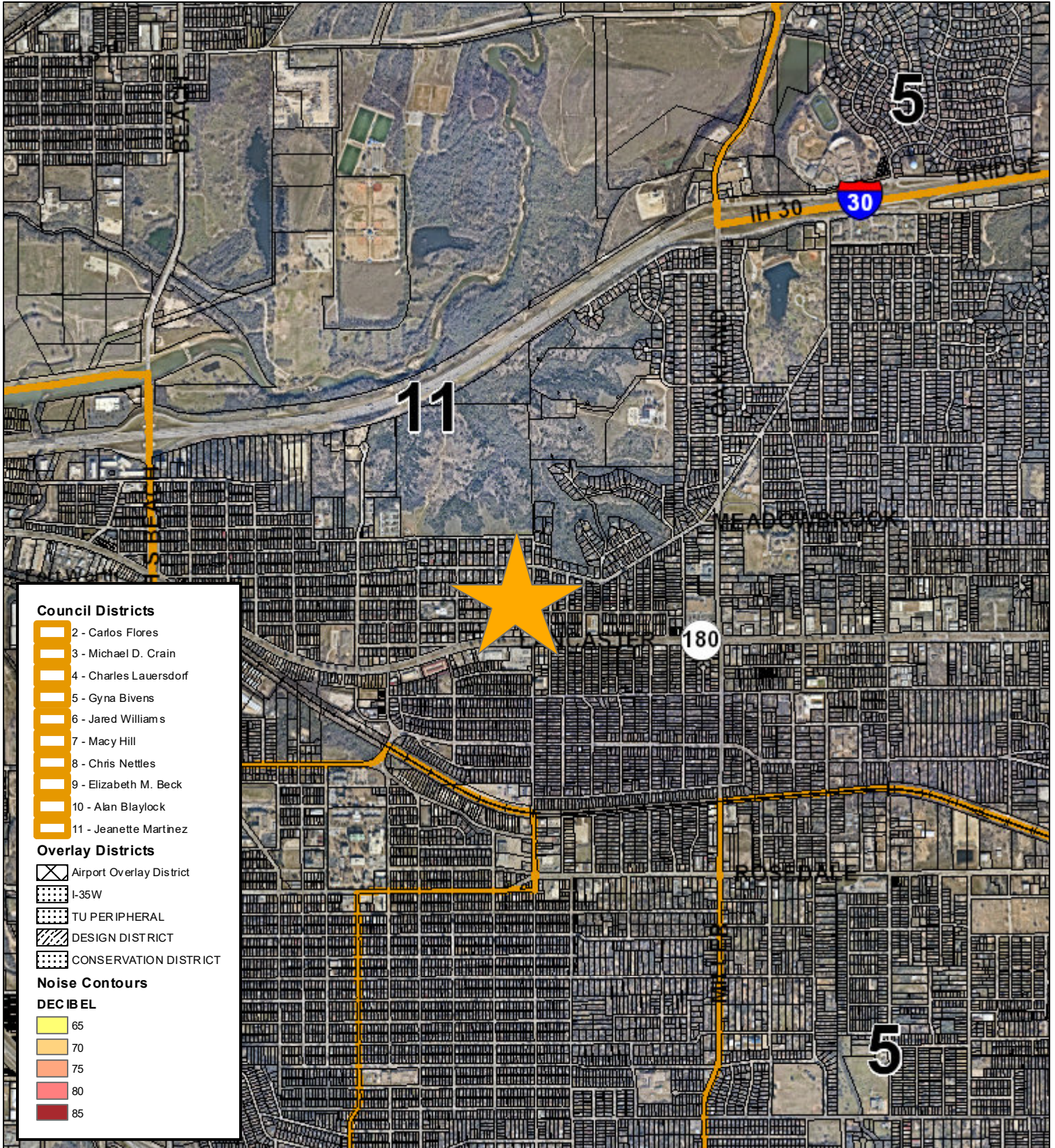
**ARCHITECT:**  
 GFF DESIGN  
 LONNIE BURNS, AIA  
 1701 RIVER RUN, #800  
 FORT WORTH, TEXAS 76107

\_\_\_\_\_  
 DIRECTOR OF DEVELOPMENT SERVICES

\_\_\_\_\_  
 DATE

**MEADOWBROOK PLACE**  
**3626 MEADOWBROOK DRIVE**  
**ZC-23-183**

### Area Map



**Council Districts**

- 2 - Carlos Flores
- 3 - Michael D. Crain
- 4 - Charles Lauerdorf
- 5 - Gyna Bivens
- 6 - Jared Williams
- 7 - Macy Hill
- 8 - Chris Nettles
- 9 - Elizabeth M. Beck
- 10 - Alan Blaylock
- 11 - Jeanette Martinez

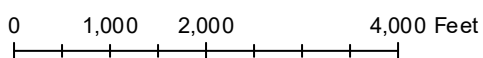
**Overlay Districts**

- Airport Overlay District
- I-35W
- TU PERIPHERAL
- DESIGN DISTRICT
- CONSERVATION DISTRICT

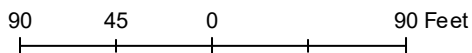
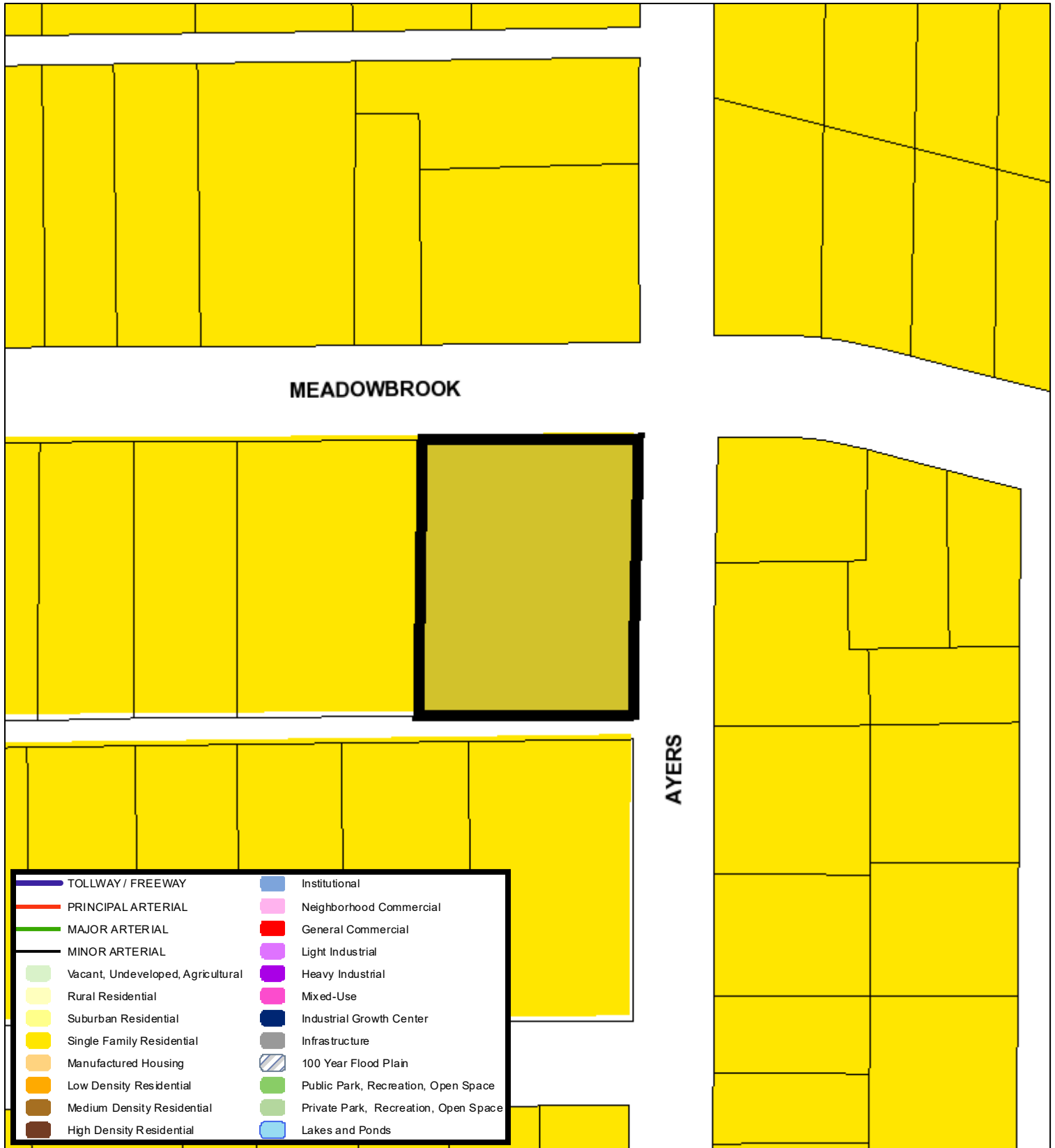
**Noise Contours**

**DECIBEL**

- 65
- 70
- 75
- 80
- 85



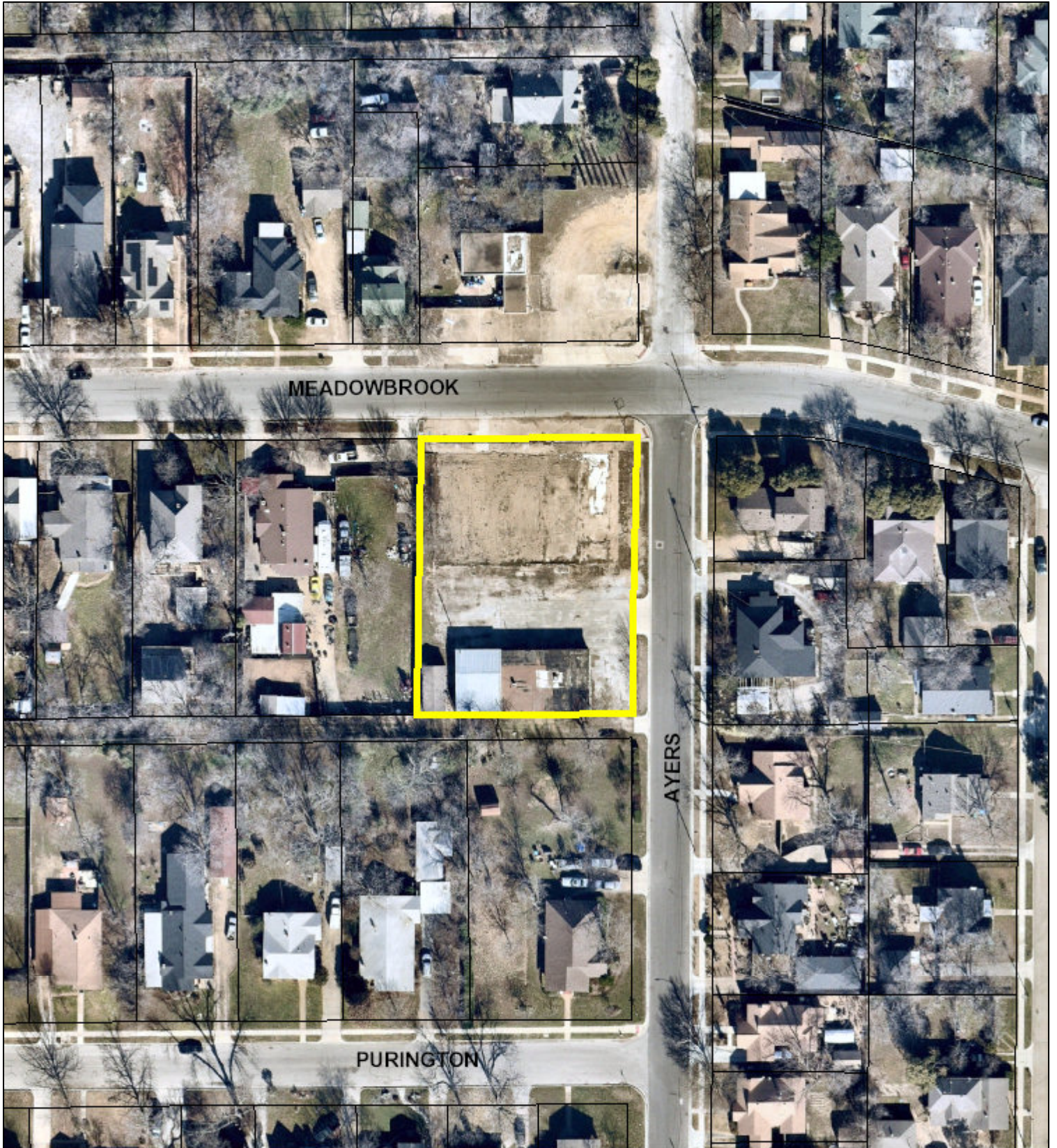
### Future Land Use



A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



## Aerial Photo Map



0 55 110 220 Feet







# Zoning Staff Report

**Date:** February 12, 2025

**Case Number:** ZC-24-132

**Council District:** future 10

## Zoning Map Amendment

**Case Manager:** Lynn Jordan

**Owner / Applicant:** Gunner Chi / Whigham Family Ltd Partnership & Nolan Ragsdale / Rob Betancur, Zena Land Development, LP

**Location:** Generally bounded by Seventeen Lakes Blvd., Round Valley Ln., Endeavor and Litsey Rd. (15323 Seventeen Lakes Blvd.) **Acreage:** 35.86 acres

### Request

**Proposed Use:** Single Family

**Request:** From: Unzoned (AX-24-014)

To: "A-5" One-Family Residential

### Recommendation

**Land Use Compatibility:** Requested change **is compatible**

**Comprehensive Plan Map Consistency:** Requested change **is consistent**

**Comprehensive Plan Policy Consistency:** Requested change **is consistent**

**Staff Recommendation:** **Approval**

### Table of Contents

- [1. Project Description and Background](#)
- [2. Surrounding Zoning and Land Uses](#)
- [3. Recent Zoning History](#)
- [4. Public Notification](#)
- [5. Development Impact Analysis](#)
6. Zoning Map with 300 ft. Notification Area
7. Area Map
8. Future Land Use Map
9. Aerial Photograph

## Project Description and Background

The applicant may request a continuance at the public hearing.

The subject site is located south of Litsey Road, and west of Seventeen Lakes Boulevard. Total acreage is just over 35 acres. The site is currently undeveloped.

The property is located outside the city limits within the City's extra-territorial jurisdiction (ETJ). The property owner has requested owner-initiated annexation for full purpose annexation, the case will be considered by City Council on March 11, 2025. The City Council will conduct a public hearing on the proposed annexation request. The public hearing is an opportunity for individuals who are interested in the annexation to be heard. Once the required public hearing is conducted, City Council can consider a vote to approve the request and authorize the execution of a Municipal Services Agreement and annex the property into the corporate limits of the City of Fort Worth.

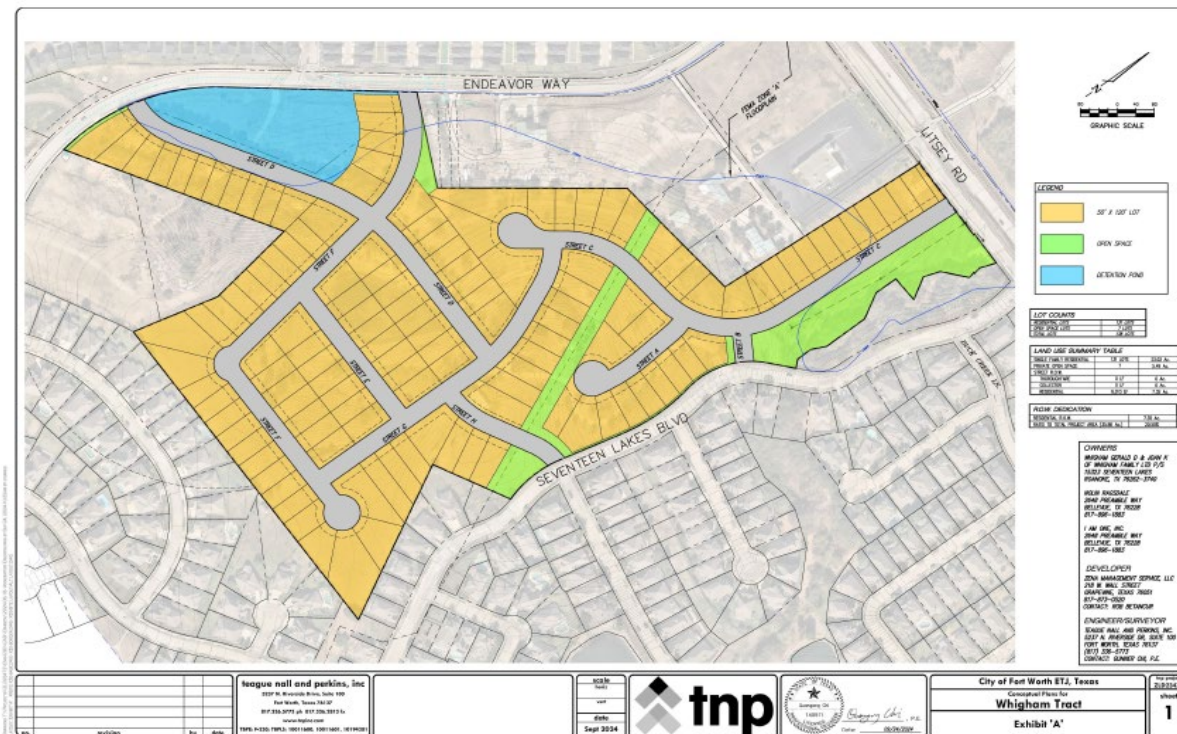
The following narrative was included as part of the applicant's submittal package:

*This rezoning change is in conjunction with the annexation application package AX-24-014. It includes multiple parcels with a total of 3 owners.*

*The total annexation and rezoning area is 35.86 AC (29.813 AC Whigham tract, 2.294 AC Ragsdale tract, 3.753 AC I AM ONE tract) which can be found in the ownership exhibit.*

*Once annexation is complete, the zoning district will default to AG (Agricultural). This rezoning application is to rezoning it to "A-5" One-Family. The land use will be changed from agricultural to single-family residential.*

*We believe this use is compatible with the City of Fort Worth current land uses in the vicinity since it is surrounded by Seventeen Lakes subdivision and Litsey Cottages subdivision which are both single-family residential.*



## Surrounding Zoning and Land Uses

- North (ETJ) & "AG" Agricultural / church & undeveloped
- East "A-5" One-Family residential / single family
- South "A-5" One-Family residential / single family
- West (ETJ) & "PD1290" Planned Development for "CR" Low Density multifamily / undeveloped and metal commercial buildings / detached cottages

## Recent Zoning History

- ZC-20-080 Approved by Council 9/2020 for PD/CR plus cottage community with development standards; site plan approved; subject area to the west
- ZC-00-106 Approved by Council 12/2000 for A-7.5; subject area to the north

## Public Notification

### Written Notice

Written notice of the Zoning Commission public hearing was mailed to the owners of real property lying within 300 feet on January 31, 2025.

### Posted Notice

A sign was erected on the property not less than 10 days before the Zoning Commission public hearing date.

**Published Notice**

A notice of the public hearing before the City Council will be published in the Fort Worth Star Telegram at least 15 days before the hearing.

**Courtesy Notice**

The following organizations were notified: (emailed January 31, 2025)

Organizations Notified	
North Fort Worth Alliance	
Seventeen Lakes HOA*	Streams and Valleys Inc
Northwest ISD	Trinity Habitat for Humanity

*\*Located closest to these registered Neighborhood Associations*

## Development Impact Analysis

### Land Use Compatibility

The ETJ enclave is surrounded by single family development, with a few parcels to the west that are still in the ETJ developed as commercial land. Access to Oakmont Boulevard, which comprises the southern boundary of the tract.

The proposed zoning is **compatible** with surrounding land uses.

Subject properties to the west





Subject property to the east



Subject property to the north



## Comprehensive Plan Consistency – FLU Maps and Policies – Far North Planning Sector

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The 2023 Comprehensive Plan currently designates the subject property as *future single family residential*. The zoning types that would be in alignment with this future land use designation are “AR”, “A-5”, “A-7.5”, “A-10” One-Family residential. The proposed zoning **is consistent** with the future land use map portion of the Comprehensive Plan.

The proposed zoning **is consistent** with the following policies of the Comprehensive Plan:

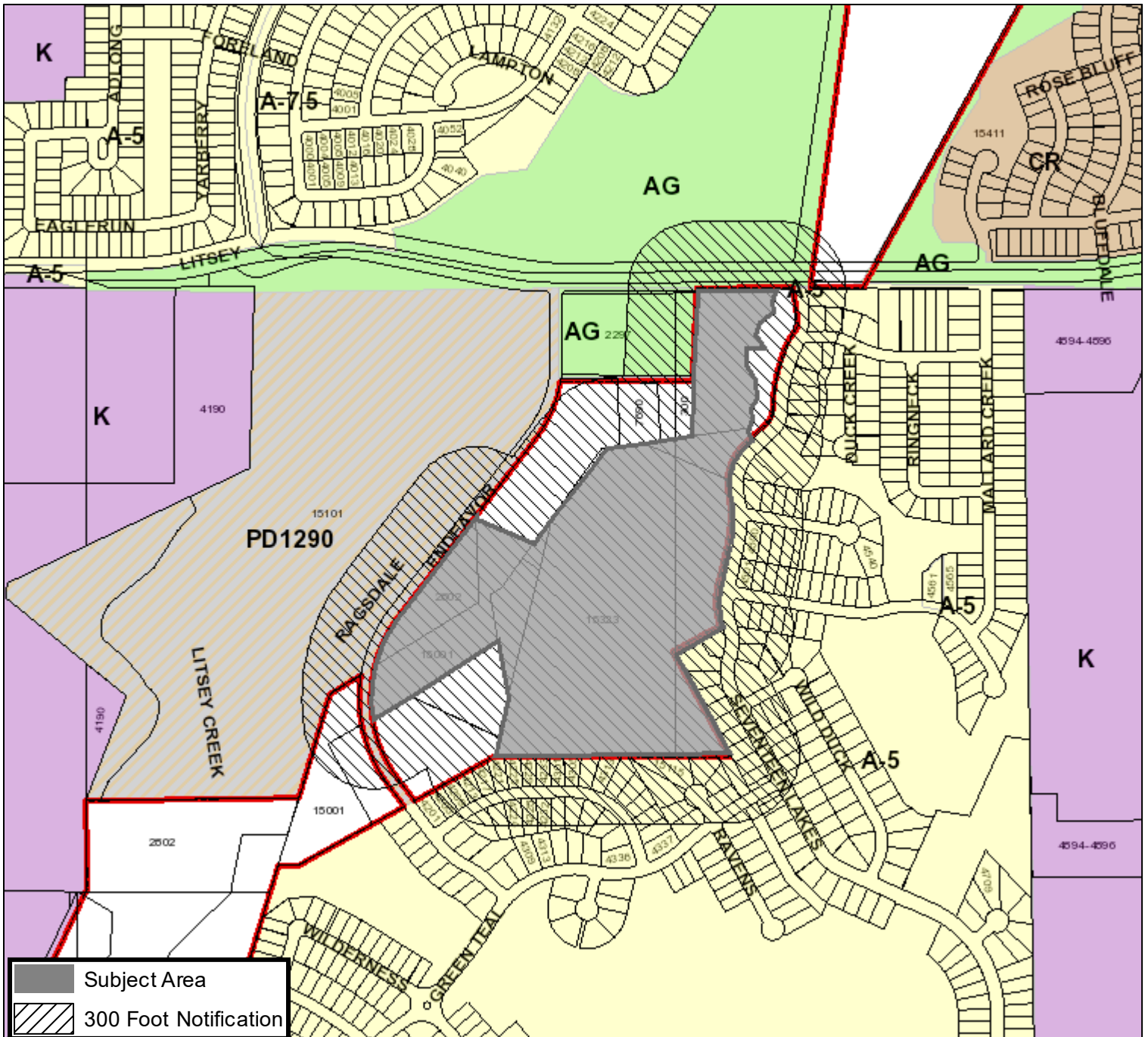
### Sector Land Use Policies

1. Promote fiscally sustainable growth on the periphery of the city by encouraging development adjacent to existing adequate infrastructure and discouraging leapfrog development.
2. Promote the use of parallel local access lanes along major roadways to encourage development in which the front façade of homes can face the street without the need for multiple driveway curb-cuts on the major street, thereby preserving traffic flow and safety, increasing the pedestrian friendliness of the street, and eliminating the canyon effect of backyard fences lining the street.

RESIDENTIAL		
Rural Residential	1+ acre single-family	A-2.5, A-43
Suburban Residential	1/2+ acre single-family	A-21
Single-Family Residential	3,500+ sq. ft. lot single-family	A-10, A-7.5, A-5, AR

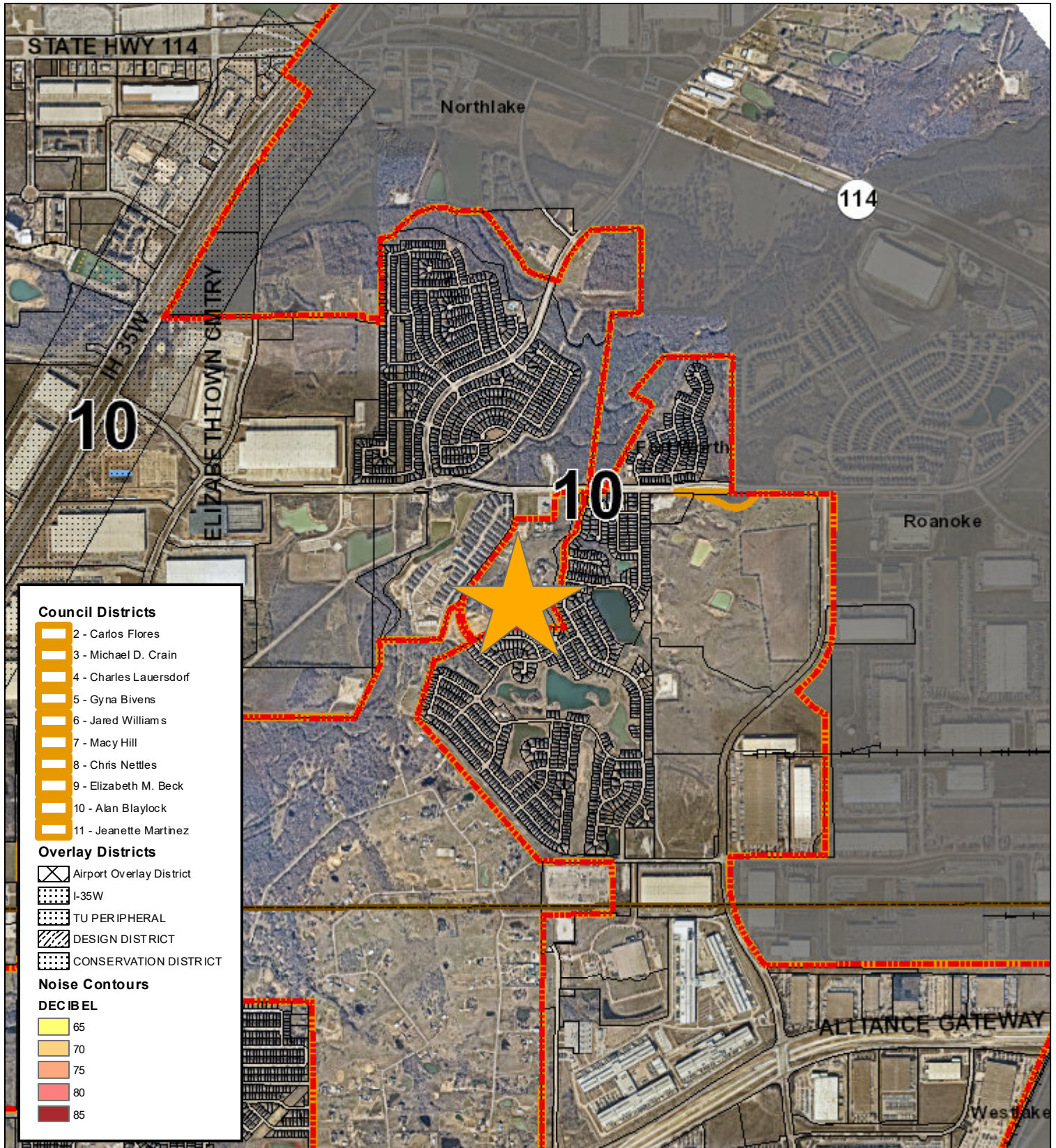
### Area Zoning Map

Applicant: Nolin W. Ragsdale/Rob Betancur/Gunner Chi  
 Address: Generally Bounded by Seventeen Lakes blvd., Round Valley Ln. Endeavor and Litsey Road  
 Zoning From: Unzoned  
 Zoning To: A-5  
 Acres: 35.69712322  
 Mapsco: Text  
 Sector/District: Far\_North  
 Commission Date: 2/12/2025  
 Contact: 817-392-7869



0 300 600 1,200 Feet

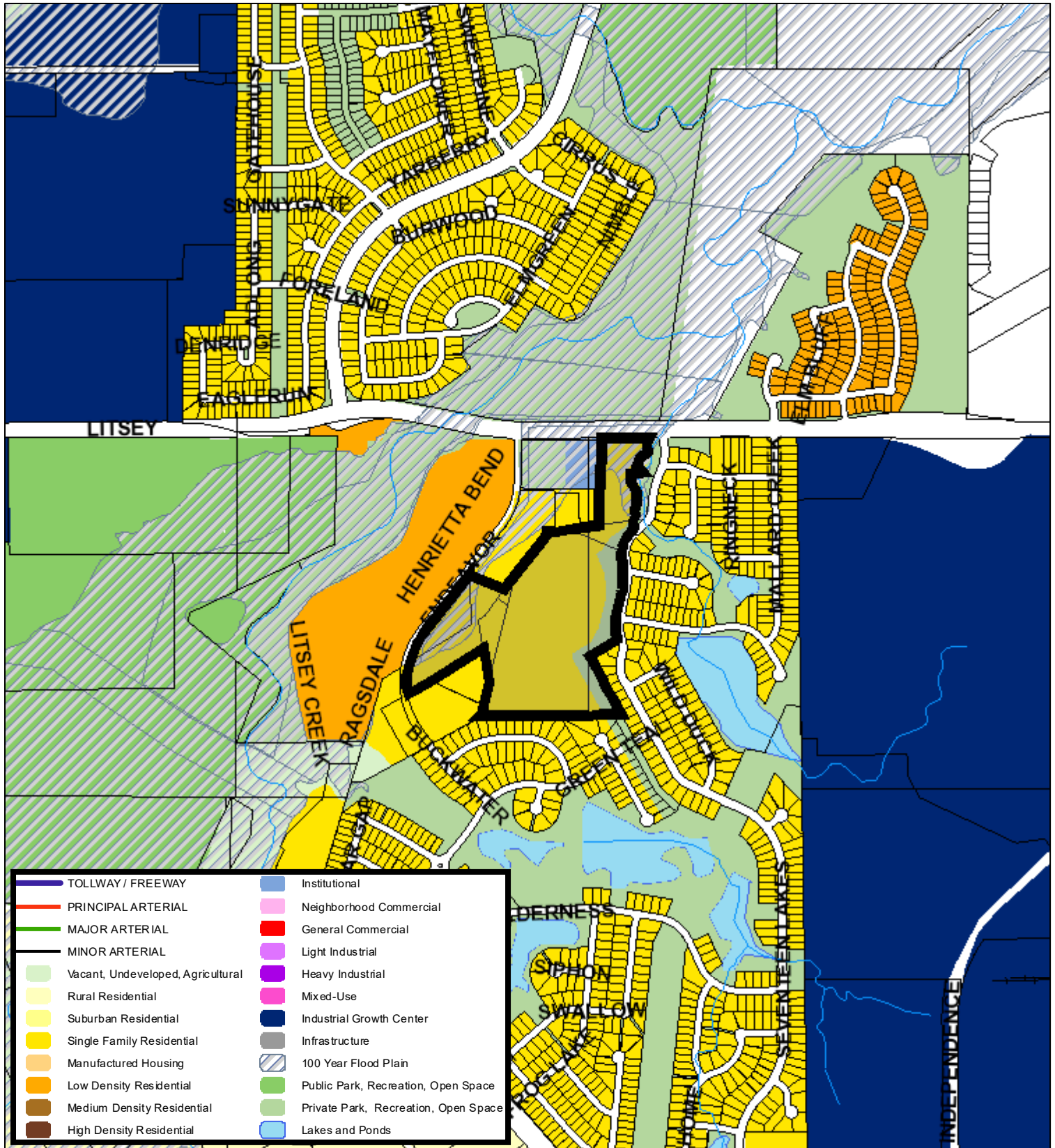
### Area Map



0 1,000 2,000 4,000 Feet



### Future Land Use



960 480 0 960 Feet

A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



## Aerial Photo Map



0 600 1,200 2,400 Feet





# Zoning Staff Report

**Date:** February 12, 2025

**Case Number:** ZC-24-166

**Council District:** 9

## Zoning Map Amendment

**Case Manager:** [Beth Knight](#)

**Owner / Applicant:** PDuran Properties/ Elizabeth Padilla

**Site Location:** 1309 E. Peach Street

**Acreage:** 0.12 acres

### Request

**Proposed Use:** Short-term Rental

**Request:** From: “D” High Density Multifamily / Historic Samuels Design District Overlay

To: “MU-1” Low Intensity Mixed-Use / Historic Samuels Design District Overlay

### Recommendation

**Land Use Compatibility:** Requested change **is compatible**

**Comprehensive Plan Map Consistency:** Requested change **is consistent**

**Comprehensive Plan Policy Consistency:** Requested change **is consistent**

**Staff Recommendation:** **Approval**

### Table of Contents

1. [Project Description and Background](#)
2. [Surrounding Zoning and Land Uses](#)
3. [Recent Zoning History](#)
4. [Public Notification](#)
5. [Development Impact Analysis](#)
  - a. [Land Use Compatibility](#)
  - b. [Comprehensive Plan Consistency](#)
6. Zoning Map with 300 ft. Notification Area
7. Area Map
8. Future Land Use Map
9. Aerial Photograph

## Project Description and Background

The subject site is located in the northeast quadrant of E. Belknap and N. Hampton Streets. The proposal to rezone this property would change the current zoning “D” High Density Multifamily to “MU-1” Low Intensity Mixed-Use. This rezoning request would change the property from a less intensive zoning category to a more intensive zoning category. The site is in a transitional area with a mix of multifamily, commercial, mixed-use, and industrial zoning districts. The neighborhood was developed with single family residences prior to 1930, according to Tarrant Appraisal District data, but now contains interspersed vacant lots. The Downtown Design Overlay was extended to this area in 2016.

The house was significantly rebuilt in 2023 in the same location with a driveway added to the eastern side. The driveway apron from the street to the property line and the required trees still need to be installed. Single family houses are allowed to be constructed in the more intensive “D” High Density Multifamily districts, as long as the “A-5” One-Family standards are followed. Several existing hotels are noted approximately 4 blocks to the southwest. The applicant is requesting to rezone the property to “MU-1” Low Intensity Mixed-Use to use the building as a short-term rental. The current zoning district is restricted to long-term rentals (over 30 days) only. The “MU-1” rezoning would further allow the building to be converted into a live/work building or a commercial use with a change of use remodel permit, instead of a rezoning case. Additional parking could be provided in the rear. The Historic Samuels Design District Overlay will control any further exterior building renovations.



## Surrounding Zoning and Land Uses

North “I” Light Industrial in the Historic Samuels Design District Overlay / single family uses

East “D” High Density Multifamily in the Historic Samuels Design District Overlay / single family uses and vacant land

South “D” High Density Multifamily in the Historic Samuels Design District Overlay / single family uses

West “G” High Intensity Commercial and “PD 1349” Planned Development 1349 for “H” Downtown uses in the Historic Samuels Design District Overlay / single family uses and vacant land

## Zoning History

The base zoning district’s history pre-dates 2004.

ZC-16-107, revision and expansion of the Downtown Urban Design District Overlay, approved, 12/7/2016.

## Public Notification

### Written Notice

Written notice of the Zoning Commission public hearing was mailed to the owners of real property lying within 300 feet were mailed on January 31, 2025.

### Posted Notice

A sign was erected on the property not less than 10 days before the Zoning Commission public hearing date.

### Published Notice

A notice of the public hearing before the City Council will be published in the Fort Worth Star Telegram at least 15 days before the hearing.

### Courtesy Notice

The following organizations were emailed on January 31, 2025:

Organizations Notified	
Greenway NA *	Inter-District 2 Alliance
Fort Worth Downtown Neighborhood Alliance	Oakhurst Alliance of Neighbors
East Fort Worth Inc.	Friends of Riverside Park
Tarrant Regional Water District	East Fort Worth Business Association
Streams & Valleys Inc	Fort Worth ISD
Trinity Habitat for Humanity	

*\*Located closest to this registered Neighborhood Association*

## Development Impact Analysis

### Land Use Compatibility

A residential use (such as a single-family house) is considered among the least intensive land uses, when compared to commercial or industrial uses. With the subject site surrounded by existing residential properties in

a blend of zoning districts, the proposed rezoning to “MU-1” Low Intensity Mixed-Use is a transitional district that balances the proposed land use with the adjacent residential uses in both residential and commercial district. Mixed-use zoning is designed to create compact, walkable neighborhoods that provide a variety of housing types and commercial uses with higher design standards to minimize disruption between the differing building sizes and types. The proposed rezoning **is compatible** with surrounding land uses and avoid uses such as bars, auto repair, and pawnshops that would be allowed under the “G” Intensive Commercial zoning found immediately to the west. The current single-family house would remain a legal conforming use under “MU-1” Low Intensity Mixed-Use zoning.

## Comprehensive Plan Consistency – Northeast

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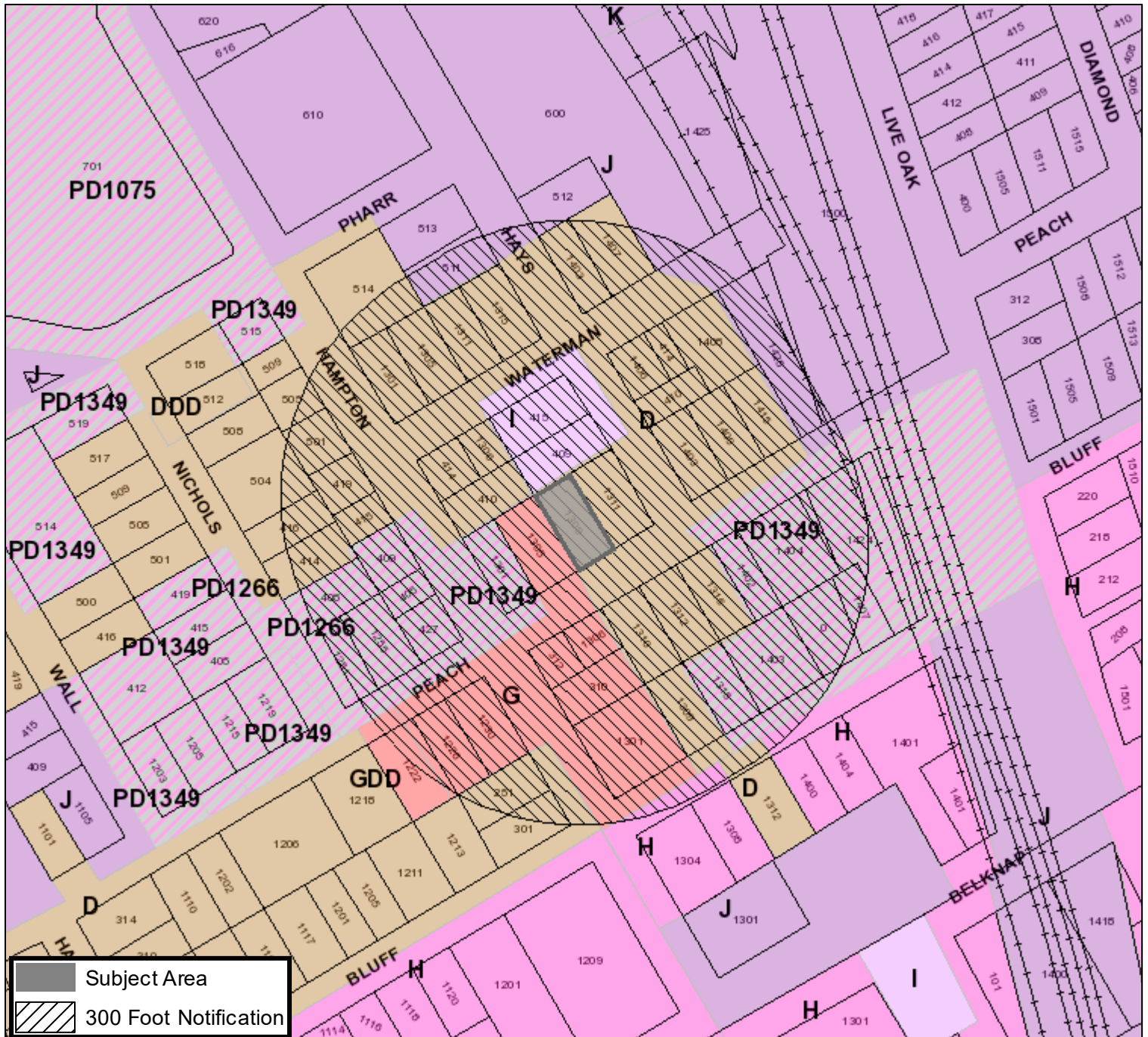
The 2023 Comprehensive Plan currently designates the subject property as *mixed use*. The zoning types that would be in alignment with this future land use designation are “UR” Urban Residential, Mixed-Use districts, Form-Based district, and all Commercial districts. The proposed zoning **is consistent** with the map designation portion of the Comprehensive Plan.



The proposed zoning **is consistent** with the following policies of the Comprehensive Plan:

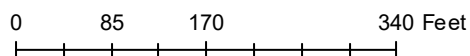
- Accommodate higher density residential and mixed uses in transit-oriented developments, urban villages, and designated mixed-use growth centers.
- Promote appropriate infill development of vacant lots, old commercial centers (greyfields), and contaminated sites (brownfields) within developed areas, particularly in the central city.
- Encourage new development adjacent and connected to previously developed or platted areas in order to utilize existing utility and road infrastructure and services, thereby optimizing public and private investments and discouraging sprawl development.
- Support zoning changes that accommodate multifamily residential development within urban villages, transit-oriented developments (TOD) and designated growth centers.
- Promote commercial and multifamily development within the Downtown Mixed-Use Growth Center.

## Area Zoning Map

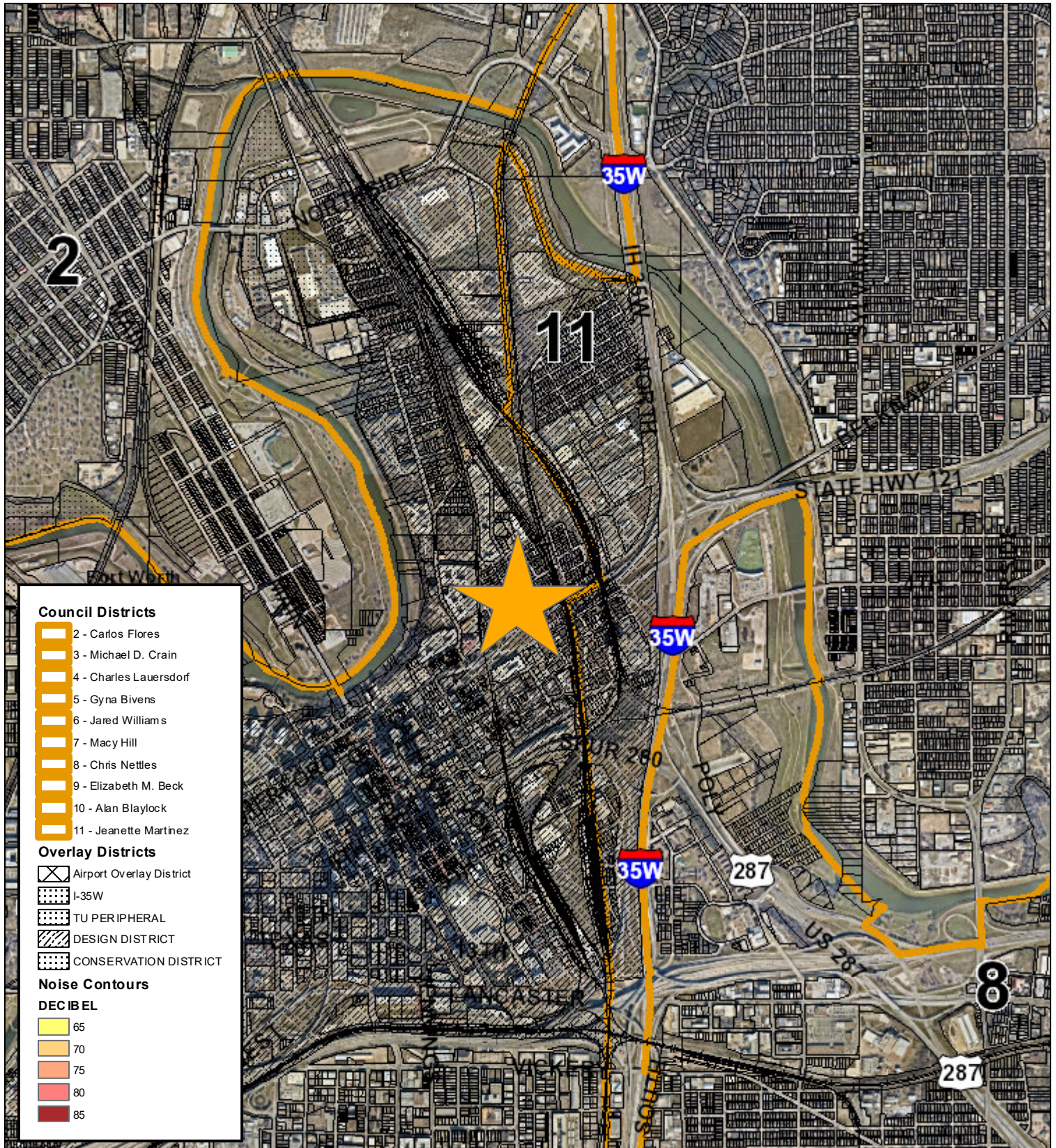
Applicant: P Duran Properties/ Elizabeth Padilla  
 Address: 1309 E. Peach Street  
 Zoning From: D  
 Zoning To: MU-1  
 Acres: 0.1158571  
 Mapsco: Text  
 Sector/District: Northeast  
 Commission Date: 2/12/2025  
 Contact: 817-392-8190



	Subject Area
	300 Foot Notification



### Area Map



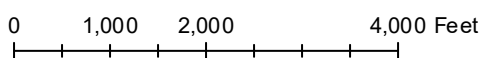
Council Districts	
[Yellow outline]	2 - Carlos Flores
[White outline]	3 - Michael D. Crain
[White outline]	4 - Charles Lauerdorf
[White outline]	5 - Gyna Bivens
[White outline]	6 - Jared Williams
[White outline]	7 - Macy Hill
[White outline]	8 - Chris Nettles
[White outline]	9 - Elizabeth M. Beck
[White outline]	10 - Alan Blaylock
[Yellow outline]	11 - Jeanette Martinez

Overlay Districts	
[X pattern]	Airport Overlay District
[Dotted pattern]	I-35W
[Diagonal lines]	TU PERIPHERAL
[Cross-hatch pattern]	DESIGN DISTRICT
[Stippled pattern]	CONSERVATION DISTRICT

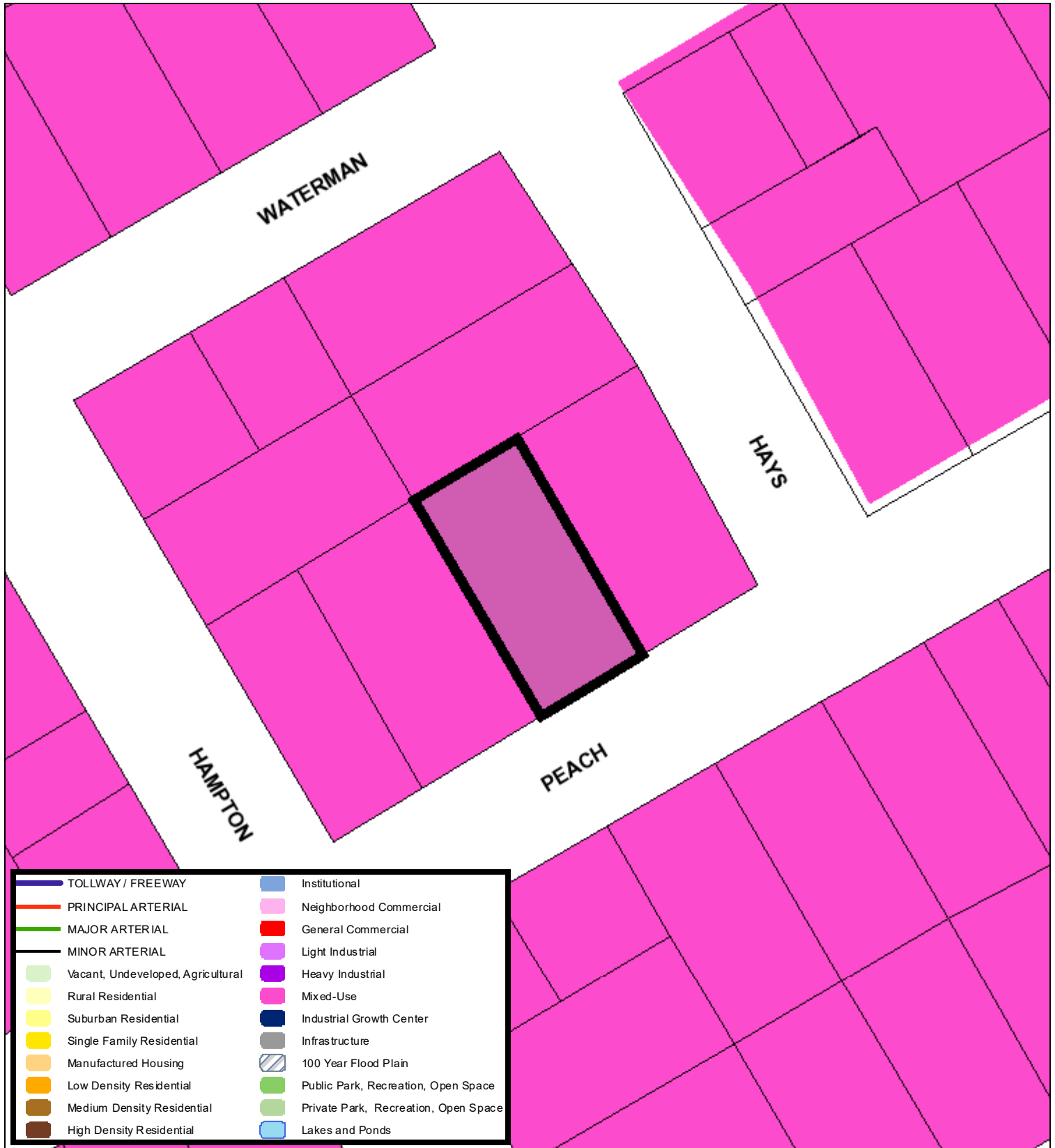
  

Noise Contours	
DECIBEL	
[Light yellow]	65
[Yellow]	70
[Orange]	75
[Red-orange]	80
[Red]	85

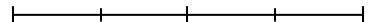




### Future Land Use



50 25 0 50 Feet



A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



**Aerial Photo Map**



0 30 60 120 Feet





# Zoning Staff Report

**Date:** February 12, 2025

**Case Number:** ZC-24-171

**Council District:** 2

## Zoning Map Amendment

**Case Manager:** [Christine Ross](#)

**Owner / Applicant:** Josue Cardenas / Mark Salgado

**Site Location:** 3060 Hardy Street

**Acreage:** 0.15 acres

### Request

**Proposed Use:** Single-Family Residential Home

**Request:** From: "I" Light Industrial

To: "A-5" Single Family Residential

### Recommendation

**Land Use Compatibility:** Requested change **is compatible**

**Comprehensive Plan Map Consistency:** Requested change **is consistent**

**Comprehensive Plan Policy Consistency:** Requested change **is consistent**

**Staff Recommendation:** **Approval**

### Table of Contents

- |   |   |
|---|---|
| 1. <a href="#">Project Description and Background</a> | a. <a href="#">Land Use Compatibility</a>         |
| 2. <a href="#">Surrounding Zoning and Land Uses</a>   | b. <a href="#">Comprehensive Plan Consistency</a> |
| a. Area Map   |   |
| b. Aerial Photograph                                  |   |
| 3. <a href="#">Recent Zoning History</a>              | 6. Zoning Map with 300 ft. Notification Area      |
| 4. <a href="#">Public Notification</a>                | 7. Future Land Use Map                            |
| 5. <a href="#">Development Impact Analysis</a>        |   |

## Project Description and Background

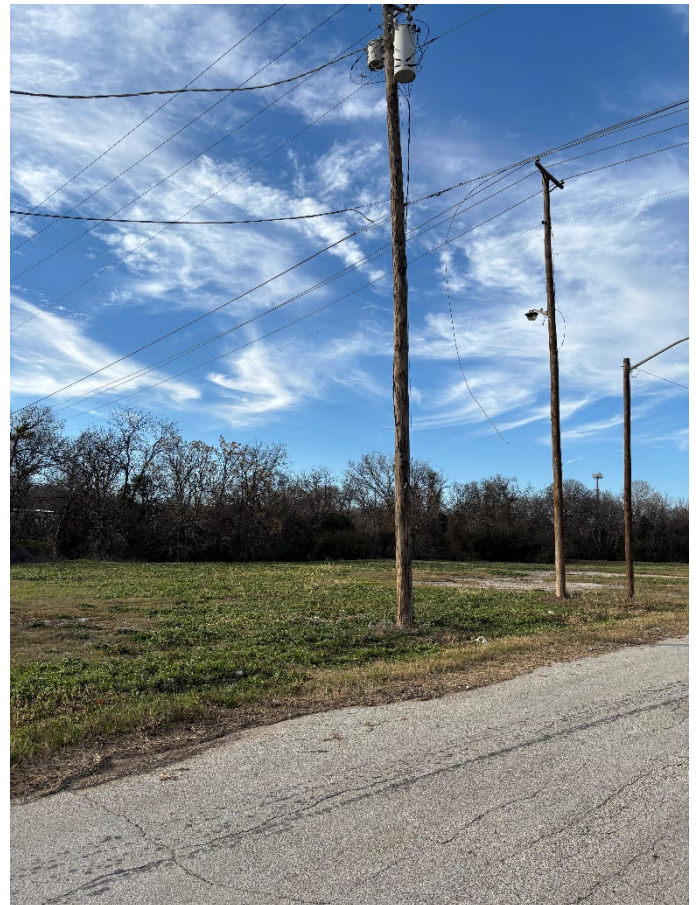
The subject site is a 0.15-acre lot within Council District 2 and Neighborhood Empowerment Zone One. The site is currently vacant and is proposed to be rezoned from the existing “I” Light Industrial District to the “A-5” One-Family Residential District to accommodate the construction of a single-family home.

There are numerous industrial-zoned single-family dwellings to the north and south of the property and are considered legal nonconforming uses. This development aims to introduce residential use into an area of industrial zoning. The proposed construction of a single-family home will bridge the residential zones to the east and the commercial zones to the west, fostering a more integrated and diverse community fabric.

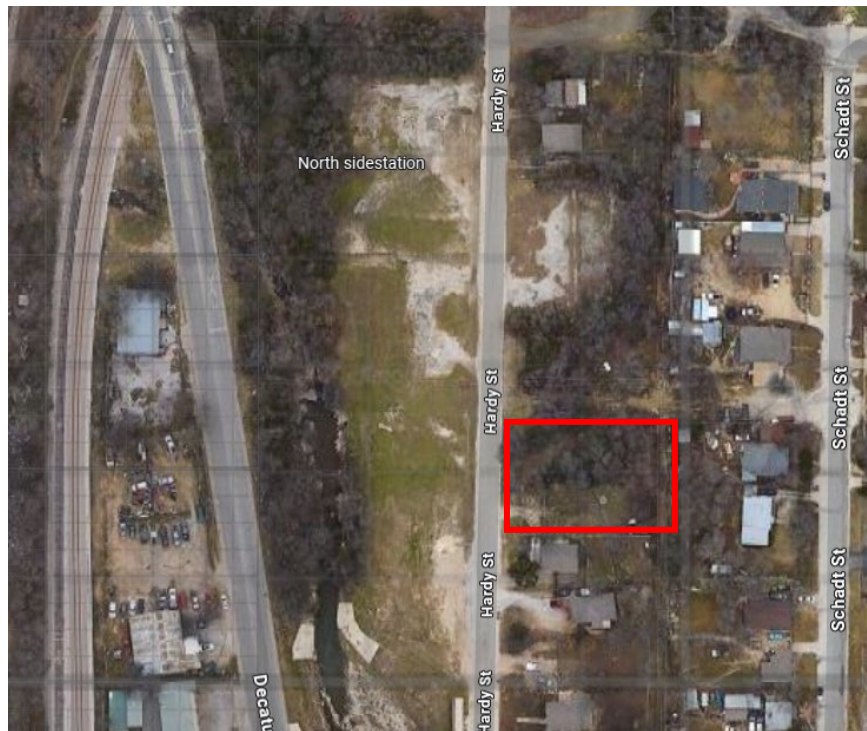
Moreover, this development could serve as a catalyst for further residential projects in the area, potentially transforming the currently underutilized industrial lots into a vibrant mixed-use neighborhood.



Harding Street view of subject site



Harding Street view of across the street from subject site



Aerial view (subject site in red)

## Surrounding Zoning and Land Uses

- North "I" Light Industrial – A vacant lot.  
South "I" Light Industrial – A single-family residential dwelling.  
East "A-5" One-Family Residential – A single-family residential dwelling.  
West "K" Heavy Industrial – A vacant lot.

## Recent Zoning History

- ZC-24-125 Rezoning from "I" Light Industrial to "A-5" One-Family Residential, south of the subject site
- ZC-13-046 Rezoning from "I" Light Industrial to "A-5" One-Family Residential, north of the subject site
- ZC-06-274 Council-initiated rezoning from various zoning districts to "A-5" One-Family Residential east of the subject site

## Public Notification

### Written Notice

Written notice of the Zoning Commission public hearing was mailed to the owners of real property lying within 300 feet were mailed on January 31, 2025.

### Posted Notice

A sign was erected on the property not less than 10 days before the Zoning Commission public hearing date.

### Published Notice

A notice of the public hearing before the City Council will be published in the Fort Worth Star Telegram at least 15 days before the hearing.

### Courtesy Notice

The following organizations were emailed on January 31, 2025:

Organizations Notified	
Diamond Hill Jarvis	Streams and Valleys Inc
Inter-District 2 Alliance	Trinity Habitat for Humanity

## Development Impact Analysis

### Land Use Compatibility

The surrounding area is predominantly vacant to the west, with the exception of single-family homes to the north, south and east. The applicant seeks to rezone the property to build a single-family house. This rezoning request aligns with the existing single-family homes in the area.

The presence of an established neighborhood and the lack of industrial uses in the immediate vicinity make the proposed single-family house compatible with the surrounding area. Additionally, introducing a single-family home could serve as a catalyst for further residential development on this block face, potentially revitalizing the currently vacant lots and encouraging more cohesive neighborhood growth.

As such, the proposed zoning is **compatible** with surrounding land uses.

### Comprehensive Plan Consistency

The 2023 Comprehensive Plan designates the subject property as Single-Family Residential.

RESIDENTIAL		
Rural Residential	1+ acre single-family	A-2.5, A-43
Suburban Residential	1/2+ acre single-family	A-21
Single-Family Residential	3,500+ sq. ft. lot single-family	A-10, A-7.5, A-5, AR
Manufactured Housing	Manufactured home parks and subdivisions	MH
Low Density Residential	2,500+ sq. ft. lot single-family, two-family, patio homes, townhouses, cluster housing	B, R1, R2
Medium Density Residential	Up to 36 units/acre multifamily	CR, C, D
Urban Residential	Medium to high density, residential only, pedestrian-oriented development for use between higher and lower intensity uses	UR
High Density Residential	>36 units/acre multifamily, mixed-use multifamily and pedestrian-oriented development in growth centers	UR, MU-1, MU-2, Form-Based Codes

The proposed zoning is consistent with the Future Land Use Designation and it is consistent with the following policies of the Comprehensive Plan:

- Promote the revitalization of low and moderate-income neighborhoods, particularly Racially and Ethnically Concentrated Areas of Poverty.
- Promote appropriate infill development of vacant lots within developed areas, which will efficiently utilize existing infrastructure, particularly in the central city
- Encourage new development in character with the existing neighborhood scale, architecture, and platting pattern, while working to improve pedestrian, bicycle, and transit access between adjacent neighborhoods and nearby destinations.

Based on conformance with the policies stated above, the proposed zoning is **consistent** with the Comprehensive Plan FLU Map and Policies.

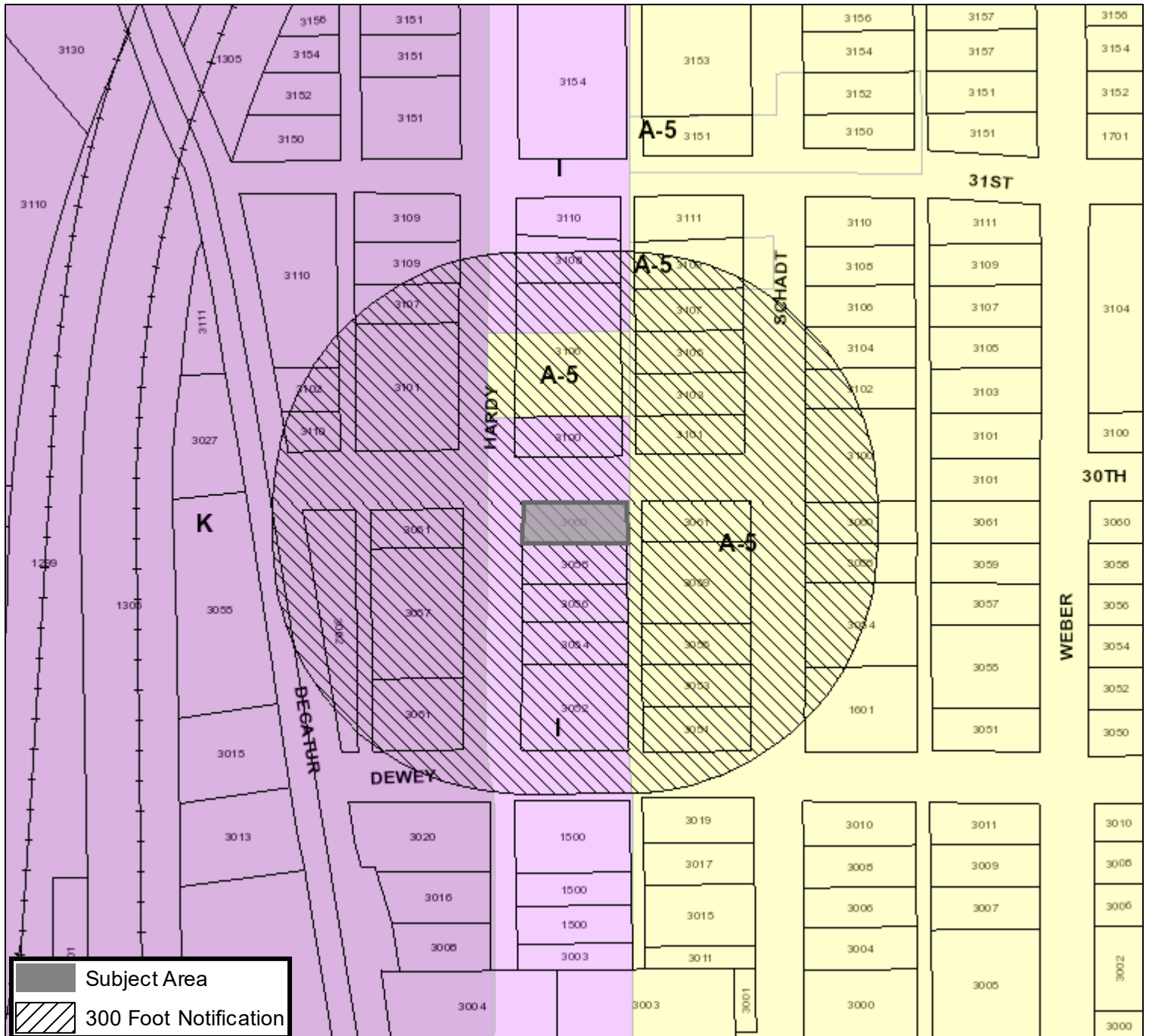






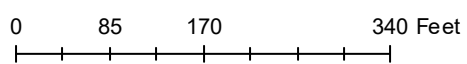
ZC-24-171

# Area Zoning Map

Applicant: Josue Cardenas/Mark Salgado  
 Address: 3060 Hardy Street  
 Zoning From: I  
 Zoning To: A-5  
 Acres: 0.14311097  
 Mapsco: Text  
 Sector/District: Northeast  
 Commission Date: 2/12/2025  
 Contact: 817-392-2495

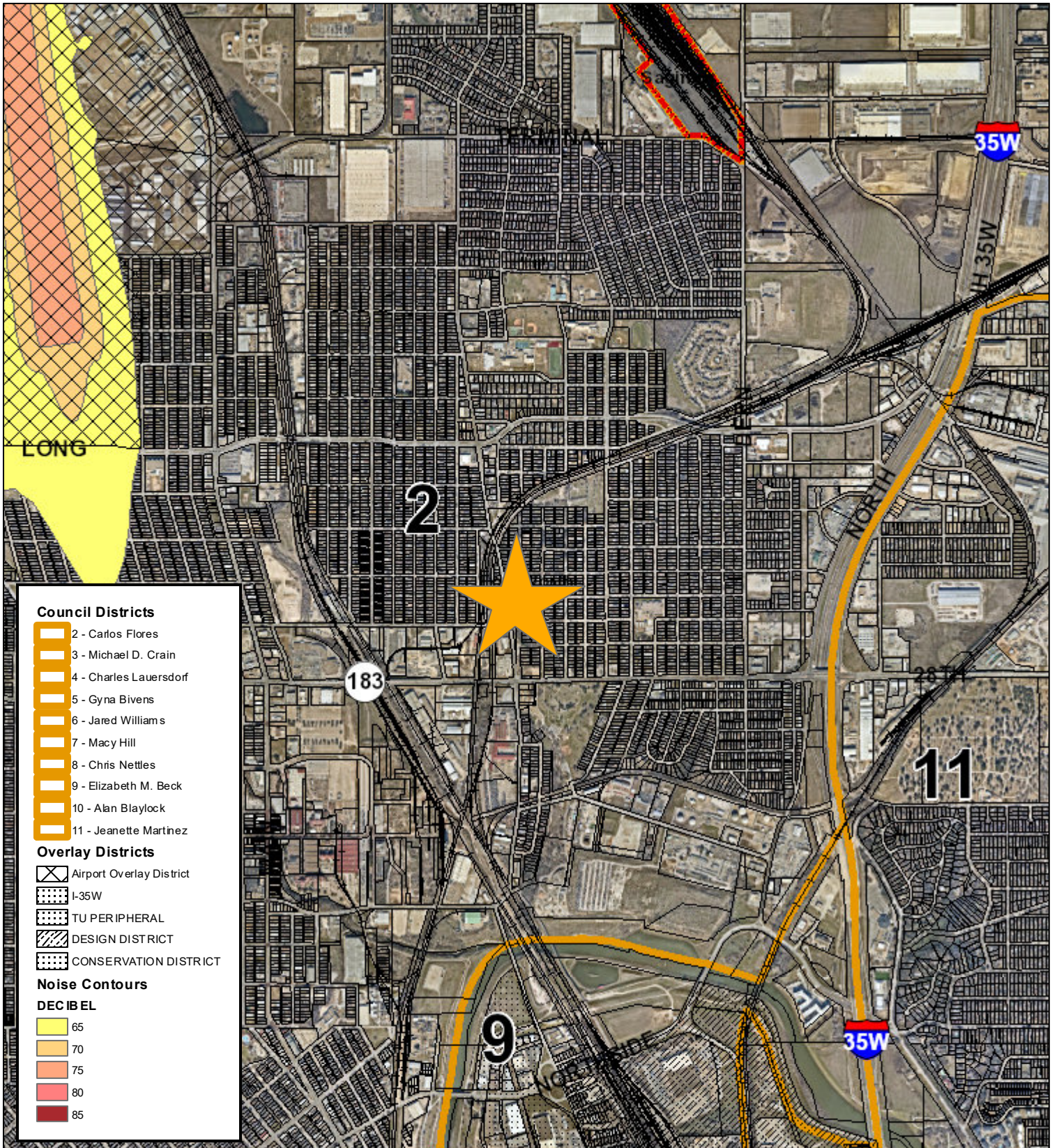


 Subject Area  
 300 Foot Notification

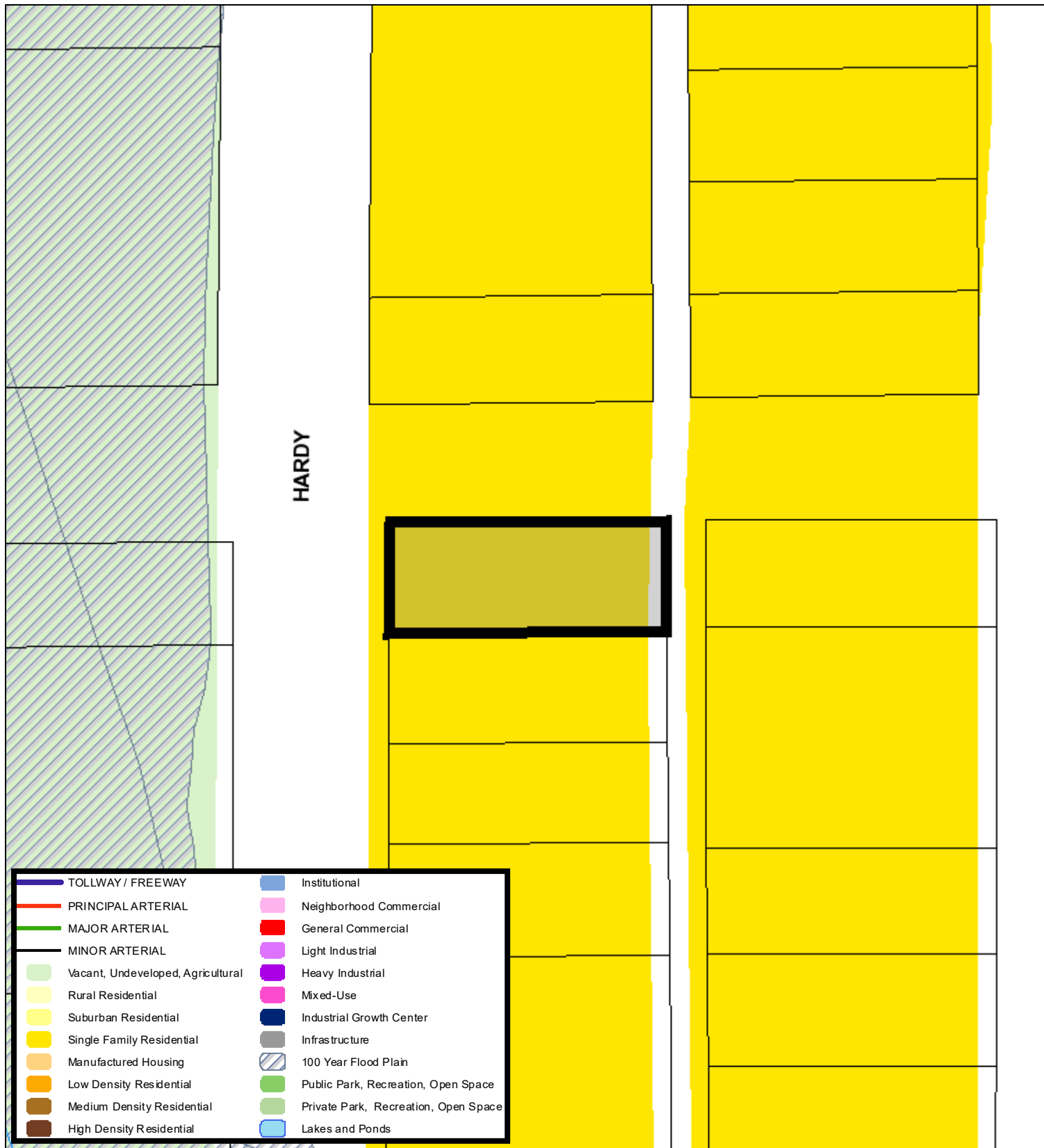




### Area Map



### Future Land Use

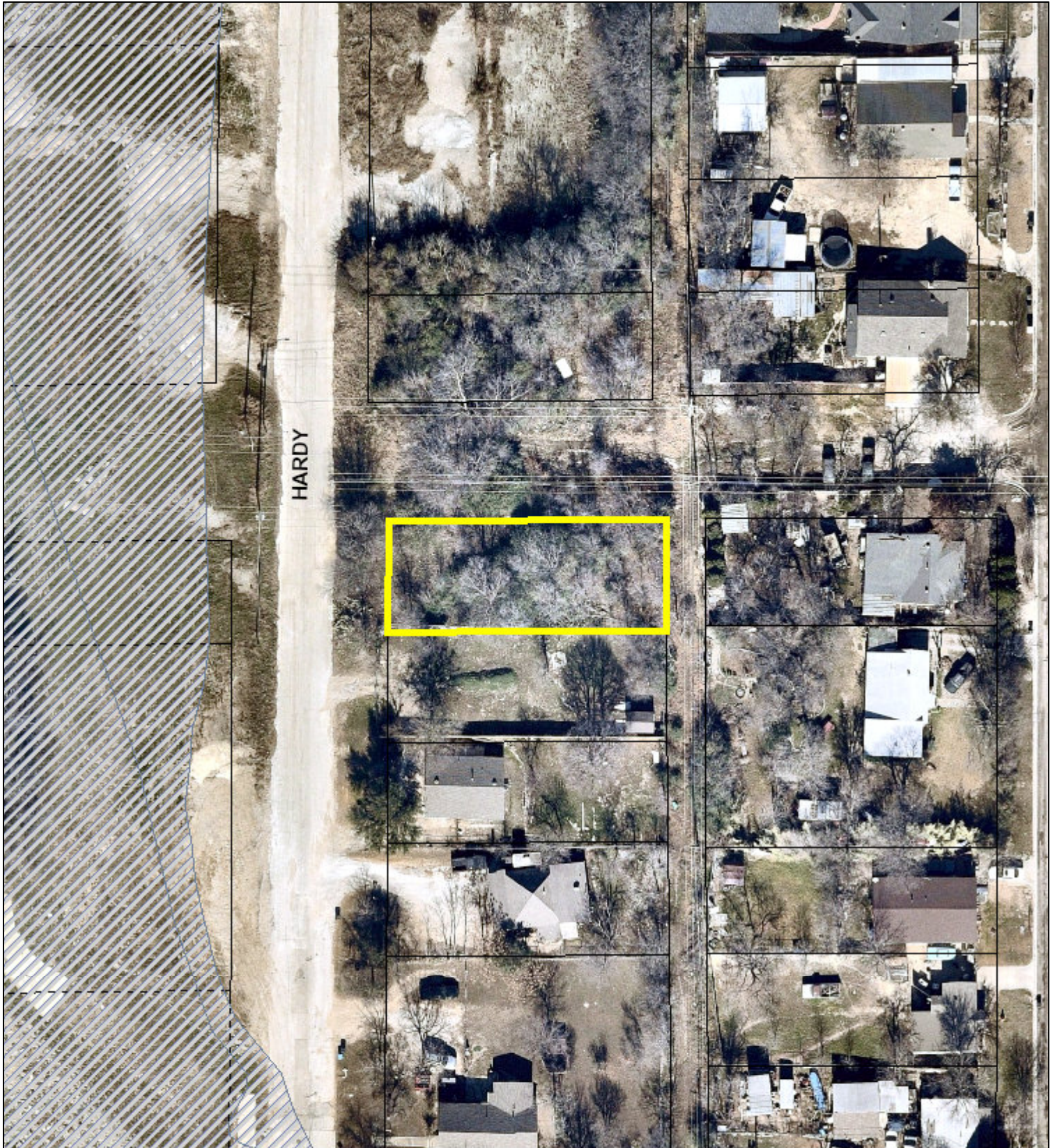


60 30 0 60 Feet

A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



## Aerial Photo Map



0 37.5 75 150 Feet





# Zoning Staff Report

**Date:** February 12, 2025

**Case Number:** ZC-24-172

**Council District:** 3

## Zoning Map Amendment & Site Plan

**Case Manager:** [Stephen Murray](#)

**Owner / Applicant:** Darin McReynolds Norman, Urbanworth, LLC

**Site Location:** 5105 & 5201 Benbrook Hwy and 7615, 7625, 7599 Mary's Creek

**Acreage:** 7.015 acres

### Request

**Proposed Use:** Truck Driving School & Outdoor Storage

**Request:** From: "E" Neighborhood Commercial & "C" Medium Density Multifamily

To: "PD/E" Planned Development for all uses in "E" Neighborhood Commercial for terminal, truck and freight, storage or display outside; trailer, portable; sales, construction or storage; automotive repair; vehicle sales or rental; outdoor sales and storage, garage repair, truck driving school; site plan waiver requested

### Recommendation

**Land Use Compatibility:** Requested change **is not compatible**

**Comprehensive Plan Map Consistency:** Requested change **is not consistent**

**Comprehensive Plan Policy Consistency:** Requested change **is not consistent**

**Staff Recommendation:** **Denial**

### Table of Contents

1. [Project Description and Background](#)
2. [Surrounding Zoning and Land Uses](#)
3. [Recent Zoning History](#)
4. [Public Notification](#)
5. [Development Impact Analysis](#)
  - a. [Land Use Compatibility](#)
  - b. [Comprehensive Plan Consistency](#)
6. Zoning Map with 300 ft. Notification Area
7. Area Map
8. Future Land Use Map
9. Aerial Photograph

## Project Description and Background

The subject site is a 7-acre tract is located just south of Williams Road, west of Hwy 377 and north of IH-20. The applicant would like to rezone the site from “E” Neighborhood Commercial and “C” Medium Density Multifamily to “PD/E” Planned Development for all uses in “E” Neighborhood Commercial for terminal, truck and freight, storage or display outside; trailer, portable; sales, construction or storage; automotive repair; vehicle sales or rental; outdoor sales and storage, garage repair, truck driving school; site plan waiver requested.

The site currently contains a legal nonconforming truck school. The applicant would like to bring the site into conformance and add storage and truck related uses.

### **Applicant’s Submission**

A narrative, provided by the applicant as part of their submittal package, is included below further describing the proposed development.

PROPERTY IS UNDER CONTRACT FOR SALE AND CONTINGENT UPON REZONING. THE EXISTING USE IS A LEGAL, NON-CONFORMING TRUCK DRIVING SCHOOL THAT HAS HAD A LEASE IN THIS LOCATION FOR OVER TWENTY YEARS. THE NEW OWNERS WANT TO CONTINUE LEASING TO C1 TRUCK DRIVER TRAINING UNDER A CONFORMING ZONING CATEGORY. RATHER THAN UPZONE TO A MORE INTENSE CATEGORY TO ACCOMMODATE THE LEASE, IT IS MORE APPROPRIATE TO SIMPLY ADD THE NECESSARY USES TO PERMIT THE EXISTING LEASE TO CONTINUE TO FUNCTION.

NO PRECISE CATEGORY FOR TRUCK DRIVING SCHOOL EXISTS, SO THESE ADDITIONAL USES HAVE BEEN INCOPROATED INTO A PLANNED DEVELOPMENT TO ALLOW FOR THE SCHOOL TO FUNCTION IN ITS EXISTING CAPACITY. BASICALLY, THE OPERATOR DOES TRUCK AND TRAILER STORAGE, RENTAL, COMMERCIAL INSTRUCTION, AND LIGHT FLEET REPAIR. THE BASE CATEGORY OF E MATCHES THE FUTURE LAND USE MAP FOR THE CITY’S COMPREHENSIVE PLAN. NO ADDITIONAL INDUSTRIAL USES ARE DESIRED. OTHER THAN A SINGLE, OLD HOUSE USED FOR OFFICING, THE PROPERTY IS UNIMPROVED AND USED FOR PARKING, TRAINING CIRCULATION, AND MANEUVERING; THERE IS SIMPLY NOT MUCH TO DOCUMENT. THE SITE LIES IN AN EXISTING FEMA FLOODPLAIN AND CITY FLOODPLAIN PERMIT AREA. THE PROPERTY IS UNPLATTED, TRACTED LAND AND CANNOT BE DEVELOPED UNLESS IT IS FIRST PLATTED. FOR THESE REASONS, THERE ARE NO CURRENT OR FUTURE PLANS FOR BUILDINGS OR DEVELOPMENT OF THIS SITE. THEREFORE, A SITE PLAN WAIVER IS REQUESTED

## Surrounding Zoning and Land Uses

North “A-5” One Family Residential / Mary’s Creek. Single-family  
East “A-5” One Family Residential / Park; undeveloped  
South “C” Medium Density Multifamily / stables  
West City of Benbrook /US HWY 377; single-family

## Recent Zoning History

- N/A

## Public Notification

### Written Notice

Written notice of the Zoning Commission public hearing was mailed to the owners of real property lying within 300 feet on January 31, 2025.

### Posted Notice

A sign was erected on the property not less than 10 days before the Zoning Commission public hearing date.

### Published Notice

A notice of the public hearing before the City Council will be published in the Fort Worth Star Telegram at least 15 days before the hearing.

### Neighborhood Notice

The following organizations were emailed on January 30th, 2025:

Organizations Notified	
Bomber Heights NA	Streams and Valleys
Trinity Habitat for Humanity	NAS Fort Worth JRB RCC
FWISD	

## Development Impact Analysis

### Land Use Compatibility

The current zoning on the property is "E" Neighborhood Commercial and "C" Medium Density Multifamily. Surrounding land uses include Mary's Creek and single-family to the north, undeveloped land a park to the east, stables to the south and single-family across from US HWY 377.

The site currently contains a truck driving school, which has been there for at least 15 years. The applicant would like to make the site conforming and add additional uses. The proposed site is situated along US HWY 377; however, it abuts a park and creek. However, industrial uses and the proposed rezoning **is not compatible** with at this location.

### Comprehensive Plan Consistency- FLU Map and Policies

The adopted Comprehensive Plan currently designates the subject property as *agricultural/vacant and neighborhood commercial* on the Future Land Use Map. The proposed zoning is **not consistent** with the map designation for this area, the proposed zoning **is not consistent** with the following policies of the Comprehensive Plan:

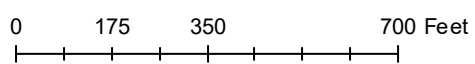
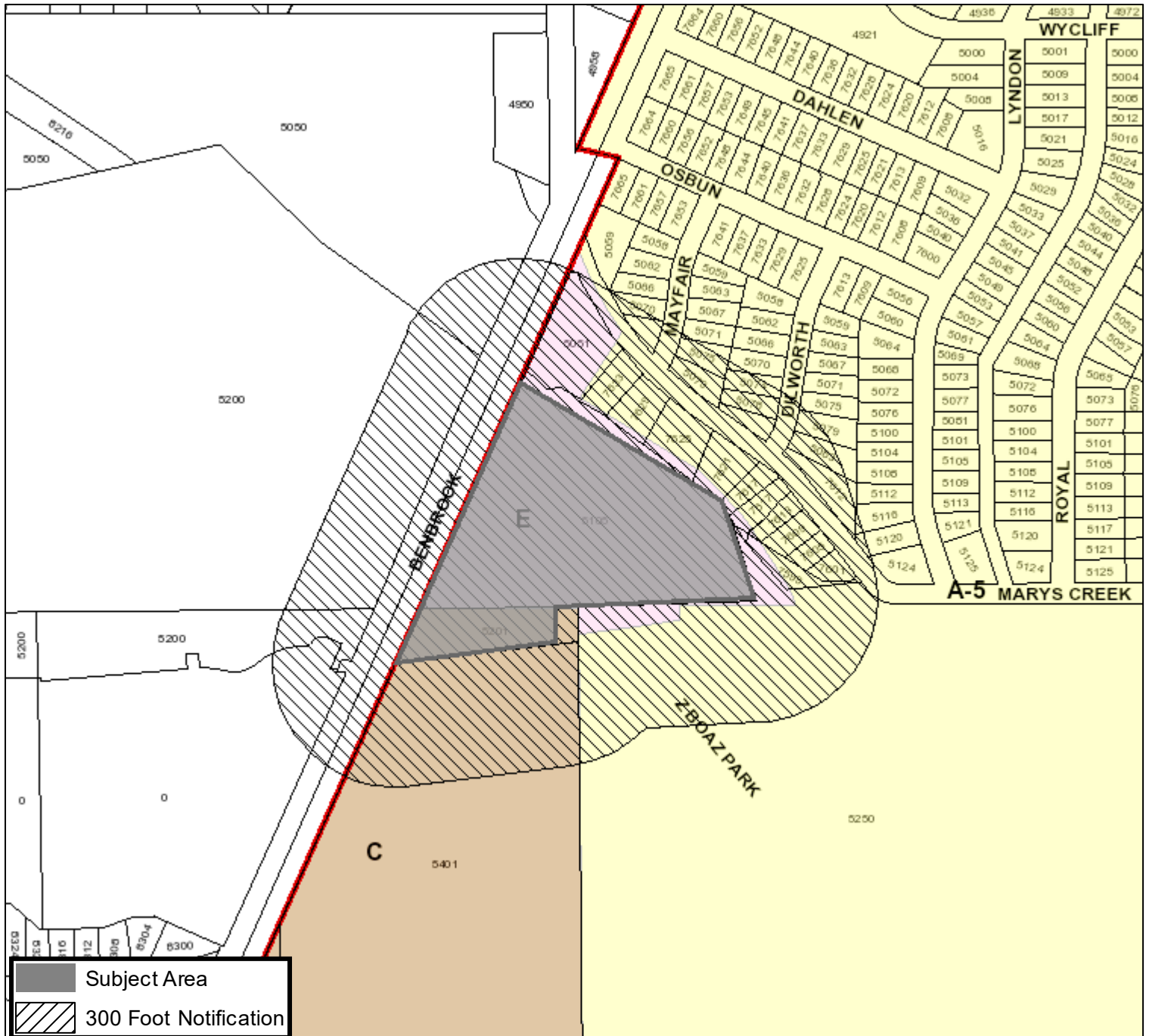
- To protect water quality and provide for connected green spaces, encourage parks, bike trails, and open space within floodplains and along adjacent water bodies.

- Locate large industrial uses along freight rail lines, highways, or airports within industrial growth centers and other appropriate locations
- Separate incompatible land uses with buffers or transitional uses. Some land uses have attributes such as height, proportion, scale, operational characteristics, traffic generated, or appearance that may not be compatible with the attributes of other uses.
- Promote buffers and other compatible uses between multifamily and single-family residential



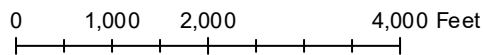
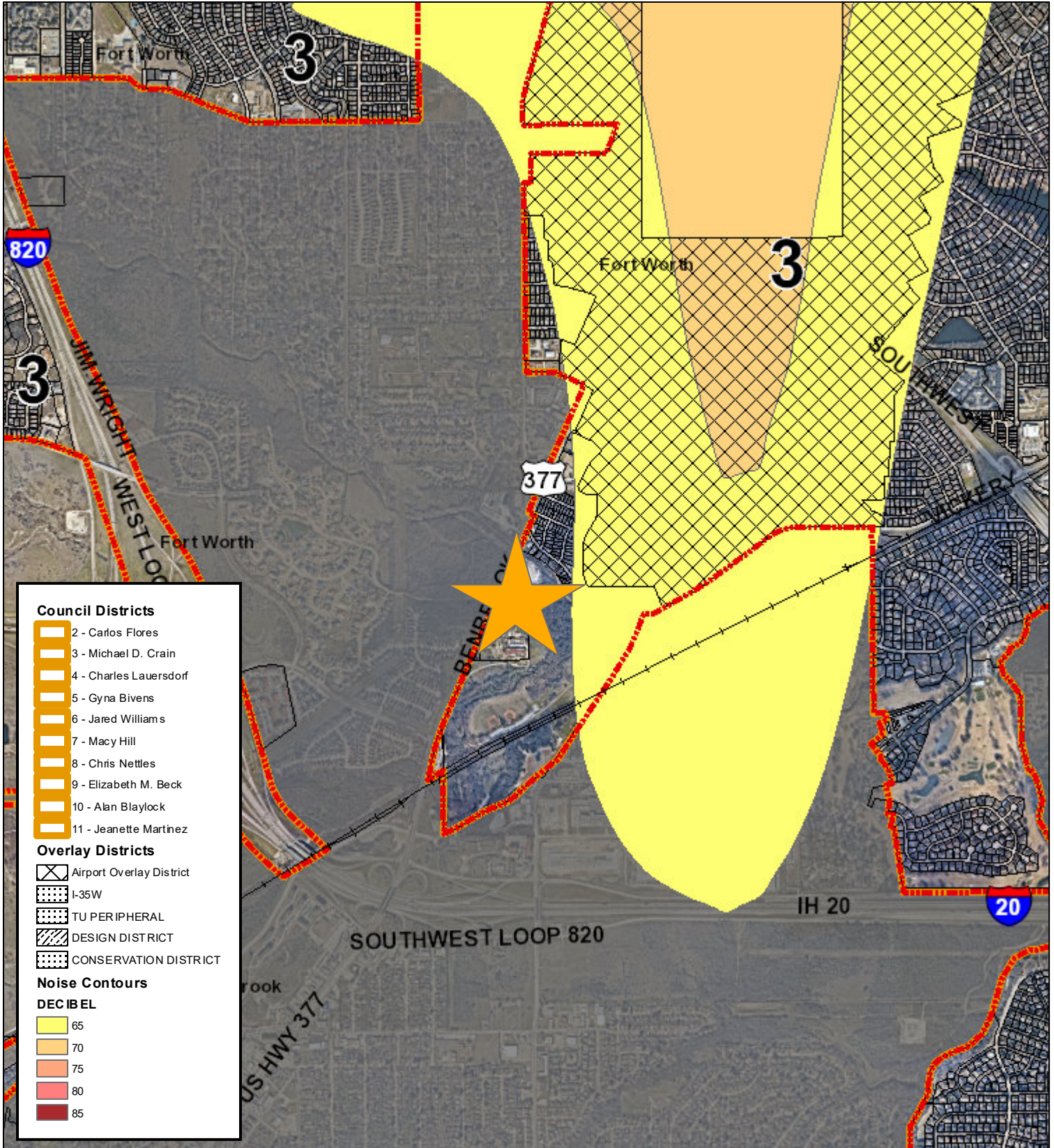
### Area Zoning Map

Applicant: Pulido, Robert ETAL Sr/Birdog Ventures/ Darin Nor  
 Address: 5105/5201 Benbrook Hwy & 7615, 7625, 7599 Mary's Creek  
 Zoning From: E/C  
 Zoning To: PD/E plus Truck driving school and outdoor storage  
 Acres: 7.014954  
 Mapsco: Text  
 Sector/District: Western\_Hills\_Ridglea  
 Commission Date: 2/12/2025  
 Contact: 817-392-6226

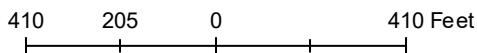
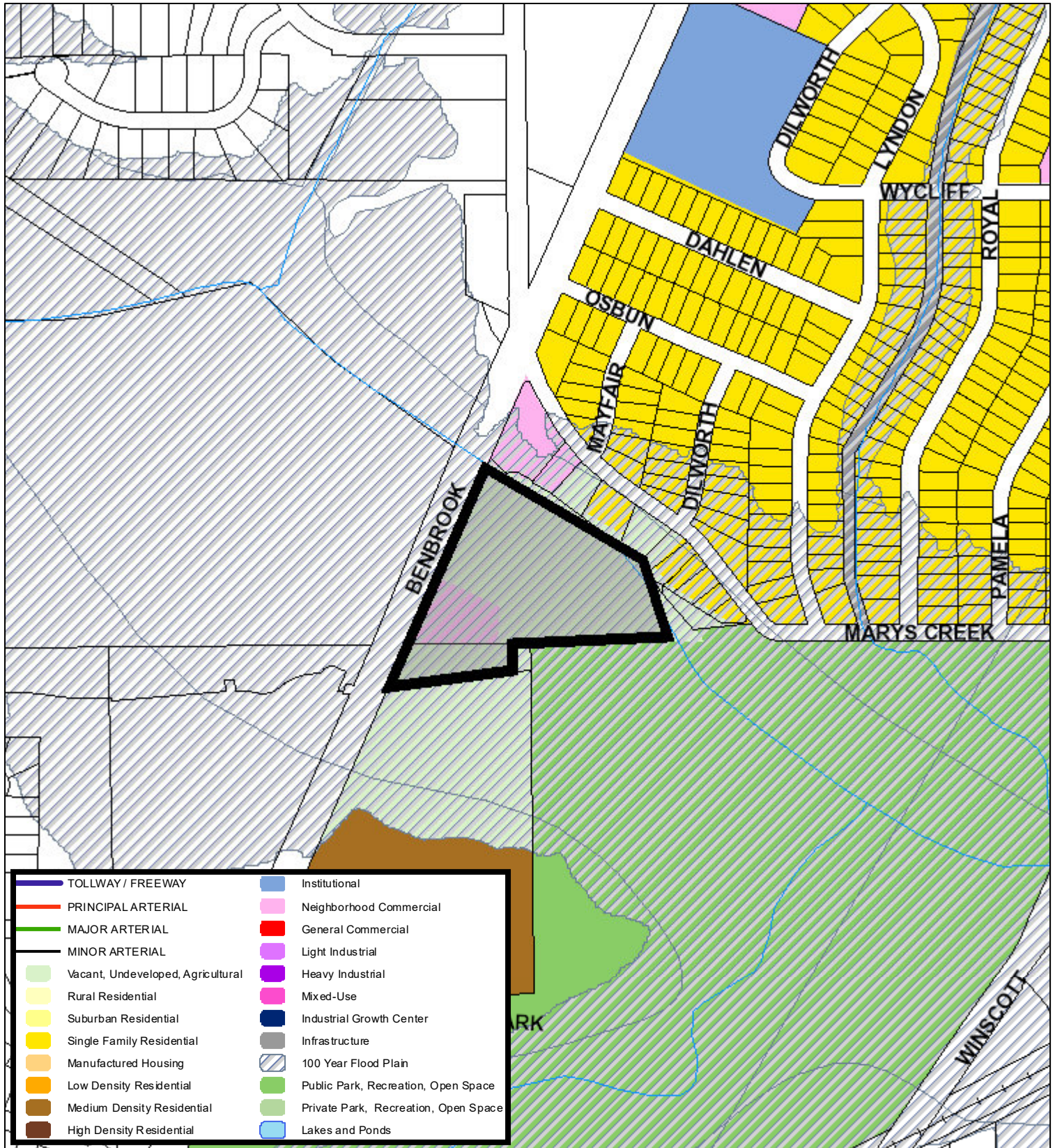




## Area Map



### Future Land Use



A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



## Aerial Photo Map



0 260 520 1,040 Feet





# Zoning Staff Report

Date: February 12, 2025

Case Number: ZC-24-173

Council District: 3

## Zoning Map Amendment & Site Plan

Case Manager: [Stephen Murray](#)

Owner / Applicant: Darunee Moore / Rodney Matthew

Site Location: 8100 W Elizabeth Lane

Acreage: 0.3 acre

### Request

Proposed Use: Halfway House

Request: To: Add Conditional Use Permit (CUP) for halfway house in “CF” Community Facilities

### Recommendation

Land Use Compatibility: Requested change **is not compatible**

Comprehensive Plan Map Consistency: **Not applicable**

Comprehensive Plan Policy Consistency: Requested change **is not consistent**

Staff Recommendation: **Continuance**

### Table of Contents

1. [Project Description and Background](#)
2. [Surrounding Zoning and Land Uses](#)
3. [Recent Zoning History](#)
4. [Public Notification](#)
5. [Development Impact Analysis](#)
  - a. [Land Use Compatibility](#)
  - b. [Comprehensive Plan Consistency](#)
6. Zoning Map with 300 ft. Notification Area
7. Area Map
8. Future Land Use Map
9. Aerial Photograph

## Project Description and Background

### Summary

The subject site is located on the corner of Elizabeth Ln and Broadmoor Drive north of Camp Bowie West Blvd., in the middle of a neighborhood. The site is currently being used as a group home for teenagers, which is allowed by right within the “CF” Community Facilities district. However, the applicant is requesting a CUP to allow for a halfway house. Halfway Houses are defined by the City of Fort Worth, as follows:

*HALFWAY HOUSE. A facility providing for the housing and rehabilitation or training of adults on probation, parole, early or pre-release or any other form of executive, judicial or administrative release from a penal institution, including without limitation community residential facilities established in accordance with Tex. Code of Criminal Procedure Ann. Art. 42.18, as amended from time to time. HALFWAY HOUSE includes facilities which provide in-patient treatment for chemical dependency to persons on probation, parole, early or pre-release or any other form of executive, judicial or administrative release from a penal institution if such persons are ordered to obtain such treatment for chemical dependency as a condition of release. For purposes of this definition, an adult is a person age 18 or over.*

The applicant intends to house 19 individuals. Staff is requesting a continuance in order to allow the applicant time to gather additional items required for halfway houses to move forward for consideration.

Through Ordinance 23609 effective March 29, 2019, the Conditional Use Permit allows for an unlimited time period for the operation of a use unless otherwise approved by the City Council. If a time limit is established for a Conditional Use Permit, the renewal of the CUP shall be considered through the public hearing process and approved by the City Council. A CUP shall expire if no permitting action is taken within six months of approval or cease of the use for six months. A CUP may be revoked through the public hearing process if necessary after convictions of one or more code violations.

Per Section 4.407 (a), the following general rules apply to all conditional uses:

- a) Conditional use permits in residential districts shall be limited to those uses designated “CUP” in the Residential District Use Table in Chapter 4, Article 6, Section 4.603.
- b) Approval of a conditional use permit shall authorize only the particular use or category of related uses for which the conditional use permit is issued.
- c) A conditional use shall not be enlarged, extended or otherwise modified unless approved by the City Council or approved administratively as applicable.
- d) The use of property for the purposes described in a conditional use permit shall not commence until a certificate of occupancy has been issued. A certificate of occupancy shall not be issued until all or approvals which may be required by the Codes and Ordinances of the City, including, but not limited to, a Building Permit, a Certificate of Occupancy and subdivision approval have been satisfied.

Section (d) provides the following Conditional Use Permit factors in consideration of appropriateness of a request:

- a) The proposed use is consistent with the Comprehensive Plan;
- b) The proposed use is compatible with the existing and adjacent uses.
- c) The proposed use meets all supplemental use standards specifically applicable to the use as set forth in Chapter 5;
- d) The proposed use is compatible with and preserves the character and integrity of adjacent development and neighborhoods;

e) The proposed use is not materially detrimental to the public health, safety, and welfare, or results in material damage or prejudice to other property in the vicinity.

## Surrounding Zoning and Land Uses

North "B" Two-Family / Single-family  
East "C" Medium Density Multifamily / duplex  
South "C" Medium Density Multifamily / single-family  
West "C" Medium Density Multifamily / single-family

## Recent Zoning History

- N/A

## Public Notification

### Written Notice

Written notice of the Zoning Commission public hearing was mailed to the owners of real property lying within 300 feet on January 31, 2025.

### Posted Notice

A sign was erected on the property not less than 10 days before the Zoning Commission public hearing date.

### Published Notice

A notice of the public hearing before the City Council will be published in the Fort Worth Star Telegram at least 15 days before the hearing.

### Neighborhood Notice

The following organizations were emailed on January 30th, 2025:

Organizations Notified	
Western Hills NA	Streams and Valleys Inc
Trinity Habitat for Humanity	NAS Fort Worth JRB RCC
FWISD	

## Development Impact Analysis

### Land Use Compatibility

The current zoning on the property is "CF" Community Facilities. The applicant would like to add a CUP in order to accommodate a halfway house. The subject site is surrounded to the north, south and west by single-family with duplex to the east. The site is located in close proximity to Camp Bowie West Blvd., which contain intense commercial uses.

## Comprehensive Plan Consistency- FLU Map and Policies

---

The adopted Comprehensive Plan currently designates the subject property as institutional on the Future Land Use Map. The proposed zoning is **not consistent** with the Comprehensive Plan and the policies

- *Encourage new development in character with the existing neighborhood scale, architecture, and platting pattern, while working to improve pedestrian, bicycle, and transit access between adjacent neighborhoods and nearby destinations.*
- *Separate incompatible land uses with buffers or transitional uses. Some land uses have attributes such as height, proportion, scale, operational characteristics, traffic generated, or appearance that may not be compatible with the attributes of other uses.*

### Site Plan Comments

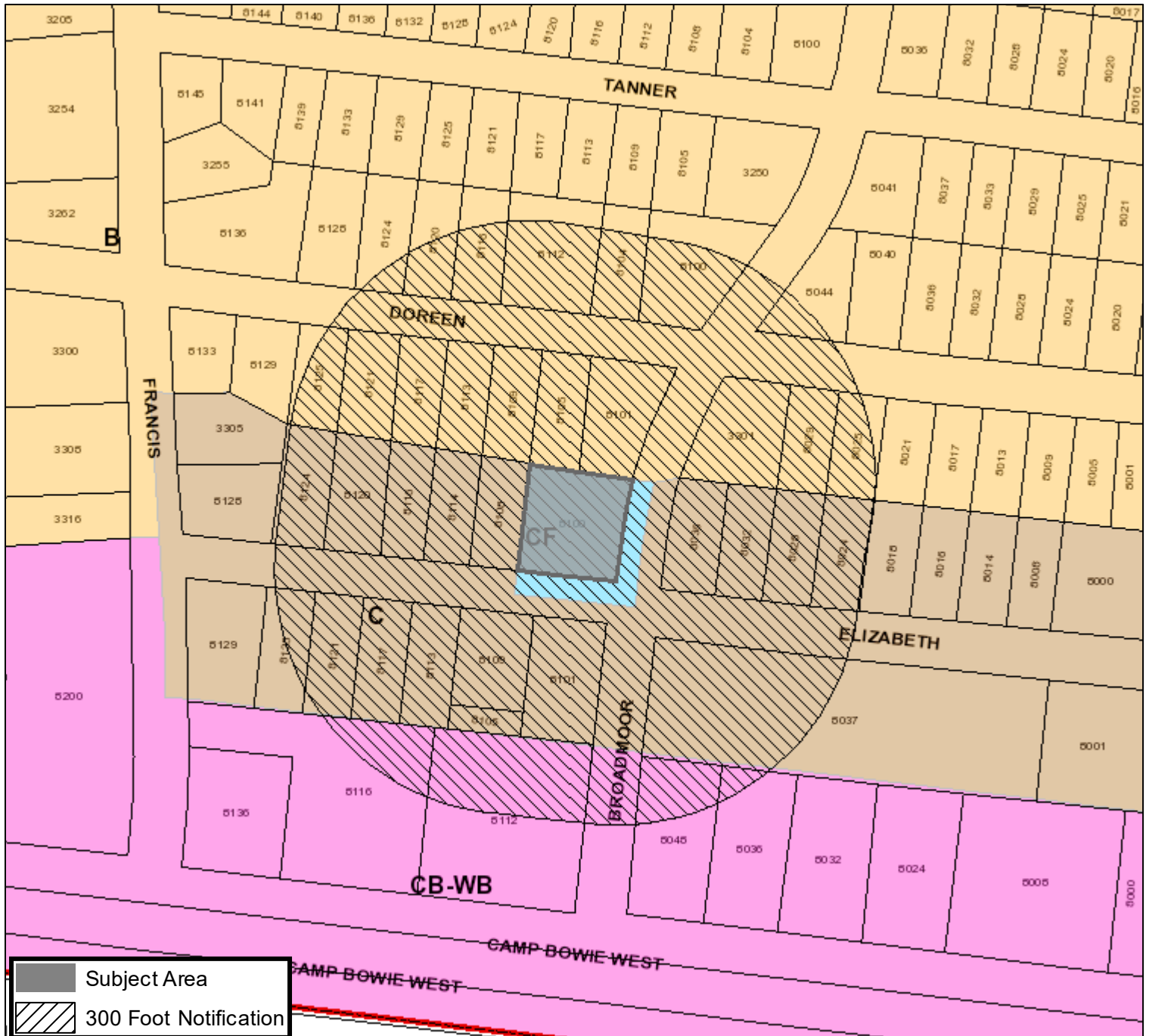
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If approved, the following items need to be complied on the site plan prior to the ordinance becoming effective:

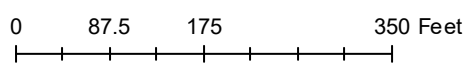
- Items needed to be complied prior to the ordinance being published
  - Provide notes that site will comply with UF, Landscaping, and signs
  - The applicant shall submit the following information to the planning and development department:
    - Area plan showing zoning classifications and land uses of all property within one-quarter mile of the site of the proposed halfway house. The area plan must specifically identify all uses related to children, such as schools, places of worship, parks, playgrounds, day care centers, public and private youth centers, public swimming pools and video arcade facilities. The applicant is expected to make a good faith effort to locate all such uses;
    - Site plan for the property, in compliance with this article. The site plan shall include a floor plan detailing room sizes, sleeping areas, number of beds, training rooms, kitchen and food service areas, bathrooms, recreational areas and all other uses. The site plan requirement cannot be waived by the zoning commission;
    - Copy of the contract governing the operation of the facility;
    - Security plan identifying security features of facility; and
    - Copy of policies and rules for operation of the facility.
- Items that are permitting comments, but don't necessarily impact the face of the site plan;
  - NA
- Items that are important for consideration of the PD request.
  - NA

### Area Zoning Map

Applicant: Darunee Moore/Rodney Matthews  
 Address: 8100 W. Elizabeth Lane  
 Zoning From: CF  
 Zoning To: Add a CUP for transitional housing  
 Acres: 0.36792613  
 Mapsco: Text  
 Sector/District: Western\_Hills\_Ridglea  
 Commission Date: 2/12/2025  
 Contact: 817-392-6226

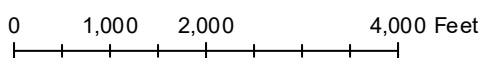
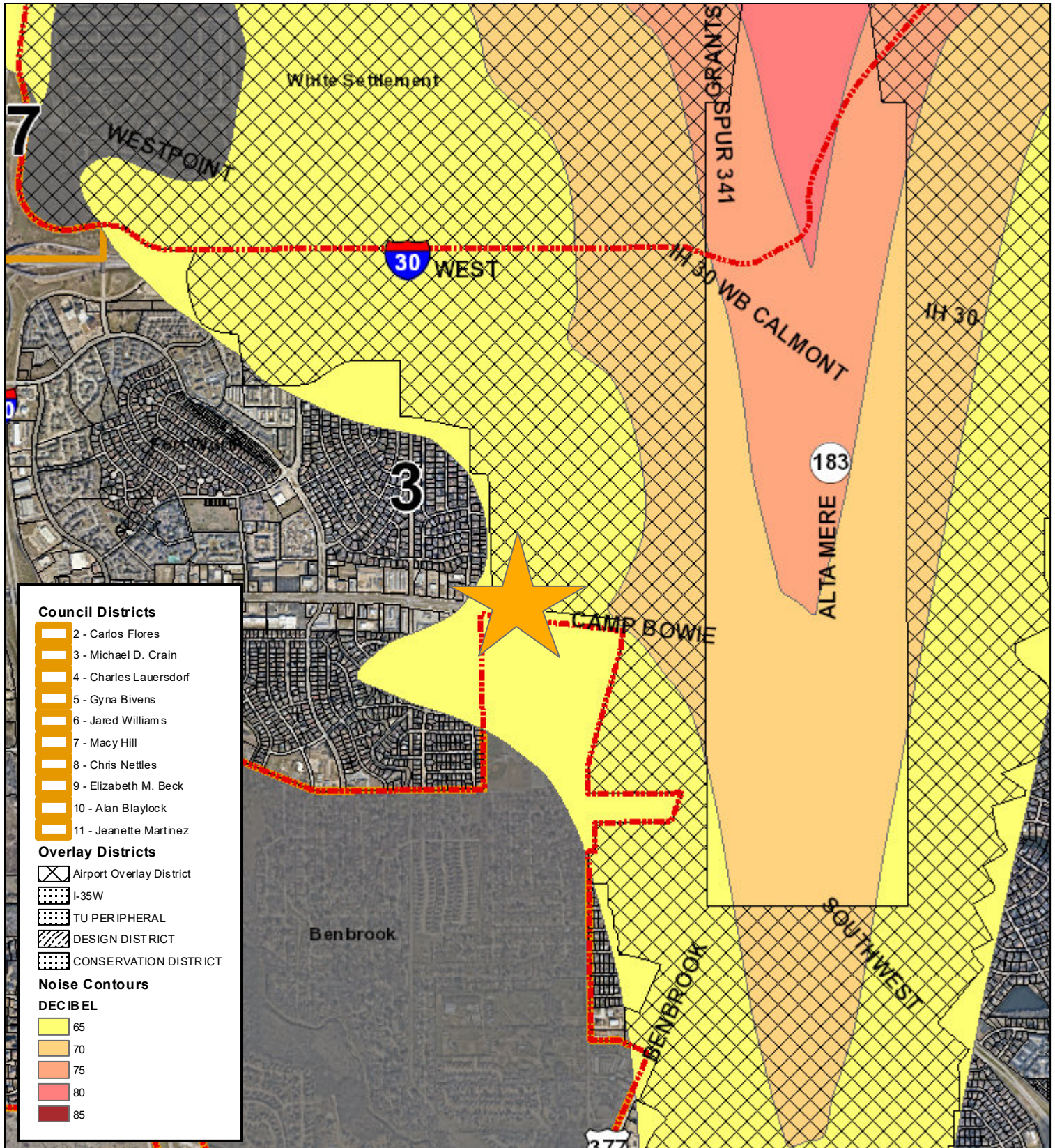


	Subject Area
	300 Foot Notification

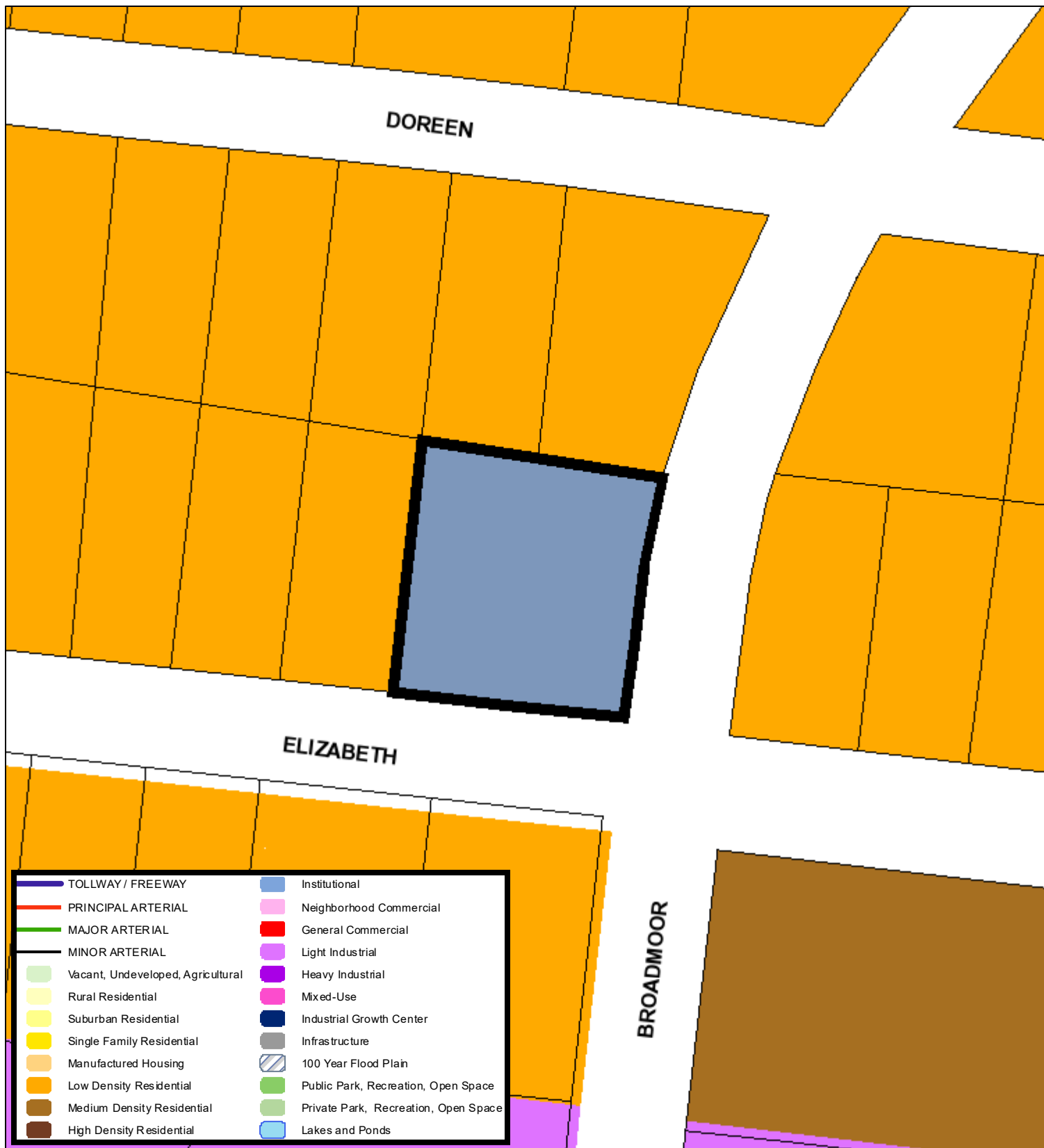




### Area Map



### Future Land Use



70 35 0 70 Feet

A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



## Aerial Photo Map



0 40 80 160 Feet





# Zoning Staff Report

**Date:** February 12, 2025

**Case Number:** ZC-25-001

**Council District:** 2

## Zoning Map Amendment

**Case Manager:** [Beth Knight](#)

**Owner / Applicant:** Marine Landings, LLC/ Jeff Landon/ Taylor Mitcham

**Acreage:** 31.3 acres

**Site Location:** 4501 Angle Avenue & 2851 NW Loop 820

### Request

**Proposed Use:** Industrial Warehouses

**Request:** From: "C" Medium Density Multifamily

To: "PD/J" Planned Development for all uses in "J" Medium Industrial excluding waste related, agricultural, and accessory uses; with development standards to reduce landscape buffers and 75% landscaping in front of the building, site plan included

### Recommendation

**Land Use Compatibility:** Requested change is **not compatible**

**Comprehensive Plan Map Consistency:** Requested change is **not consistent**

**Comprehensive Plan Policy Consistency:** Requested change is **not consistent**

**Staff Recommendation:** **Denial**

### Table of Contents

1. [Project Description and Background](#)
2. [Surrounding Zoning and Land Uses](#)
3. [Recent Zoning History](#)
4. [Public Notification](#)
5. [Development Impact Analysis](#)
  - a. [Land Use Compatibility](#)

- b. [Comprehensive Plan Consistency](#)
6. Zoning Map with 300 ft. Notification Area
7. Area Map
8. Future Land Use Map
9. Aerial Photograph
10. Exhibit

## Project Description and Background

The property is located approximately ¼ mile west of the intersection of Marine Creek Pkwy and NW Loop 820. The site is currently zoned “C” Medium Density Multifamily. The site has heavy tree canopy across the site and Marine Creek with its associated floodplain as its western boundary. NW Loop 820 lies along the northern boundary, with vacant “AG” Agricultural, “A-5” One-Family, and “C” Medium Density Multifamily zoning adjacent to the western and southern boundaries. “PD 1402” Planned Development 1402 for certain “J” Medium Industrial uses was approved in 2024 to the east.

While the comparable project (ZC-24-018) was approved due east of this site in 2024, several significant differences between the two sites are noted. First, ZC-24-018 has frontage on an arterial roadway (Marine Creek Parkway), where the current case has street access to a local road (Angle Avenue) that has been partially constructed to service the gas wells in the vicinity. The prior case’s land configuration was essentially an island, surrounded by rights-of-way, instead of having direct adjacency to existing single family and multifamily zoning. Finally, the prior case did have some industrial zoning on the land, and the current case is entirely zoned for multifamily with no industrial zoning present. The current case is an encroachment in the residential portions of the neighborhood and is an erosion of the mixed-use growth center focused around the educational facilities in the vicinity. An industrial growth center with vacant developable land is located less than ½ mile to the east.

As the only uses proposed to be removed are waste related, agricultural, and accessory uses, the wide range of uses in “J” zoning can include, but is not limited to: bars, pawnshops, auto body repair shops, and all other medium industrial uses up to 120 feet in height. The site plan included does not limit the site to only three warehouses. None of these uses or intensive development standards are compatible with the immediately adjacent residential zoning. The site plan does not show the additional buffering requirements under Section 6.300K for industrial zoning sharing a common property line with single family zoning. Additionally, the application requests a 10-foot setback along both Angle Avenue and NW Loop 820, where the site plan shows a 20-foot setback due to utility and gas pipeline easements.

The following table provides information related to the proposed waivers of the standard zoning ordinance requirements. The waivers not requested by the applicant, but triggered by the site plan deficiencies, are bolded.

Standard	J Zoning	Proposed PD/J
Front yard	Residential adjacency from “C” zoning causes a 20-foot setback	10-foot setback (20-foot setback shown on site plan)
Landscaping	<b>75% required in front of buildings</b>	<b>Approximately 33% of landscaping in front of buildings with 10-foot setback</b>
Supplemental setback	<b>50-foot setback when industrial adjacent to single family zoning</b>	<b>10-foot setback shown</b>
Landscaped buffer	<b>Solid screening fence and landscaping required</b>	<b>None shown</b>

## Surrounding Zoning and Land Uses

North “AG” Agricultural / Northwest Loop 820, Marine Creek Lake  
East “PD 1402” Planned Development 1402 for certain J uses / vacant land  
South “C” Medium Density Multifamily / vacant land and gas well  
West “A-5” One-Family and “AG” Agricultural / vacant land

## Recent Zoning History

The zoning district’s history pre-dates 2004.

## Public Notification

300-foot Legal Notifications were mailed on January 31, 2025.  
The following organizations were notified: (emailed January 31, 2025)

Organizations Notified	
Far Greater Northside Historical NA*	Inter-District 2 Alliance
Caballito Del Mar HA	Northwest Fort Worth Alliance
Terrance Landing OA	Trinity Habitat for Humanity
Streams and Valleys Inc	Lake Worth ISD

\* Located in this registered Neighborhood Association

## Development Impact Analysis

### Land Use Compatibility

The applicant is proposing to zone the site from “C” Medium Density Multifamily to “PD/J” with limited development standards and waivers to setbacks, landscaping, and buffer yards. While the surrounding uses are largely undeveloped with a similar industrial zoning case to the east, this proposed zoning case has direct residential adjacency and is an encroachment closer to the rest of the residential neighborhood. Fewer residential protections than required are shown, and the removal of a few industrial use types does not adequately provide a reasonable transition to the lesser intensive residential zoning. The site plan included does not respect Marine Creek or the existing tree canopy, but puts these environmental resources at the rear and treats them as wasted space. The proposed zoning invites another industrial zoning case to the west that would touch the developed single family neighborhood. The proposed zoning is **not compatible** with surrounding land uses.

### Comprehensive Plan Consistency – Northside

The adopted Comprehensive Plan designates the subject property as future Mixed-Use Growth Center within the future land use map. The Marine Creek Mixed-Use Growth Center is designed to have predominantly

residential and commercial land uses to serve the local residents. The proposed rezoning **is not consistent** with the Comprehensive Plan map designation as it represents an erosion of the community mixed-use growth center with a suburban style industrial development.

The following land use policies are not supported by the rezoning request:

- Balance Growth Center development patterns among accessibility, affordability, mobility, community cohesion, and environmental quality.
- Encourage clustering of development sites within new subdivisions to avoid steep slopes (greater than 15%) and to conserve 100-year floodplains, existing tree cover, wildlife habitat, storm water detention areas, riparian buffers along natural waterways, and archeologically significant sites.
- To protect water quality and provide for connected green spaces, encourage parks, bike trails, and open space within floodplains and along adjacent water bodies.
- Promote appropriate infill development of vacant lots, old commercial centers (greyfields), and contaminated sites (brownfields) within developed areas, particularly in the central city.
- Locate large commercial and institutional uses adjacent to arterial streets, preferably at the intersections of other arterials and highways.
- Support zoning changes that accommodate multifamily residential development within urban villages, transit-oriented developments (TOD) and designated growth centers.
- Separate incompatible land uses with buffers or transitional uses. Some land uses have attributes such as height, proportion, scale, operational characteristics, traffic generated, or appearance that may not be compatible with the attributes of other uses.
- Promote commercial, mixed-use, and urban residential development within the Downtown, Historic Stockyards, and Marine Creek Mixed-Use Growth Centers.
- Promote industrial development within the Meacham Industrial Growth Center.

Based on a lack of conformance with the future land use map and with the policies stated above, the proposed zoning is **not consistent** with the Comprehensive Plan.

## Site Plan Comments

If approved, the following items shall be complied prior to the ordinance becoming effective.

### Zoning and Land Use

The site plan as submitted is not in general compliance with the Zoning Ordinance regulations.

1. Add the address of 4501 Angle Avenue and the metes and bounds legal description. The metes and bounds can be on a second sheet, so the font size is legible.
2. Update the case number in the lower right corner to ZC-25-001.
3. Show all the entrances (both truck and pedestrian) on all the buildings.
4. What are the rectangles on one side of the buildings?
5. Label the driveway widths.
6. What are the items between Buildings A&B near the 200' label?
7. Remove the driveway going to the southeastern adjacent lot. Residential lots are not to take access thru non-residential zoning districts.
8. Label the number of parking space groups.
9. The ADA spaces do not appear to be the closest parking spaces to a door.
10. Add a landscaping texture to the Legend and show the landscaping areas on the site plan.
11. Note or label whether the buildings will have ground mounted equipment (AC units, etc.).
12. Label the height and materials of the dumpster enclosures.

13. Correct the existing zoning to the southeast and southwest.
14. Label all setbacks based on the adjacent residential zoning.
15. The Angle Avenue street frontage is required have a minimum 20-foot setback due to the projected multifamily front yard. This 20-foot setback is shown. Why is a 10-foot setback development waiver requested when both street frontages have 20-foot existing easements?
16. The landscaped area in front of the buildings does not appear to meet the landscaping requirements of 75% of the site's landscaping to be in front of the buildings.
17. Show and label all items applicable to Sec. 6.300K with a 50-foot setback, 20 feet of landscaping, and a screening wall or request a development waiver.
18. Note that all buildings' exterior materials will be neutral earth tones.
19. Note all pedestrian entrances shall consist of storefront glass, canopies and masonry articulation or similar architectural features.
20. Show and label the gas well buffers.
21. Other solid lines are shown extending from the FEMA AE flood zone. Please label these lines. It might be helpful to add a fill pattern to differentiate the items.

### **Stormwater**

1. Site will require an accepted drainage study prior to platting, grading, infrastructure plan review, and building permit issuance.
2. FEMA Floodplain and Floodway is on site. There is potential high water on site beyond the FEMA Floodplain that may exceed 5 ft in depth.
3. Storm infrastructure is seen out falling into channel from NW Loop 820 per TxDOT Plan Set 8-14-022.

### **Fire**

1. Gas well setbacks are applied based on the pad site conditions at the time of building permit application. Non-permitted gas well pad site to the east will not impact this site as shown on the plan. Pad site currently is Non-permitted. Setback would include the well bores, a tank battery and adjacent equipment (separators) and a lift compressor.  
Non-permitted gas well site across Angle Ave is non-permitted with a lift compressor, tank battery and separators. By rough estimate, the map shows that Building C is right at 200' from the well heads. Survey will be needed to identify the exact distance. 200' or more is allowed for the Habitable use. Section 5706.
2. One access point per lot is required. TXDOT permit is required for any driveway along Loop 820. If the lots are separated by plat, shared access must be recorded as public access. Section 503.1.1 Buildings and Facilities.
3. FYI: The tract includes an unconstructed MTP road: Marine Creek Pkwy, east of the project area but within Tract 2D1.
4. Hydrants will be required to meet the following:  
Additional hydrants will be required to accommodate the following:  
No more than 600 ft. (300 ft. radius) of space between hydrants along a direct horizontal line, and  
No more than 500 ft. hose lay distance to all points of building.  
Maximum distance from Fire Department Connection (FDC); if sprinkler systems or standpipes provided:  
No more than 150 ft. for a standpipe system, and/or a sprinkler system. Hydrant/FDC hose lay.  
IFC 2021/CFW Adopted Amendments Ordinance #25388-03-2022 Sections 507.5.1 (2) and (3)
5. Failure to recognize violations of the fire code by the fire code official does not waive the requirement of meeting minimum requirements of the fire code in the future.




It is the applicant's and the owner's responsibility to meet all minimum fire code requirements at all times.

6. The City of Fort Worth has adopted the 2021 International Fire Code as its current fire code at the time of this review. The City of Fort Worth has also adopted Amendments #25388-03-2022.  
<https://www.fortworthtexas.gov/departments/fire/services/bureau>.

### **T/PW Engineering**

1. Traffic Impact Analysis – A Traffic Impact Analysis (TIA), accepted by TDS, may be required prior to plat approval. Include all vehicular, bicycle, and pedestrian movements in accordance with the Transportation Engineering Manual. Any questions can be directed to Tom Simerly (tom.simerly@fortworthtexas.gov; 817-293-6892).
2. Rough Proportionality (RP): The tract is subject to a rough proportionality assessment and potential construction for roadway improvements based on the site's impact on the roadway system prior to final platting of any phase.
3. FYI: Driveways are subject to the City of Fort Worth Access Management Policy.
4. FYI: Sidewalks and street lights will be required on all street frontages.
5. FYI: 5 foot sidewalk is recommended along street frontages.

### **DSD Water**

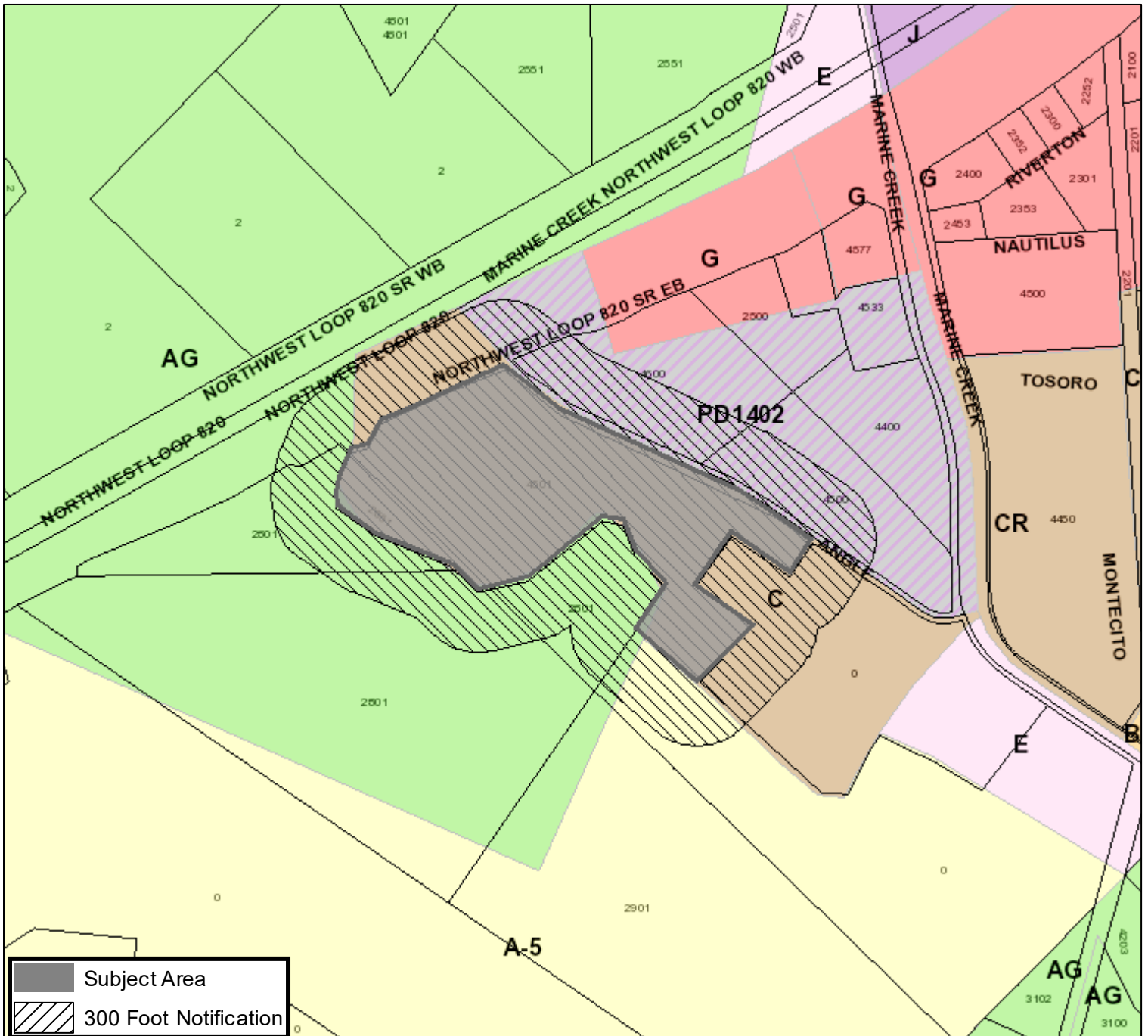
1. HOLD - The site plan identifies that a portion of the proposed building B will be in the sewer easement. Relocate the building and revise the site plan.
  2. FYI - Water and sewer extensions will be required.
  3. 36" sewer main will require a 30ft easement based on current design policy.
- 



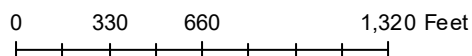
ZC-25-001

# Area Zoning Map

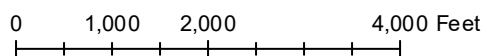
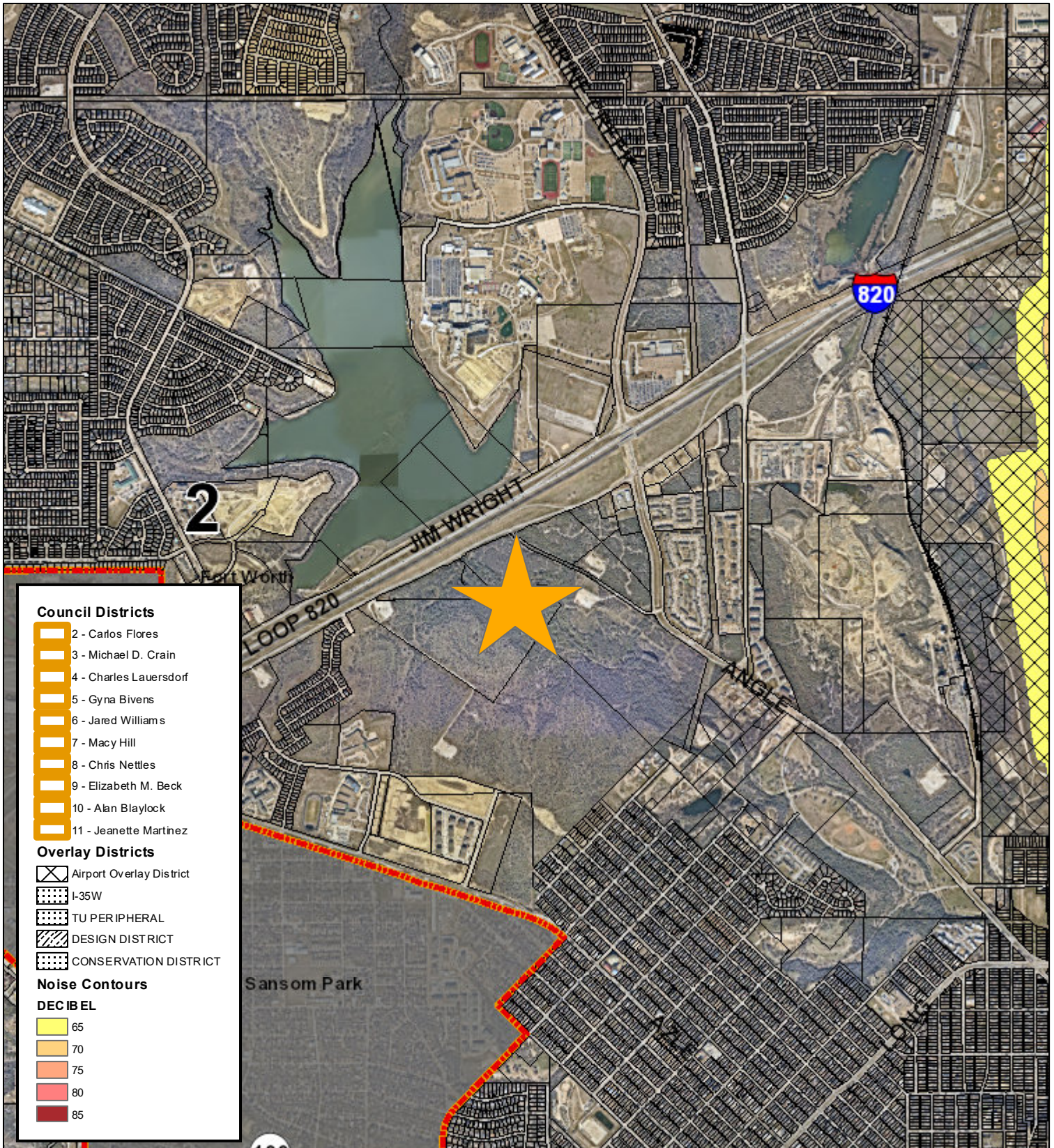
Applicant: Mrine Landings, LLC/ Jeff Landon  
 Address: 4501 Angle Ave/2851 NW Loop 820  
 Zoning From: C  
 Zoning To: PD/J removing certain uses  
 Acres: 31.19724198  
 Mapsco: Text  
 Sector/District: Northside  
 Commission Date: 2/12/2025  
 Contact: 817-392-8190



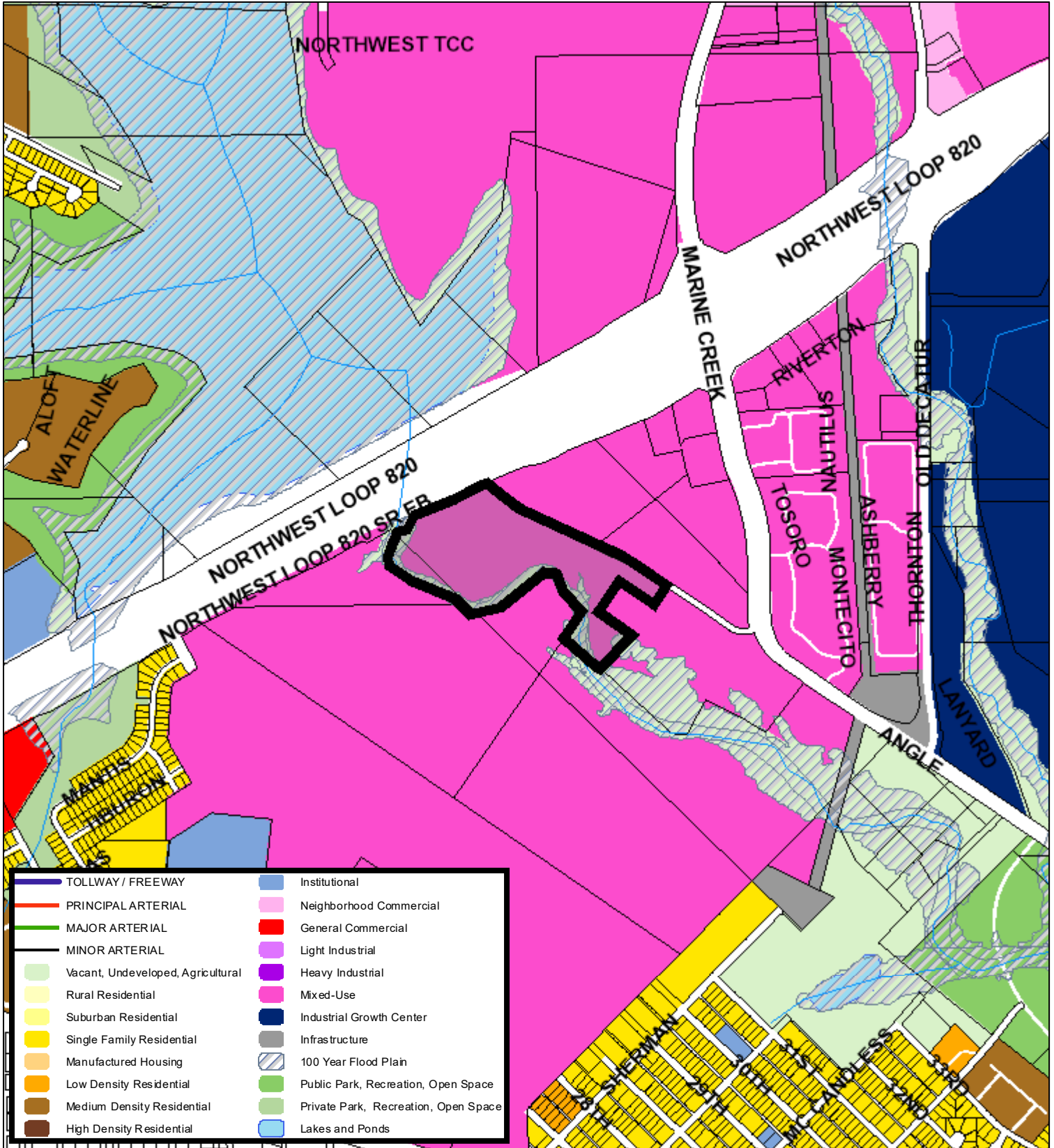
	Subject Area
	300 Foot Notification



### Area Map



### Future Land Use



TOLLWAY / FREEWAY	Institutional
PRINCIPAL ARTERIAL	Neighborhood Commercial
MAJOR ARTERIAL	General Commercial
MINOR ARTERIAL	Light Industrial
Vacant, Undeveloped, Agricultural	Heavy Industrial
Rural Residential	Mixed-Use
Suburban Residential	Industrial Growth Center
Single Family Residential	Infrastructure
Manufactured Housing	100 Year Flood Plain
Low Density Residential	Public Park, Recreation, Open Space
Medium Density Residential	Private Park, Recreation, Open Space
High Density Residential	Lakes and Ponds

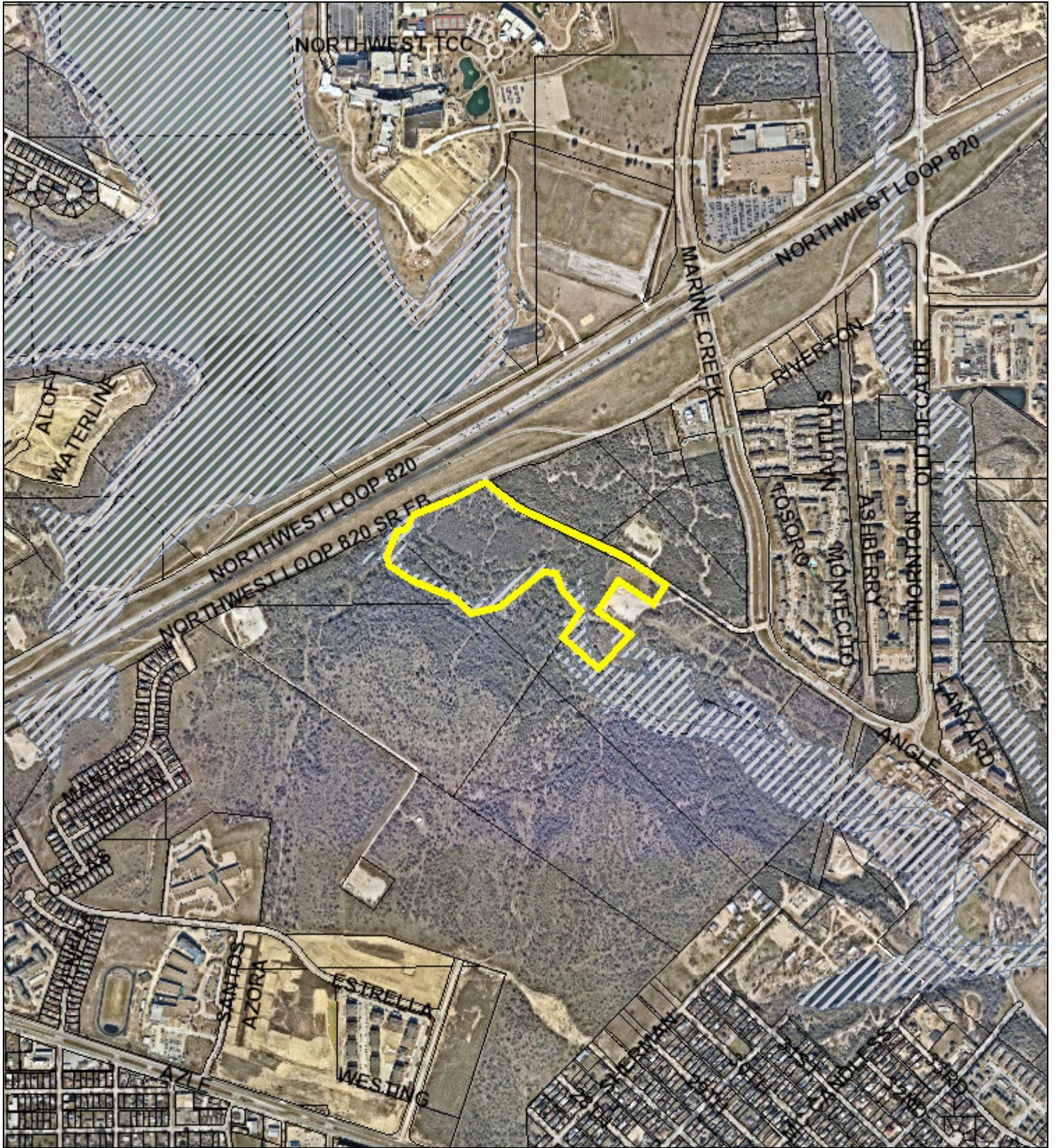
1,000 500 0 1,000 Feet

A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.





## Aerial Photo Map



0 650 1,300 2,600 Feet





# Zoning Staff Report

Date: February 12, 2025

Case Number: ZC-25-002

Council District: 10

## Zoning Map Amendment & Site Plan

**Case Manager:** [Sandy Michel](#)

**Owner / Applicant:** Deborah D. Bellows/ Jorge Garay

**Site Location:** 644 E Bonds Ranch Road

**Acreage:** 0.81 acre

### Request

**Proposed Use:** Automotive Oil Change Facility

**Request:** From: "AG" Agricultural  
To: "I" Light Industrial

### Recommendation

**Land Use Compatibility:** Requested change **is compatible**

**Comprehensive Plan Map Consistency:** Requested change **is consistent**

**Comprehensive Plan Policy Consistency:** Requested change **is consistent**

**Staff Recommendation:** **Approval**

### Table of Contents

1. [Project Description and Background](#)
2. [Surrounding Zoning and Land Uses](#)
3. [Recent Zoning History](#)
4. [Public Notification](#)
5. [Development Impact Analysis](#)
  - a. [Land Use Compatibility](#)
  - b. [Comprehensive Plan Consistency](#)
6. Zoning Map with 300 ft. Notification Area
7. Area Map
8. Future Land Use Map
9. Aerial Photograph

# Project Description and Background

The subject property, approximately 0.81 acres, is situated south of East Bonds Ranch Road (Figures 2-3). It is currently developed with a single residential house, but the surrounding area is largely characterized by commercial and industrial uses, including a public storage facility, vehicle (truck) storage, a car wash, and truck container storage. The property is presently zoned “AG” Agricultural, while the surrounding area primarily consists of industrial zoning and land uses. However, to the north of East Bonds Ranch Road, there are vacant parcels zoned ‘F’ General Commercial.

The applicant proposes to develop an automotive oil change facility on the site. Further details regarding the proposed use are outlined under ‘Applicant’s Description’ below, along with a zoning exhibit site plan (Figure 1) illustrating the intended development. While the preliminary site plan provides an overview of the project, a formal site plan submission is not required at this stage for the rezoning application. However, if the rezoning request is approved by the City Council, the applicant must apply for the necessary permits, at which point a detailed site plan, along with other required documentation, will need to be submitted for review and approval.

## Applicant’s Description

The applicant has provided a detailed project description to help us understand the reason for the request. The applicant has written, “The developer intends to develop an automotive oil change facility on the property to serve the general area of the city as shown on the zoning exhibit site plan. The developer would like to rezone the area from “AG” Agricultural to “I” Light Industrial to serve the proposed use. The oil change facility will feature a 1,700 SF shop with three automotive bays.”

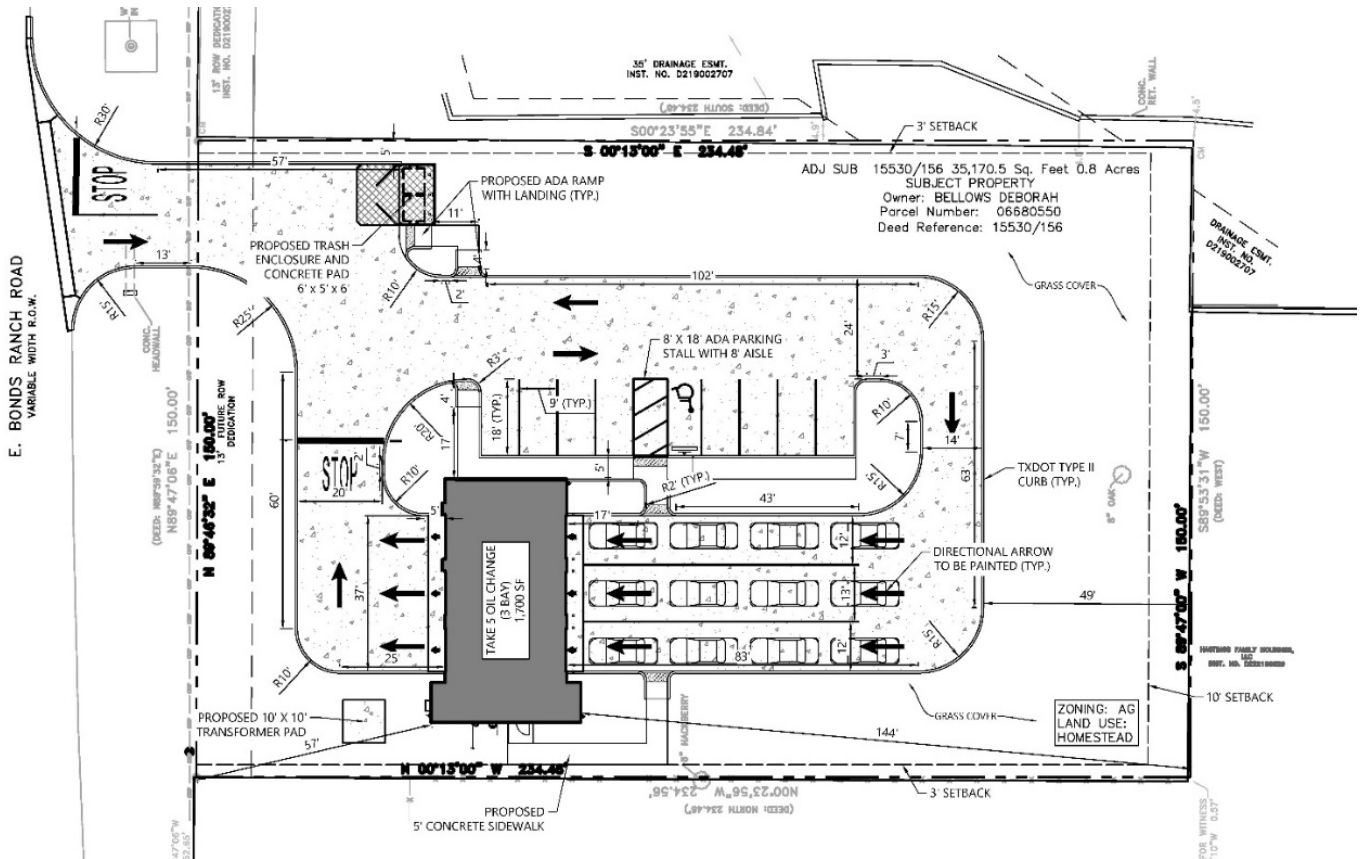


Figure 1: Site Plan Exhibit A





Figure 2: Site Photos taken by staff on 1/30/2025; view from 644 E Bonds Ranch Road



Figure 3: Site Photos taken by staff on 1/30/2025; view from 644 E Bonds Ranch Road

## Surrounding Zoning and Land Uses

North: "F" General Commercial/ Vacant  
East: "PD1026" Light Industrial/ Industrial- mini-warehouse  
South: "I" Light Industrial / Industrial  
West: "I" Light Industrial / Vacant

## Zoning History

The zoning history pre-dates 2004

## Public Notification

### Written Notice

Written notice of the Zoning Commission public hearing was mailed to the owners of real property lying within 300 feet on January 31, 2025.

### Posted Notice

A sign was erected on the property not less than 10 days before the Zoning Commission public hearing date.

### Published Notice

A notice of the public hearing before the City Council will be published in the Fort Worth Star-Telegram at least 15 days before the hearing.

### Courtesy Notice

The following organizations were emailed on January 31, 2025:

Organizations Notified	
Trinity Habitat for Humanity	Streams and Valleys Inc

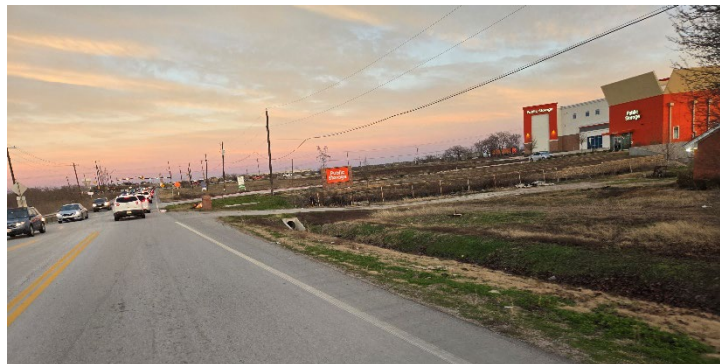
\* Located within a registered Neighborhood Organization

## Development Impact Analysis

### Land Use Compatibility

The surrounding area is primarily composed of vacant properties, with a few developed sites that include a public storage facility, vehicle (truck) storage, a car wash, and truck container storage. These existing uses indicate a trend toward commercial and industrial development in the vicinity.

The applicant is seeking to rezone the subject parcel to allow for the development of an automotive oil change facility, which aligns with the surrounding land use patterns. Given the presence of similar commercial and industrial uses nearby, the proposed rezoning is consistent with the area's zoning designations and development trends.



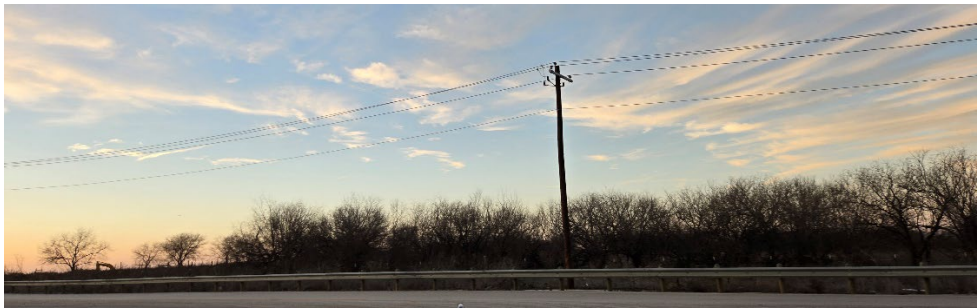


Figure 4: Site Photos taken by staff on 1/30/2025; view from 644 E Bonds Ranch Road of the Public Storage and vacant land in the surrounding parcels.

By facilitating this rezoning, the proposal supports a cohesive and logical land use transition from the existing single-family home, promoting compatible development that integrates well with existing and future growth in the area. This ensures that future developments are in harmony with the evolving character of the community while utilizing the existing infrastructure efficiently.

The proposed zoning is **compatible** with surrounding land uses.

### Comprehensive Plan Consistency- FLU Map and Policies

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The adopted Comprehensive Plan currently designates the subject property as a Light Industrial on the Future Land Use Map.

INDUSTRIAL		
Light Industrial	Warehousing, transportation, light assembly, outside storage	MU-2, I, All Commercial

The proposed property’s designation is consistent with the existing Light Industrial category outlined in the Future Land Use (FLU) Map. The rezoning request to “I” Light Industrial does align with the FLU designation.

This development aligns with the Comprehensive Plan policies, which encourage utilizing previously platted lots to maximize existing utility and road infrastructure. Additionally, the plan emphasizes the importance of new projects fitting within the area's existing scale and layout. This project is well-suited for the location and supports the broader policy goals. Key policies guiding this vision include:

- *Encourage new development adjacent and connected to previously developed or platted areas in order to utilize existing utility and road infrastructure and services, thereby optimizing public and private investments and discouraging sprawl development.*
- *Encourage new development in character with the existing neighborhood scale, architecture, and platting pattern, while working to improve pedestrian, bicycle, and transit access between adjacent neighborhoods and nearby destinations.*

Based on conformance with the policies stated above, the proposed zoning is **consistent** with the Comprehensive Plan FLU Map and Policies.

**Supplemental Information**  
**Site Photos taken by Staff on 1/30/2025**



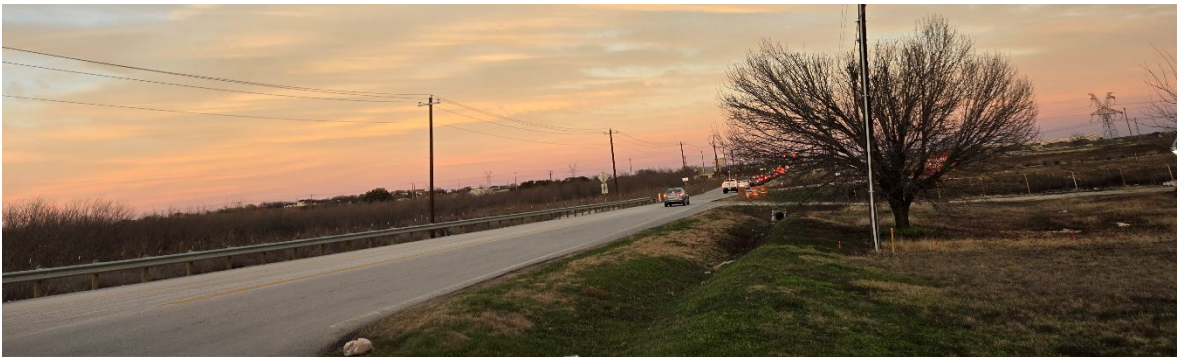
View from 644 E Bonds Ranch Road



View from 644 E Bonds Ranch Road



View from 644 E Bonds Ranch Road



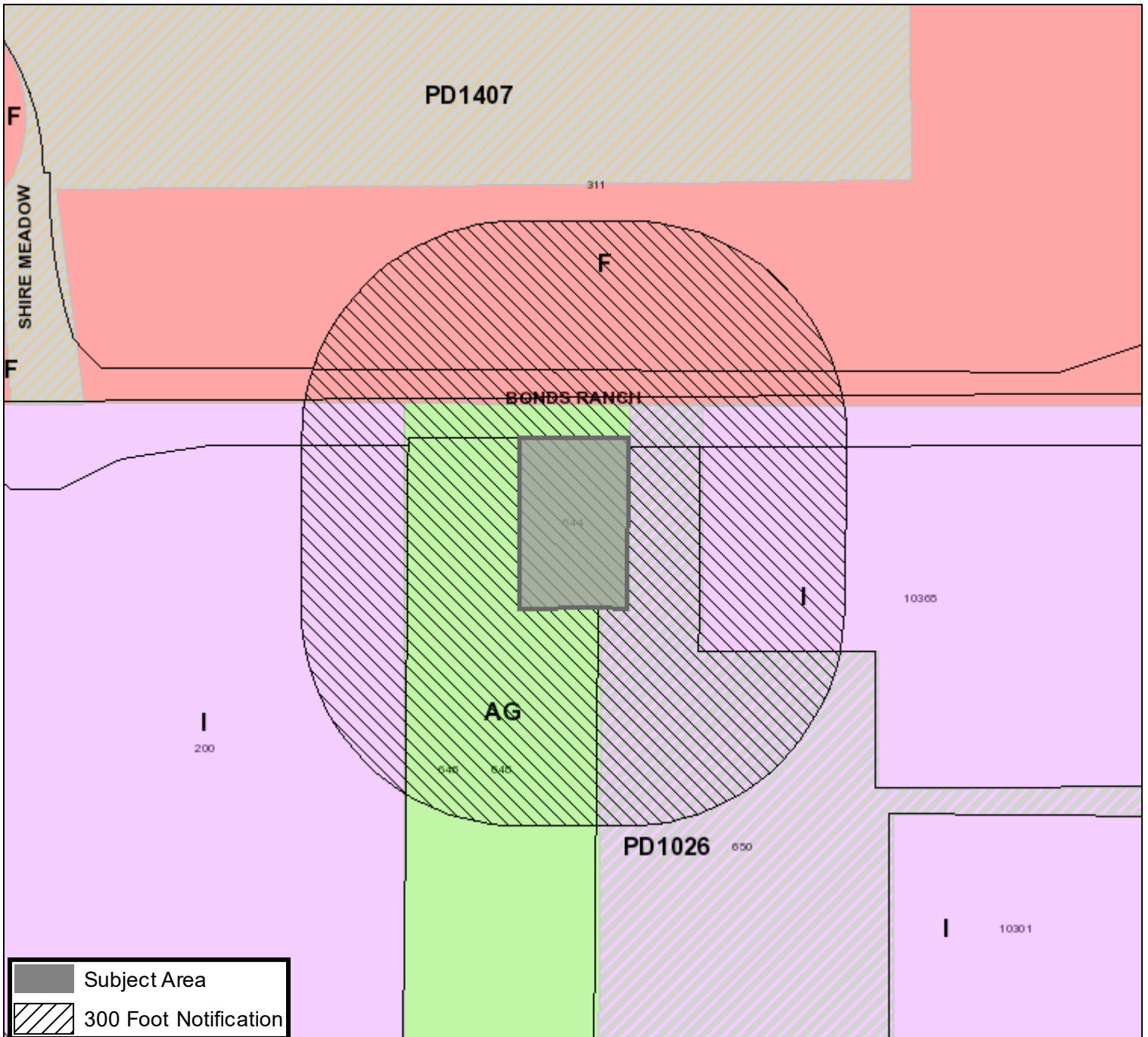
View from 644 E Bonds Ranch Road, looking towards the road





ZC-25-002

# Area Zoning Map

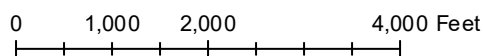
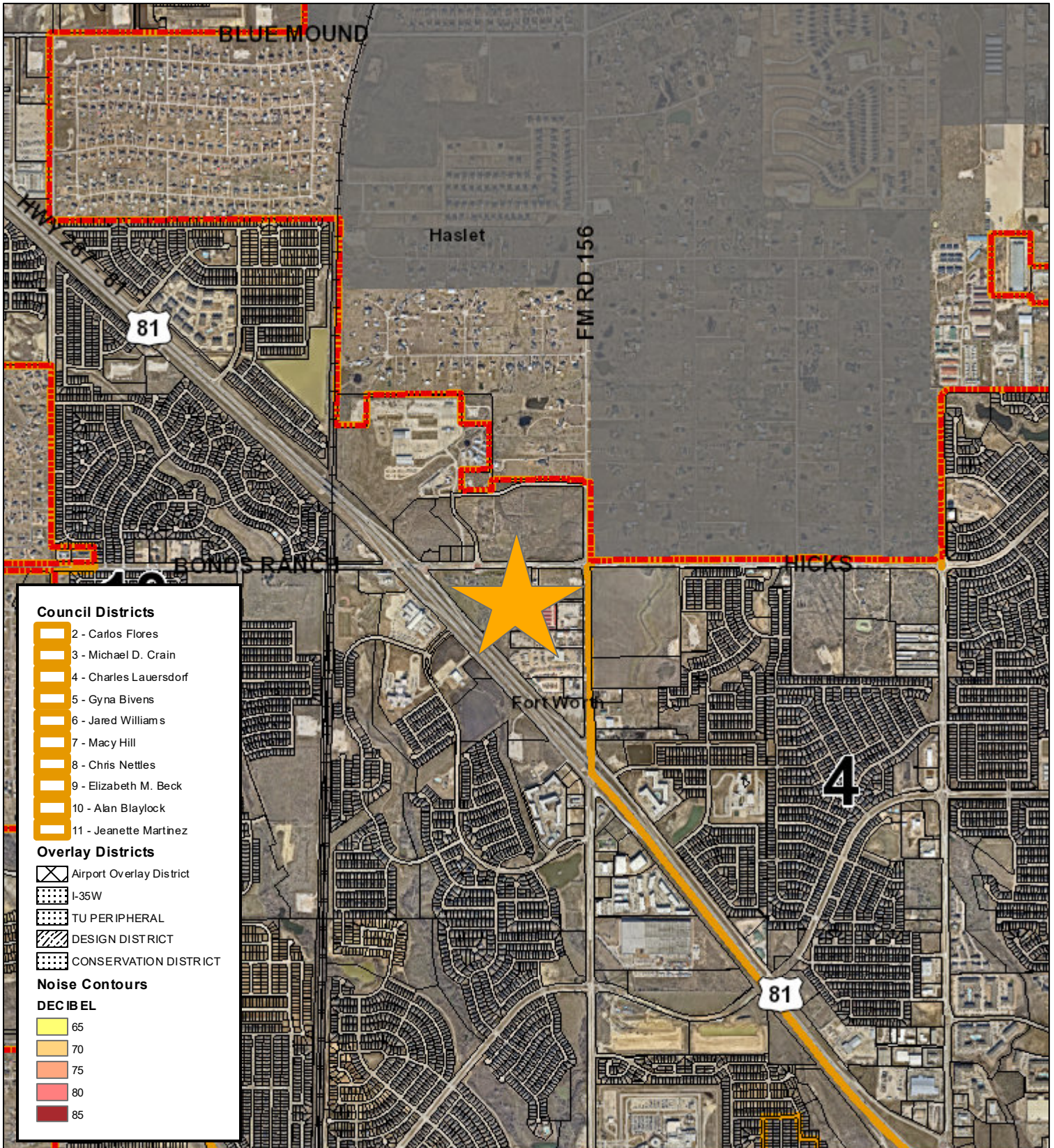
Applicant: Deborah D. Bellow/Driven Brands, Inc.  
Address: 644 E. Bonds Ranch Road  
Zoning From: AG  
Zoning To: I  
Acres: 0.80504786  
Mapsc0: Text  
Sector/District: Far\_North  
Commission Date: 2/12/2025  
Contact: 817-392-2806



	Subject Area
	300 Foot Notification




0 100 200 400 Feet

### Area Map

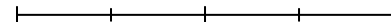


### Future Land Use

BONDS RANCH

	TOLLWAY / FREEWAY		Institutional
	PRINCIPAL ARTERIAL		Neighborhood Commercial
	MAJOR ARTERIAL		General Commercial
	MINOR ARTERIAL		Light Industrial
	Vacant, Undeveloped, Agricultural		Heavy Industrial
	Rural Residential		Mixed-Use
	Suburban Residential		Industrial Growth Center
	Single Family Residential		Infrastructure
	Manufactured Housing		100 Year Flood Plain
	Low Density Residential		Public Park, Recreation, Open Space
	Medium Density Residential		Private Park, Recreation, Open Space
	High Density Residential		Lakes and Ponds

110 55 0 110 Feet



A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



## Aerial Photo Map



BONDS RANCH

0 70 140 280 Feet







# Zoning Staff Report

**Date:** February 12, 2025

**Case Number:** ZC-25-004

**Council District:** 11

## Zoning Map Amendment & Site Plan

**Case Manager:** [Sandy Michel](#)

**Owner / Applicant:** Josh Eadie / Bo Trainor

**Site Location:** 521 & 2109 Beach Street and 4021 & 4025 E. 4th St (connection to park) park use easement/ monotony standard **Acreeage:** 31.327 acres

### Request

**Proposed Use:** Cottage-style multi-family- 315 units

**Request:** From: "B" Two-Family & "I" Light Industrial  
To: "PD/D" Planned Development for all uses in "D" High-Density Multifamily plus detached multifamily with development standards for: less than the 30' minimum setback along one-family district, no bufferyard plantings, and to allow fencing along in front of building and along the ROW, no tree canopy preservation requirement; site plan included.

### Recommendation

**Land Use Compatibility:** Requested change **is incompatible**

**Comprehensive Plan Map Consistency:** Requested change **is not consistent**

**Comprehensive Plan Policy Consistency:** Requested change **is not consistent**

**Staff Recommendation:** **Continuance**

### Table of Contents

1. [Project Description and Background](#)
2. [Surrounding Zoning and Land Uses](#)
3. [Recent Zoning History](#)
4. [Public Notification](#)
5. [Development Impact Analysis](#)
  - a. [Land Use Compatibility](#)
  - b. [Comprehensive Plan Consistency](#)
6. Zoning Map with 300 ft. Notification Area
7. Area Map
8. Future Land Use Map
9. Aerial Photograph

## Project Description and Background

The subject property covers approximately 31.327 acres and is located south of East 1st Street and east of Beach Street. It sits on undeveloped land with numerous existing trees. The surrounding area features a mix of uses, with an established single-family neighborhood to the west and outdoor storage to the east. Adjacent parcels are zoned “B” Two-Family, “I” Light Industrial, and “J” Medium Industrial. Additionally, the area is near a floodplain and the property contains several significant tree types (**Figure 1**). For further information about the impact of zero tree preservation the go to ‘*Site Plan Comments*’ under the section Urban forestry.



*Figure 1: Left Image – FEMA Flood Plain Hazard Area; Right Image – Existing Trees*

The applicant proposes constructing cottage-style multifamily residential buildings that would provide a total of 315 units. More details on the proposed use can be found in the ‘*Applicant’s Description*’ section below.

A site plan is included with this application as required for Planned Developments (PD) (**Figure 2**). According to ordinance 4.301.b ([‘Site Plan Requirements’](#)), a site plan is required to ensure compliance with zoning regulations and proper integration with the surrounding community. The site plan also demonstrates how the proposed rezone will impact the surrounding area. In addition, a property survey is provided that outlines the area affected by the requested zoning changes (**Figure 3**).

The applicant is requesting a planned development to allow for all uses under “D” High-Density Multifamily. However the applicant is requesting waivers from the design standards under “D” High-Density Multifamily, those waivers include:

Requirement	D Standards	Proposed PD/D (Provided per site plan)
Required Yards- Setback adjacent to one- or two-family residential district ***	Three feet for every one foot (3:1) as measured from slab to top of sill plate, or two feet for every one foot (2:1) in overall height when measured from lowest finished grade to the peak of the roof, whichever is greater; 30 feet minimum	less than the 30' minimum setback along one or two-family district

Buffer yard	Where adjacent to one or two-family district, a five-foot buffer yard and minimum six foot screen fence shall be placed on the property line and should be landscaped per point system	5' buffer yard provided. No buffer yard plantings.
Fences	Fences shall not be located in the area between building facades and the property line. Perimeter security fencing is prohibited; however, security fencing is permitted on interior property lines. Solid screen fences are required when adjacent to a one or two family district unless adjacent to a public park or controlled access highway when a solid screening fence is not permitted and an open design fence shall be installed, if a fence is installed	Fences along ROW (East 1st Street & Beach Street)
Urban Forestry	Must comply with <a href="#">6.302(g)</a> Urban Forestry ordinances requirements	No tree canopy preservation proposed with additional tree plantings (min. 1 tree per unit = 308 trees)

\*\*\* A five-foot bufferyard and minimum six-foot screen fence shall be placed on the property line and should be landscaped per point system, see § [6.300](#) (b), (d), (f), (g). This regulation shall not be required when the property in the one- or two-family district is used for utilities, waterways, railroads or other nonresidential public use or separated by a public right-of-way of at least 300 feet in width.

### Applicant’s Description

The applicant has provided a detailed project description to help us understand the reason for the request. The applicant has written, *“This request is to rezone approximately 30 acres from “B - Two Family” zoning to a Planned Development (PD). The requested PD is based on the “D – highdensity multi family” zoning district with waivers needed for this specific development. These waivers are found on the Site Plan.*

*The requested use will allow for the development of a cottage style multifamily homes for rent product. This will be multiple units on a single lot. This type of product is also called horizontal multi-family. The development will be approximately 315 units. Parking for these units will be a combination of open air, covered and garage style. These types are delineated on the Site Plan. The development will also have open space that is spread through the development, an event lawn for programmed events or open play and a pool for the residents. The development will be gated.*

*The proposed Site is a portion of a larger parcel.*

*The City’s Comprehensive Plan designates the Site as being neighborhood commercial and low density residential. Surrounding the Site are single family residential uses, industrial uses and additional land being zoned industrial to the south. The development of the Site as the proposed PD will provide a more staggered development type buffer and transition between the single-family residential uses to the west and north, industrial uses to the east and future industrial to the south. The requested cottage style multi-family homes will be well situated to add to the population base in this area that may spur future commercial development. The additional of cottage homes further adds a level of diversity to the City's economic base and more options for housing.*

*This style of development has been done in multiple locations across the country and in Fort Worth by this applicant. Our history has proven that we provide quality products for a growing segment of the population.”*



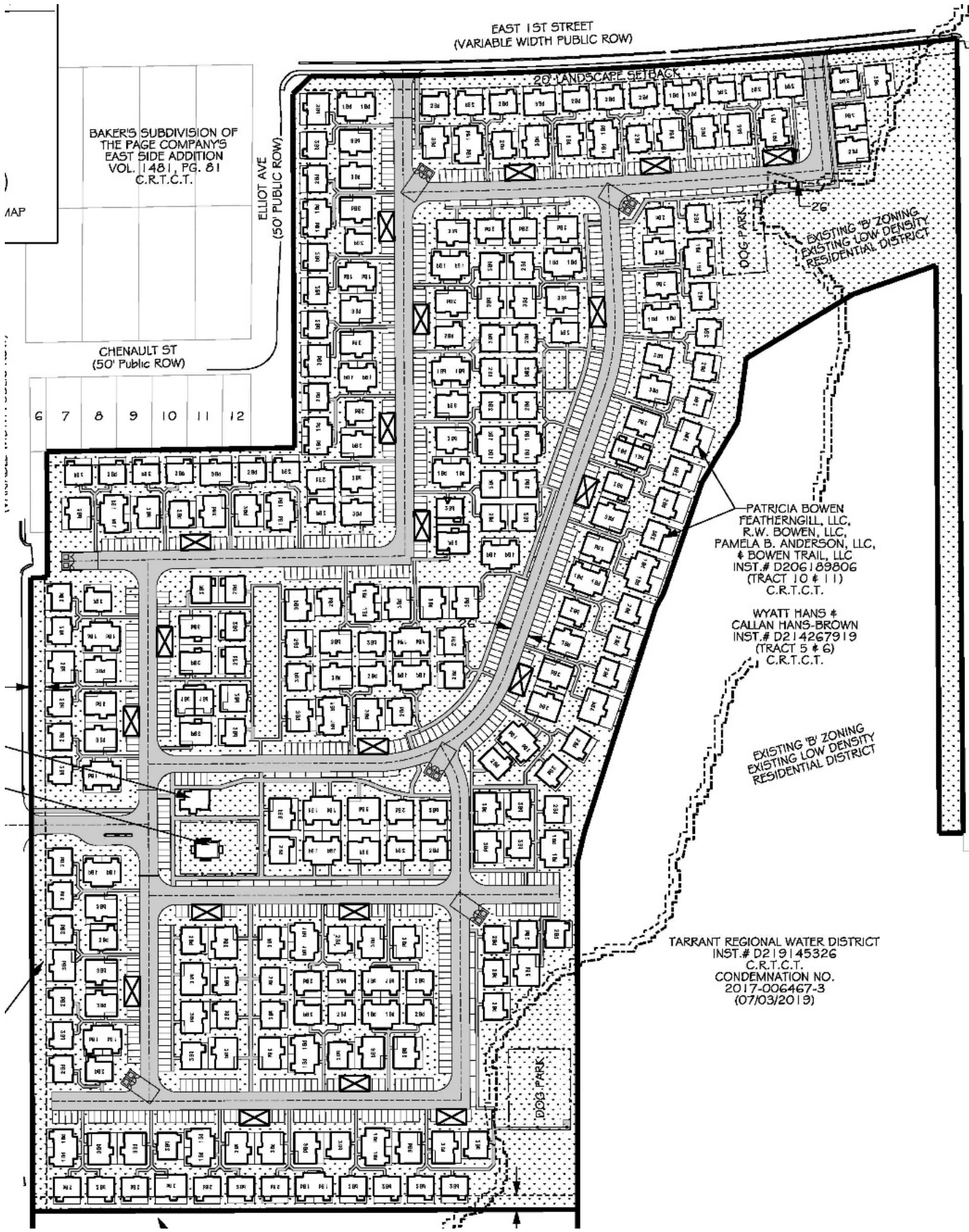
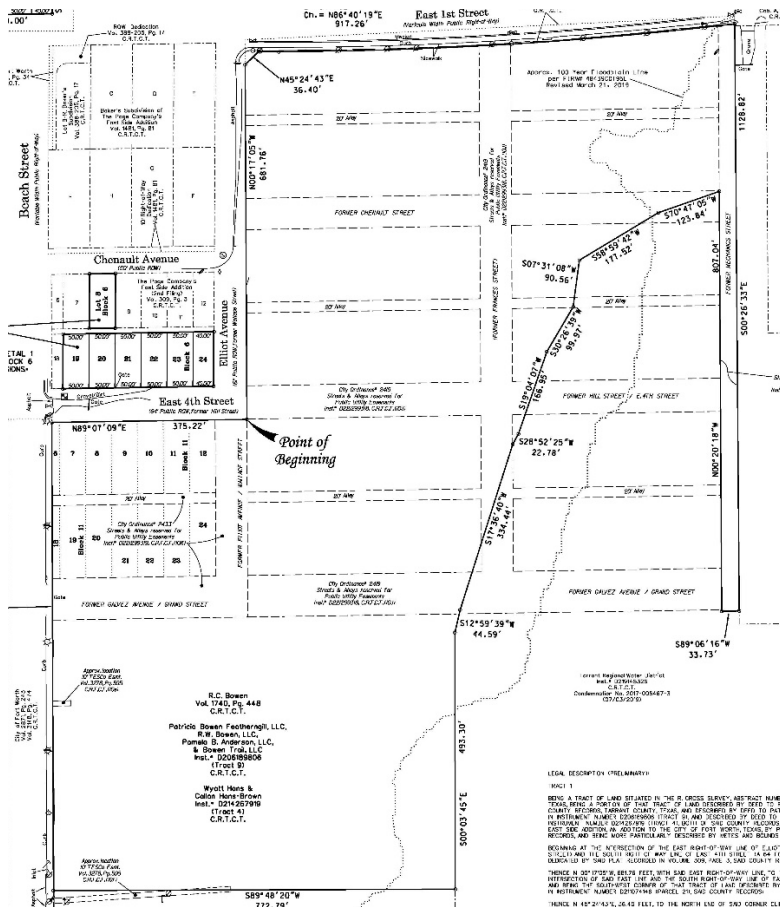


Figure 2: Zoning Exhibit Site Plan



## Surrounding Zoning and Land Uses

- North: "B" Two-Family / Residential
- East: "B" Two-Family/ Residential
- South: "J" Medium Industrial / Industrial- vacant
- West: "B" Two-Family / Residential

## Zoning History

- ZC-21-172:** This rezoning case, requesting a change from "B" Two-Family to "J" Medium Industrial, was **withdrawn**. However, the staff report indicated that the applicant requested a continuance to pursue a Planned Development (PD) for "I" Light Industrial uses, which included removing certain uses and adding development standards. Ultimately, the case was not heard because the applicant withdrew it.

## Public Notification

### Written Notice

Written notice of the Zoning Commission public hearing was mailed to the owners of real property lying within 300 feet on January 31, 2025.

### Posted Notice

A sign was erected on the property not less than 10 days before the Zoning Commission public hearing date.

### Published Notice

A notice of the public hearing before the City Council will be published in the Fort Worth Star-Telegram at least 15 days before the hearing.

### Courtesy Notice

The following organizations were emailed on January 31, 2025:

Organizations Notified	
Trinity Habitat for Humanity	Streams and Valleys Inc
Neighborhood Association on South Lake Worth	

\* Located within a registered Neighborhood Organization

## Development Impact Analysis

### Land Use Compatibility

As noted in the ‘*Project Description*,’ the surrounding sites vary from single-family homes to industrial uses. The applicant proposes to rezone the subject parcel for a 315-unit, cottage-style multifamily project under the base zoning district “D” High-Density Multifamily, which permits up to 32 dwelling units per acre. Although the site plan only shows 315 units, these units are separated by land rather than divided into platted lots, with buildings arranged like small single-family homes and shared parking areas.

Given the parcel's 31.327 acres—and in the absence of a density cap within the PD—the theoretical maximum, assuming a 35% open space requirement, could be approximately 651 units.\* These calculations are theoretical and do not account for constraints such as buildable area (setbacks, bufferyard), infrastructure, or site design considerations. Additionally, the allowed building height is 36 feet, with the potential to increase to 48 feet if setbacks of more than 250 feet from one- and two-family districts are met.\* This higher density could negatively impact the area by placing high-density development adjacent to a single-family neighborhood.

There are also concerns about the waiver requests for developmental standards. Some waivers could adversely affect both the neighborhood to the west and the local environment (refer to the ‘*Urban Forestry*’ comments under ‘*Site Plan Comments*’). Specifically, the waiver eliminating planting requirements in bufferyard does not provide adequate privacy for existing single-family houses, and the waiver regarding tree preservation is problematic given the significant trees on site—especially since the applicant has not provided a Tree Survey for staff to review.

Overall, the rezoning request does not align with the general land use patterns and zoning designations of the surrounding area.

The proposed zoning is **incompatible** with surrounding land uses.

\*The ordinance information used in this section can be found [here](#).

### Comprehensive Plan Consistency- FLU Map and Policies

The adopted Comprehensive Plan currently designates the subject property as an Existing Public Parkland on the Future Land Use Map.

RESIDENTIAL		
Rural Residential	1+ acre single-family	A-2.5, A-43
Suburban Residential	1/2+ acre single-family	A-21
Single-Family Residential	3,500+ sq. ft. lot single-family	A-10, A-7.5, A-5, AR
Manufactured Housing	Manufactured home parks and subdivisions	MH
Low Density Residential	2,500+ sq. ft. lot single-family, two-family, patio homes, townhouses, cluster housing	B, R1, R2
Medium Density Residential	Up to 36 units/acre multifamily	CR, C, D
Urban Residential	Medium to high density, residential only, pedestrian-oriented development for use between higher and lower intensity uses	UR
High Density Residential	>36 units/acre multifamily, mixed-use multifamily and pedestrian-oriented development in growth centers	UR, MU-1, MU-2, Form-Based Codes
COMMERCIAL		
Neighborhood Commercial	Retail, services, offices and mixed uses serving daily needs for a local market area	ER, E, MU-1, Applicable Form-Based Codes
General Commercial	Retail, services, offices and mixed uses serving occasional needs for a larger market area	All Commercial, MU-1, MU-2, Applicable Form-Based Codes

The proposed property’s designation is not consistent with the Neighborhood Commercial & Low-Density Residential category outlined in the Future Land Use (FLU) Map. The FLU category allows for the following zoning districts:

- “B” Two-Family
- “R1” Zero Lot Line / Cluster
- “R2” Townhouse / Cluster (24 dwelling units / acre)
- “ER” Neighborhood Commercial Restricted
- “E” Neighborhood Commercial
- “MU-1” Low Intensity Mixed-Use

**\*\*Note:** There are no applicable form-based codes for this area.

The Comprehensive Plan supports transitional development by promoting Urban Residential and Low Density Residential uses as a bridge between single-family and high-density areas. It also emphasizes the importance of protecting critical resources—such as 100-year floodplains, mature trees, wildlife habitats, and storm water detention areas—in new subdivisions. Additionally, the plan aims to safeguard existing neighborhoods by using buffers or transitional zones to separate incompatible land uses, particularly those differing in height, scale, or traffic generation. Finally, it calls for new residential projects to be scaled compatible with existing developments, discouraging drastic differences in lot size and density unless proper mitigation measures are in place. Key policies guiding this vision include:

- *Encourage Urban Residential and Low Density Residential as transitional uses between Single-Family Residential and high density uses.*
- *Encourage clustering of development sites within new subdivisions to avoid steep slopes (greater than 15%) and to conserve 100-year floodplains, existing tree cover, wildlife habitat, storm water detention areas, riparian buffers along natural waterways, and archeologically significant sites.*
- *Separate incompatible land uses with buffers or transitional uses. Some land uses have attributes such as height, proportion, scale, operational characteristics, traffic generated, or appearance that may not be compatible with the attributes of other uses.*
- *Promote measures to ensure that all types of residential developments are compatible in scale to abutting residential developments. A dramatic difference in lot size and units per acre should be discouraged for new development immediately adjacent to existing development or platted and zoned property, unless mitigation is provided to minimize the effects of the new use.*

The proposed planned development does not align with the FLU map nor the policies that are placed to protect existing neighborhood.

Based on conformance with the policies stated above, the proposed zoning is **not consistent** with the Comprehensive Plan FLU Map and Policies.

## Site Plan Comments

---

**Due to the applicant's request for a continuance and their active collaboration with our staff, please find below the draft site plan comments. Note that the site plan may change, and these comments are based on the current submission.**

### **Zoning and Land Use**

The site plan complies with proposed plan development PD/D with the development waivers. As well as the zoning regulations for Site plan submissions for planned developments outlined in Ordinance 4.301.b (*'Site Plan Requirements'*).

### **Urban Forestry**

Reviewer: Jaclyn Ingram

### **Analysis of Proposed Language**

The applicant is requesting planned development language with urban forestry standards. These standards include:

- 0% preservation instead of the minimum 25% required by §6.302
- 40% planting minimum per §6.302 for residential land use
- required significant mitigation per §6.302 for any significant sized trees onsite

This language would grant the applicant a waiver of preservation requirements of §6.302.

### **Applicable Urban Forestry Design Standards & Guidelines**

#### **[CFW Zoning Ordinance, Ch. 6: Development Standards, Section 6.302 – Urban Forestry, Subsection G.4](#)**

(4) *General preservation methods of tree canopy.* At the submission of an urban forestry plan/permit application, the applicant shall elect one of the following tree preservation of existing canopy compliance methods.

a. *Method "A."* Preservation of existing canopy coverage regardless of tree species:

1. At least 25% of the existing canopy coverage must be retained, regardless of tree species, on all properties greater than one acre, provided however, significant or large trees must be preserved as outlined in subsection (g)(5) below. The existing canopy can be determined via recent air photo, on the ground survey or other approved method by the city forester;
2. Property located in floodplains or located in areas that will be dedicated to public spaces may be counted toward the required 25% minimum retention;
3. Calculation of all canopy coverage and retention areas will not include utility rights-of-way or easements covered under the rules and regulation of the public utility commission and/or Texas railroad commission;
4. To remove more than the minimum retention will require a waiver from the urban design commission; and
5. The overall canopy coverage percentage requirement must be met by planting the size and species of protected trees in Table A, Protected Trees, in subsection (l) below.

### **Findings/Recommendations**



This parcel is currently undeveloped with approximately 40% canopy cover. Upon inspection we found several protected species of oaks, pecans, and elms, as well as cottonwood and other less desirable pioneer species. Most of the tree cover exists along a band that extends from the southwest corner to the northeast corner staying near the street perimeter near North Beach and 1<sup>st</sup> Street, this is displayed in green on figure below (Fig. 2). Without a tree survey I can only go based on our observations and it appears that most of the protected species are in the northern segment closer to 1<sup>st</sup> Street.

The city utilizes the Open Space Tool in GIS to perform environmental and open space priority analysis based on existing built land use and natural environmental land coverage. Utilizing this tool, I generated two figures below and overlaid approximate planned development boundaries. The first shows the combined open space priorities and the ecosystem preservation priorities based on the existing site conditions and surrounding land uses. The second shows the FEMA floodplain, the flood control priority areas, and the tree canopy on site, the natural existing conditions.

By looking at the layers in figure 2 you can see that this project appears to be out of the FEMA floodplain but is still speckled with flood control priority area. Figure 1 shows that the existing tree canopy creates a higher priority for the combined open space analysis and the other portion of the project is purple which is an ecosystem preservation priority area.

We are currently working on urban forestry ordinance revisions which would allow us to focus on preserving our protected species and our environmentally sensitive areas. With this we are hoping to encourage design that considers the existing canopy and ecosystem and adjusts the footprint of the development to preserve the natural environment without impeding the development potential.

Given the property conditions and goals provided by the Urban Forest Master Plan and community input, staff recommends denial of the 0% preservation for canopy standard as we feel that preservation of protected species of trees and environmentally sensitive areas is necessary to reach our urban forest ordinance goal to achieve 30% tree canopy coverage citywide and to promote a multi-aged urban forest.

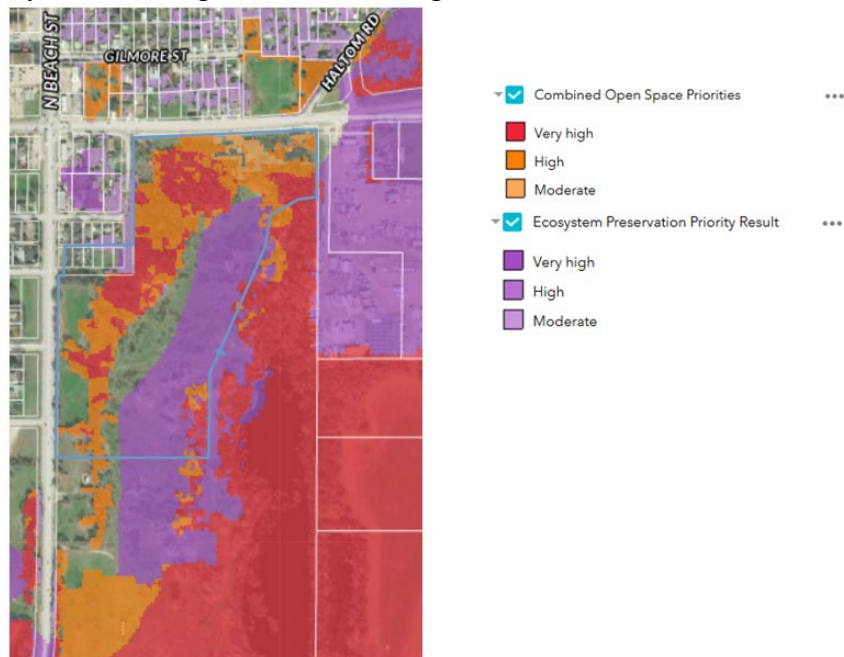


Figure 1 – Proposed Development Outline Over Priority Areas



Figure 2 – Proposed Development Outline and Existing Conditions

### **TPW Stormwater**

Reviewer: Robin Stevens

Site will require an accepted drainage study prior to platting, grading, infrastructure plan review, and building permit issuance. Site may require a Flood Study prior to final platting, infrastructure plan review, grading, and building permit issuance.

Site has FEMA Floodplain and deep potential high water seen on the site that may exceed 5 ft in depth on the roads. Not located in a regulatory local City Flood Risk Area. Road overtopping events are noted south of the site near channel crossing.

### **Fire Department**

Reviewer: Lt. Donna York

- Single family-for rent projects where each unit is not provided a driveway or garage must meet the Fire Code standards for multi-family projects for access points and fire lane width.
- Non-permitted gas well pad site to the east will not impact this site as shown on the plan. Gas well setbacks are applied based on the pad site conditions at the time of building permit application. Section 5706
- Minimum fire lane width for this project type is 26'. All of these fire access roads must be dedicated and named for addressing purposes. Section 503 Fire Lane Specifications
- Each building address shall be clearly visible from the corresponding street.CFW Fire Department Planning and Addressing Standards Section VI.4 Apartment Signage
- Units farther than 25' from the curb line, the numbers shall not be less than 6" in height. CFW Fire Department Planning and Addressing Standards Section VI.10 Posting of an Address, Rear Structures.
- In addition to being directly attached to the building, the numbers may also be attached to a freestanding sign, marquee, or other acceptable detached signage as to be determined by the Fire Official. CFW Fire Department Planning and Addressing Standards Section II.8 Posting a Commercial Address
- Additional private hydrants will be required to meet building hose lay. Sections 507 Hydrants
- 2 points of access are provided. Section 503.1.6 Secondary Access One and Two Family Residential Developments

General information:

- Failure to recognize violations of the fire code by the fire code official does not waive the requirement of meeting minimum requirements of the fire code in the future.
- It is the applicant's and the owner's responsibility to meet all minimum fire code requirements at all times.

The City of Fort Worth has adopted the 2021 International Fire Code as its current fire code at the time of this review. The City of Fort Worth has also adopted Amendments #25388-03-2022.

<https://www.fortworthtexas.gov/departments/fire/services/bureau>

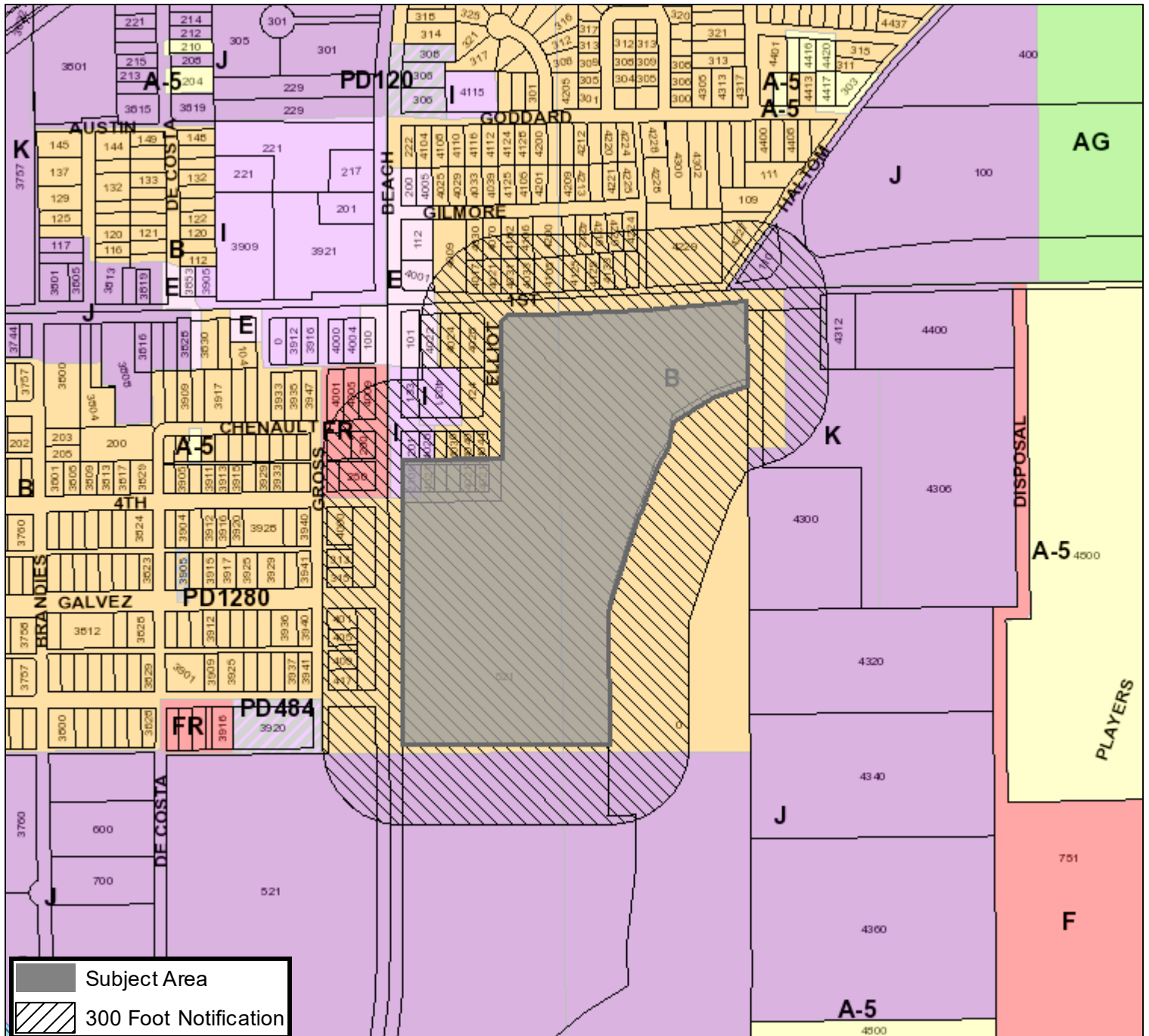
### **Transportation Development**

Reviewer: Stu Burzette

- Traffic Impact Analysis – A Traffic Impact Analysis (TIA), accepted by TDS, will be required prior to plat approval. Include all vehicular, bicycle, and pedestrian movements in accordance with the Transportation Engineering Manual. Any questions can be directed to Tom Simerly (tom.simerly@fortworthtexas.gov; 817-293-6892).
- Rough Proportionality (RP): The tract is subject to a rough proportionality assessment and potential construction for roadway improvements based on the site's impact on the roadway system prior to final platting of any phase.

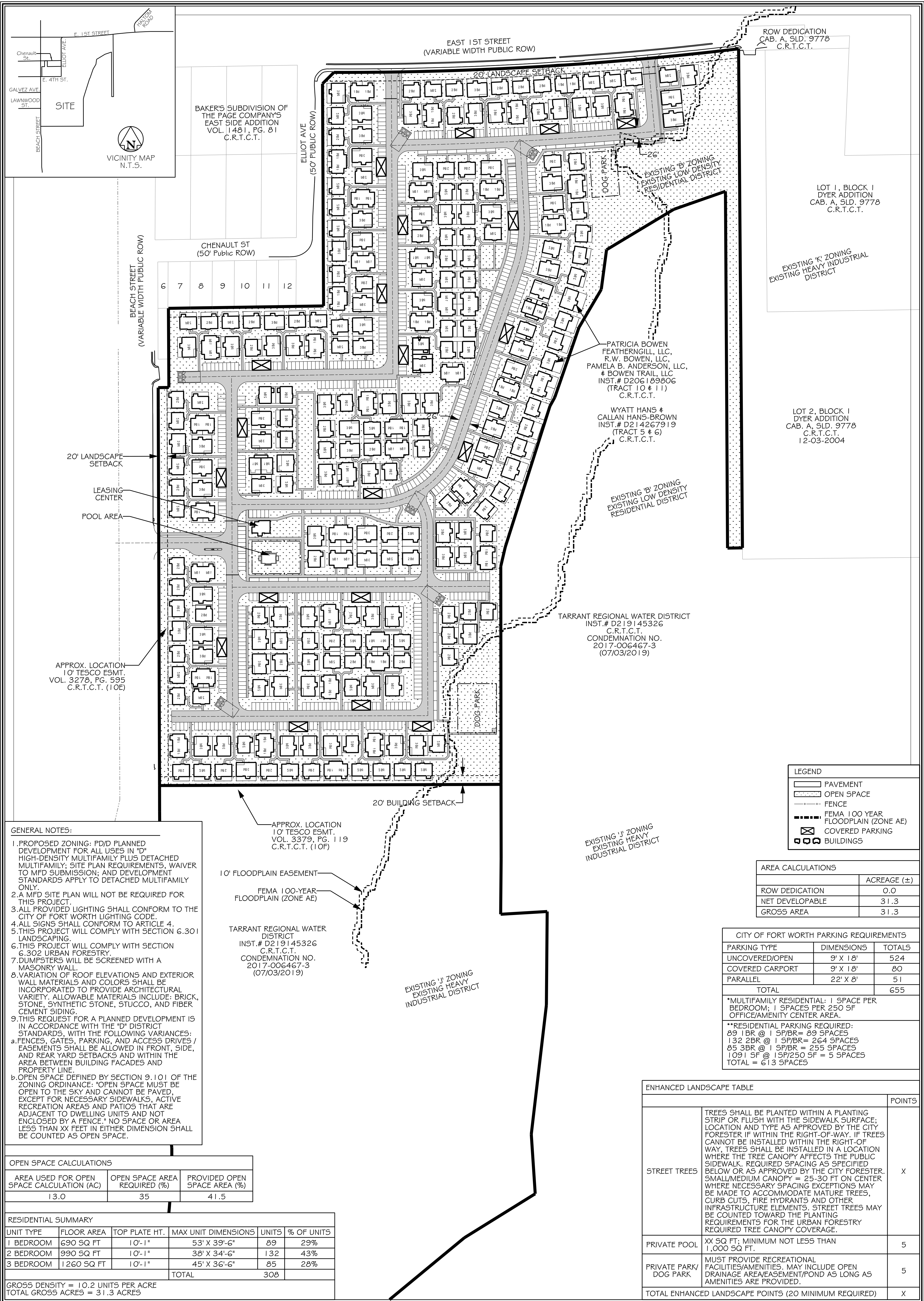
## Area Zoning Map

Applicant: Robert Frost et al/Amanda Mata  
 Address: 521, 691,2109 Beach Street & 4021-4025 (odds) E. 4th Street  
 Zoning From: B, I  
 Zoning To: PDPlus Detached Multifamily w/ Development Standards  
 Acres: 30.58475598  
 Mapsco: Text  
 Sector/District: Eastside  
 Commission Date: 2/12/2025  
 Contact: 817-392-2806



Subject Area  
 300 Foot Notification

0 262.5 525 1,050 Feet



- GENERAL NOTES:**
1. PROPOSED ZONING: PD/D PLANNED DEVELOPMENT FOR ALL USES IN "D" HIGH-DENSITY MULTIFAMILY PLUS DETACHED MULTIFAMILY; SITE PLAN REQUIREMENTS, WAIVER TO MFD SUBMISSION; AND DEVELOPMENT STANDARDS APPLY TO DETACHED MULTIFAMILY ONLY.
  2. A MFD SITE PLAN WILL NOT BE REQUIRED FOR THIS PROJECT.
  3. ALL PROVIDED LIGHTING SHALL CONFORM TO THE CITY OF FORT WORTH LIGHTING CODE.
  4. ALL SIGNS SHALL CONFORM TO ARTICLE 4.
  5. THIS PROJECT WILL COMPLY WITH SECTION 6.301 LANDSCAPING.
  6. THIS PROJECT WILL COMPLY WITH SECTION 6.302 URBAN FORESTRY.
  7. DUMPSTERS WILL BE SCREENED WITH A MASONRY WALL.
  8. VARIATION OF ROOF ELEVATIONS AND EXTERIOR WALL MATERIALS AND COLORS SHALL BE INCORPORATED TO PROVIDE ARCHITECTURAL VARIETY. ALLOWABLE MATERIALS INCLUDE: BRICK, STONE, SYNTHETIC STONE, STUCCO, AND FIBER CEMENT SIDING.
  9. THIS REQUEST FOR A PLANNED DEVELOPMENT IS IN ACCORDANCE WITH THE "D" DISTRICT STANDARDS, WITH THE FOLLOWING VARIANCES:
    - a. FENCES, GATES, PARKING, AND ACCESS DRIVES / EASEMENTS SHALL BE ALLOWED IN FRONT, SIDE, AND REAR YARD SETBACKS AND WITHIN THE AREA BETWEEN BUILDING FACADES AND PROPERTY LINE.
    - b. OPEN SPACE DEFINED BY SECTION 9.101 OF THE ZONING ORDINANCE: "OPEN SPACE MUST BE OPEN TO THE SKY AND CANNOT BE PAVED, EXCEPT FOR NECESSARY SIDEWALKS, ACTIVE RECREATION AREAS AND PATIOS THAT ARE ADJACENT TO DWELLING UNITS AND NOT ENCLOSED BY A FENCE." NO SPACE OR AREA LESS THAN XX FEET IN EITHER DIMENSION SHALL BE COUNTED AS OPEN SPACE.

**OPEN SPACE CALCULATIONS**

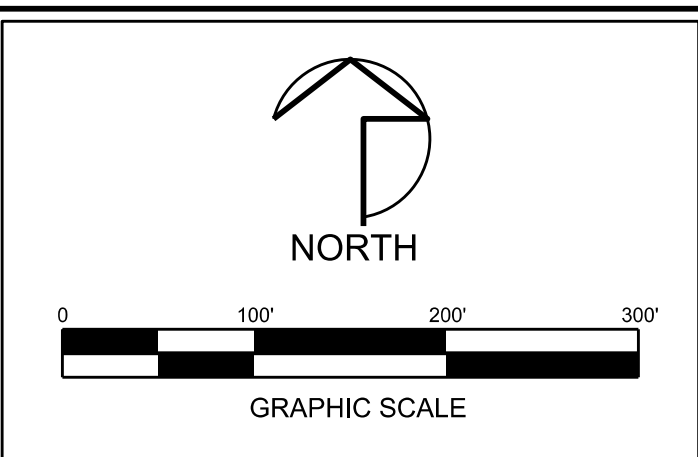
AREA USED FOR OPEN SPACE CALCULATION (AC)	OPEN SPACE AREA REQUIRED (%)	PROVIDED OPEN SPACE AREA (%)
13.0	35	41.5

**RESIDENTIAL SUMMARY**

UNIT TYPE	FLOOR AREA	TOP PLATE HT.	MAX UNIT DIMENSIONS	UNITS	% OF UNITS
1 BEDROOM	690 SQ FT	10'-1"	53' X 39'-6"	89	29%
2 BEDROOM	990 SQ FT	10'-1"	38' X 34'-6"	132	43%
3 BEDROOM	1260 SQ FT	10'-1"	45' X 36'-6"	85	28%
<b>TOTAL</b>				<b>308</b>	

GROSS DENSITY = 10.2 UNITS PER ACRE  
TOTAL GROSS ACRES = 31.3 ACRES

PROJECT NO.	0049719.00
FILE PATH	N:\0049719.00
DRAWN BY	JH
REVIEWED BY	TL
DATE	NOVEMBER 2024
DATE	REVISIONS



**OWNER**  
P BOWEN FEATHERFILL  
LLC ETAL  
PO BOX 1715  
FORT WORTH, TX 76101

**DEVELOPER**  
NEXMETRO COMMUNITIES  
2221 LAKESIDE BLVD  
SUITE 1210  
RICHARDSON, TX 75082  
PH: (469) 546-9434

**PLANNER / ENGINEER**  
WESTWOOD PROFESSIONAL  
SERVICES, INC  
9800 HILLWOOD PKWY.  
SUITE 250  
FORT WORTH, TX 76177  
PHONE: 817-562-3350

**AVILLA BEACH TRACT**  
CONTAINING LOTS 1, BLOCK 1.  
EXISTING 'B' ZONING  
TOTAL 31.4 ± GROSS ACRES  
CITY OF FORT WORTH,  
TARRANT COUNTY, TEXAS

**LEGEND**

- PAVEMENT
- OPEN SPACE
- FENCE
- FEMA 100 YEAR FLOODPLAIN (ZONE AE)
- COVERED PARKING
- BUILDINGS

**AREA CALCULATIONS**

	ACREAGE (±)
ROW DEDICATION	0.0
NET DEVELOPABLE	31.3
GROSS AREA	31.3

**CITY OF FORT WORTH PARKING REQUIREMENTS**

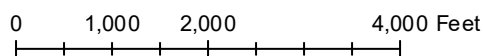
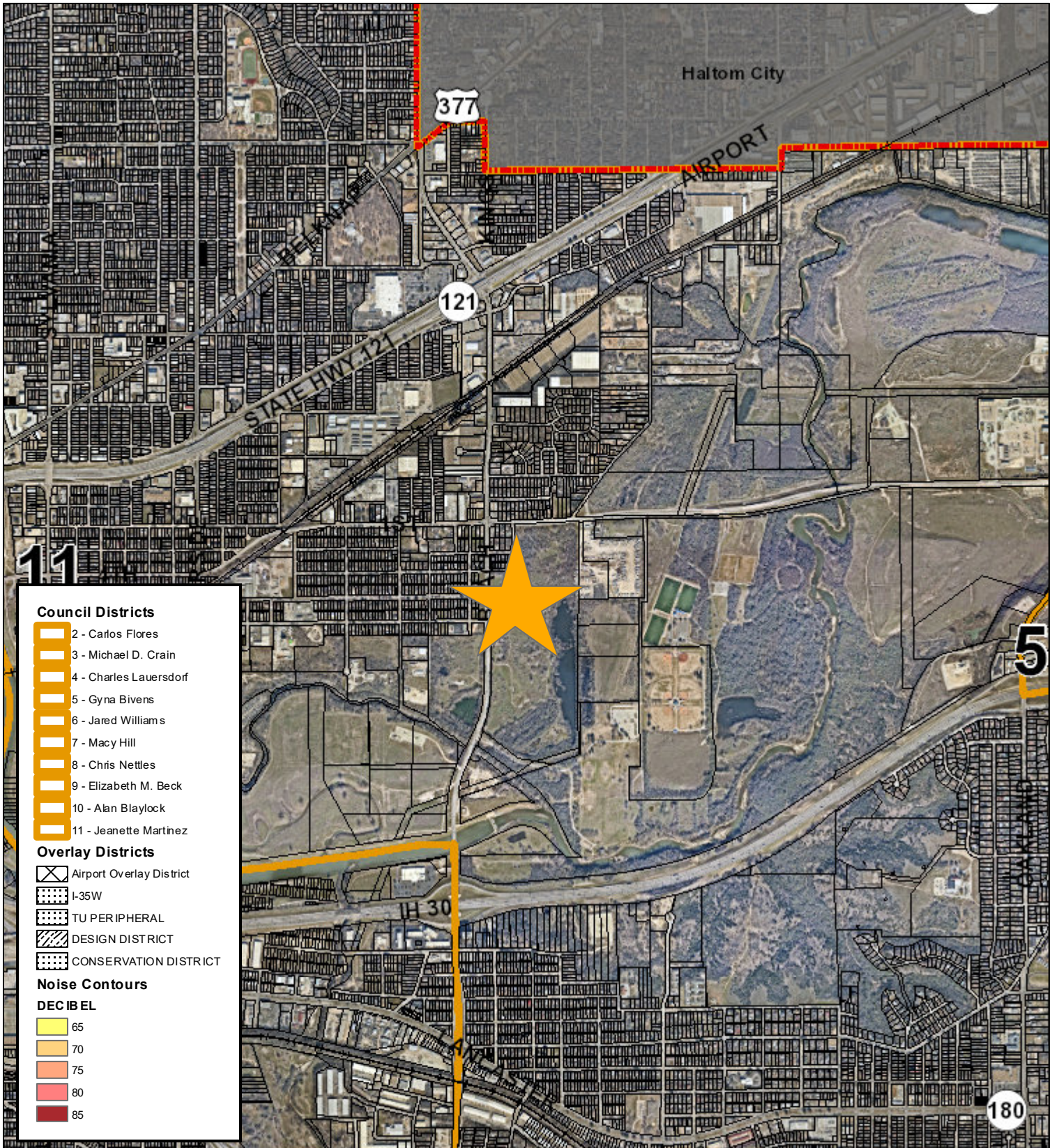
PARKING TYPE	DIMENSIONS	TOTALS
UNCOVERED/OPEN	9' X 18'	524
COVERED CARPORT	9' X 18'	80
PARALLEL	22' X 8'	51
<b>TOTAL</b>		<b>655</b>

\*MULTIFAMILY RESIDENTIAL: 1 SPACE PER BEDROOM; 1 SPACES PER 250 SF OFFICE/AMENITY CENTER AREA.  
\*\*RESIDENTIAL PARKING REQUIRED:  
89 1BR @ 1 SP/BR = 89 SPACES  
132 2BR @ 1 SP/BR = 264 SPACES  
85 3BR @ 1 SP/BR = 255 SPACES  
1091 SF @ 15 SF/250 SF = 5 SPACES  
TOTAL = 613 SPACES

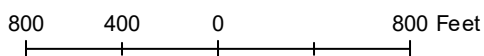
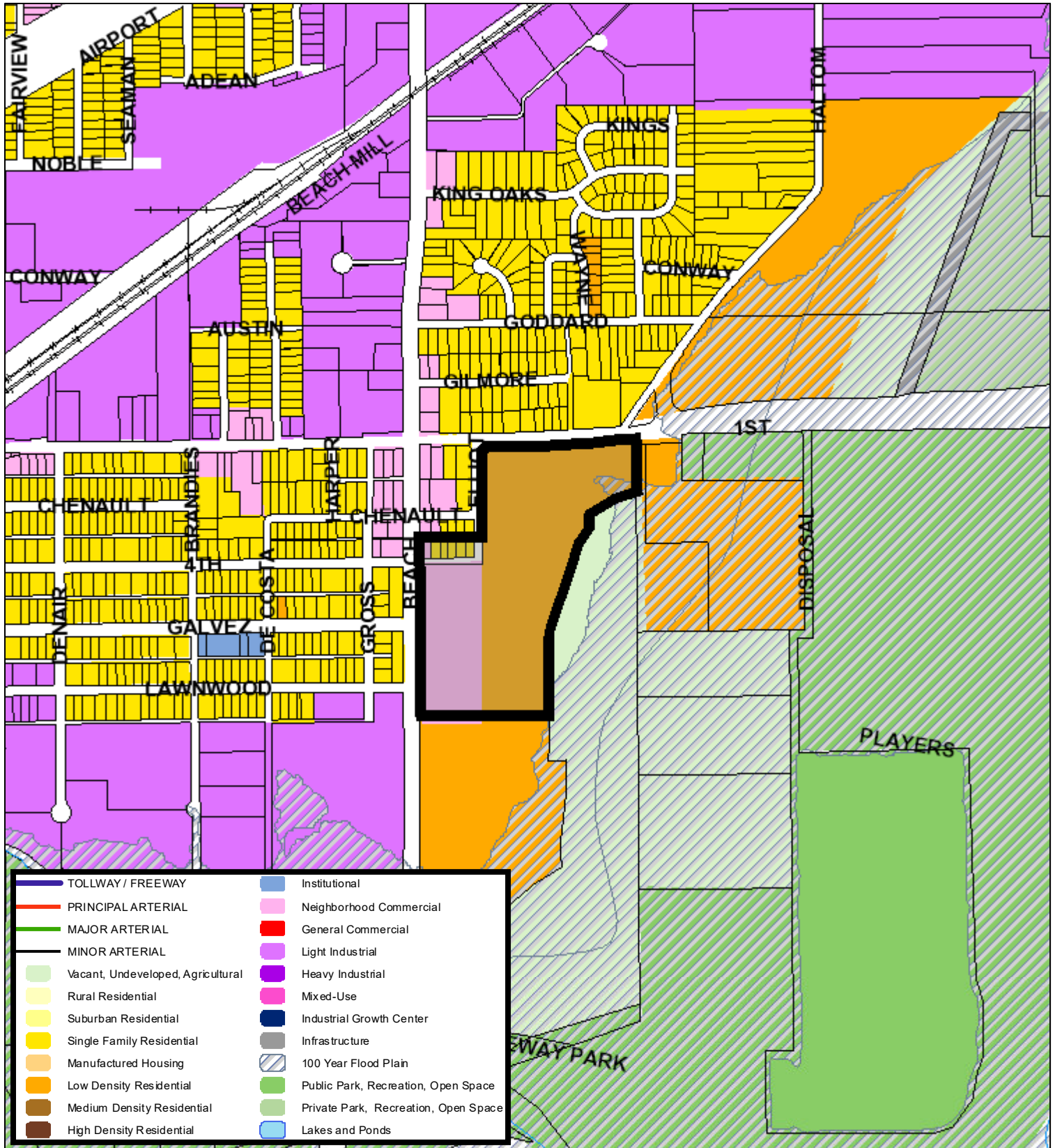
**ENHANCED LANDSCAPE TABLE**

	POINTS
STREET TREES TREES SHALL BE PLANTED WITHIN A PLANTING STRIP OR FLUSH WITH THE SIDEWALK SURFACE; LOCATION AND TYPE AS APPROVED BY THE CITY FORESTER IF WITHIN THE RIGHT-OF-WAY. IF TREES CANNOT BE INSTALLED WITHIN THE RIGHT-OF-WAY, TREES SHALL BE INSTALLED IN A LOCATION WHERE THE TREE CANOPY AFFECTS THE PUBLIC SIDEWALK. REQUIRED SPACING AS SPECIFIED BELOW OR AS APPROVED BY THE CITY FORESTER. SMALL/MEDIUM CANOPY = 25-30 FT ON CENTER WHERE NECESSARY SPACING EXCEPTIONS MAY BE MADE TO ACCOMMODATE MATURE TREES, CURB CUTS, FIRE HYDRANTS AND OTHER INFRASTRUCTURE ELEMENTS. STREET TREES MAY BE COUNTED TOWARD THE PLANTING REQUIREMENTS FOR THE URBAN FORESTRY REQUIRED TREE COVERAGE.	X
PRIVATE POOL XX 50 FT. MINIMUM NOT LESS THAN 1,000 SQ FT.	5
PRIVATE PARK/DOG PARK MUST PROVIDE RECREATIONAL FACILITIES/AMENITIES. MAY INCLUDE OPEN DRAINAGE AREA/EASEMENT/POND AS LONG AS AMENITIES ARE PROVIDED.	5
<b>TOTAL ENHANCED LANDSCAPE POINTS (20 MINIMUM REQUIRED)</b>	<b>X</b>

### Area Map



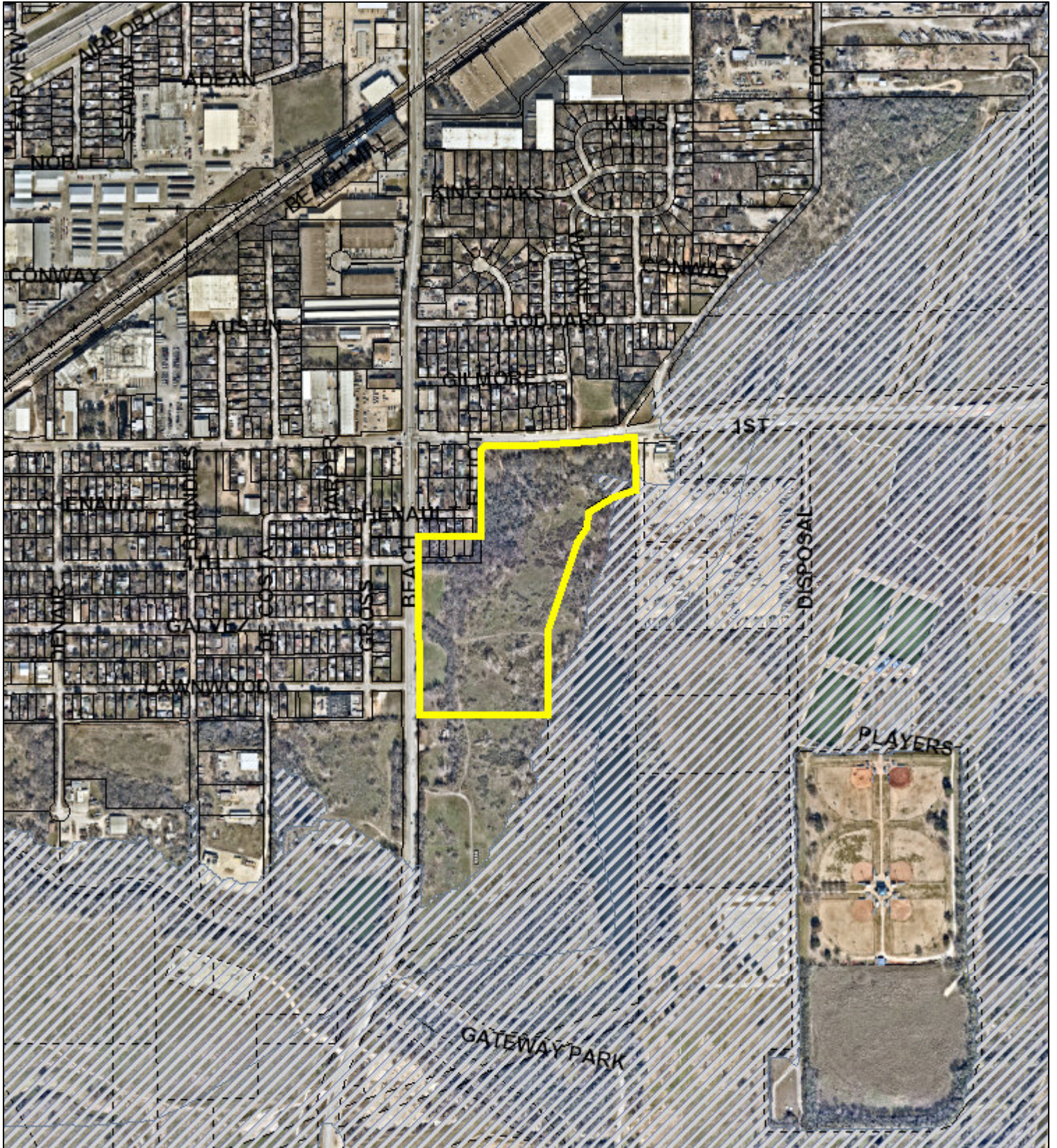
### Future Land Use



A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



## Aerial Photo Map



0 500 1,000 2,000 Feet







# Zoning Staff Report

**Date:** February 12, 2025

**Case Number:** ZC-25-006

**Council District:** 11

## Zoning Map Amendment

**Case Manager:** [Beth Knight](#)

**Owner / Applicant:** Samuel Martinez/ Marcelo Barron

**Site Location:** 5331 Old Handley Road

**Acreage:** 0.49 acres

### Request

**Proposed Use:** Single Family Residential

**Request:** From: "A-7.5" One-Family

To: "A-5" One-Family

### Recommendation

**Land Use Compatibility:** Requested change **is compatible**

**Comprehensive Plan Map Consistency:** Requested change **is consistent**

**Comprehensive Plan Policy Consistency:** Requested change **is consistent**

**Staff Recommendation:** **Approval**

### Table of Contents

1. [Project Description and Background](#)
2. [Surrounding Zoning and Land Uses](#)
3. [Recent Zoning History](#)
4. [Public Notification](#)
5. [Development Impact Analysis](#)
  - a. [Land Use Compatibility](#)
  - b. [Comprehensive Plan Consistency](#)
6. Zoning Map with 300 ft. Notification Area
7. Area Map
8. Future Land Use Map
9. Aerial Photograph

## Project Description and Background

The subject site is located in the northeast quadrant of E. Rosedale Street and Tierney Road. The applicant is proposing to rezone this property from “A-7.5” One-Family to “A-5” One-Family. This rezoning request would allow the one lot to be divided into three lots. The lot is large enough to split into two lots by right, without rezoning. The block was mostly developed with single family residences prior to 1963, according to historical aerials, but now contains interspersed vacant lots. The site is a corner lot in a transitional area with a larger single family lots to the west, and smaller residential lots east of Springfield Street. The lot has already been subdivided from the original approximately 350-foot deep lot facing Old Handly Road into one 180-foot deep lot facing Old Handly Road and two 70-foot wide lots facing Springfield Street in 1958.

The lot was developed with a single-family house prior to 1946, and a large outbuilding was constructed by 1952. However, both buildings were removed by 1981, and the land has remained vacant since that time. The neighborhood was rezoned under the Council-initiated rezoning process from predominately “B” Two-Family zoning to zoning that more closely followed the actual developed land uses. The smallest rezoning area in Council-initiated rezoning is typically a block-face. The residential zoning ranged from “A-10”, “A-7.5”, and “A-5” One-Family. The smaller residential lots east of Springfield Street represent the western-most portion of the “A-5” zoning. Rezoning the subject site to “A-5” would be generally the same depth as the “A-5” zoning on the east side of the street. Due the earlier lot splitting on Springfield Street, the rezoning area is already subject to both front yard setbacks on Old Handly Road and Springfield Street. The applicant’s proposed lot layout shows all three potential lots would meet these setback requirements.



## Surrounding Zoning and Land Uses

North “A-7.5” One-Family / single family and vacant land  
East “A-7.5” One-Family, “A-5” One-Family / single family  
South “A-7.5” One-Family, “E” Neighborhood Commercial, “PD 1262” Planned Development 1262 for “MU-1” uses in the Stop Six Residential Overlay / single family, multifamily, and railroad line  
West “A-7.5” One-Family / single family

## Zoning History

ZC-11-030, Council-initiated rezoning from various districts to be in conformance with the Comprehensive Plan, approved, 4/6/2011.

## Public Notification

### Written Notice

Written notice of the Zoning Commission public hearing was mailed to the owners of real property lying within 300 feet were mailed on January 31, 2025.

### Posted Notice

A sign was erected on the property not less than 10 days before the Zoning Commission public hearing date.

### Published Notice

A notice of the public hearing before the City Council will be published in the Fort Worth Star Telegram at least 15 days before the hearing.

### Courtesy Notice

The following organizations were emailed on January 31, 2025:

Organizations Notified	
Handley NA*	Echo Heights Stop Six Environmental Coalition
Neighborhoods of East Fort Worth Alliance	Historic Rosedale Park NA
Historic Stop Six NA	East Fort Worth Inc.
Historic Handley Development Corporation	East Fort Worth Business Association
Southeast Fort Worth Inc	Streams & Valleys Inc
Trinity Habitat for Humanity	Fort Worth ISD

*\*Located closest to this registered Neighborhood Association*

## Development Impact Analysis

### Land Use Compatibility

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The rezoning site is surrounded by single family uses to the north, east, and west, with Old Handley Road and a railroad lying to the south. The single-family lot sizes vary with larger lots to the northwest and west, but smaller lot sizes to the north and east. The original large platted lot was subdivided almost 70 years ago and created lots that would be comparable to the requested “A-5” rezoning. Additional “A-5” One-Family zoning is noted directly to the east. The proposed rezoning **is compatible** with surrounding land uses.

## Comprehensive Plan Consistency – Eastside

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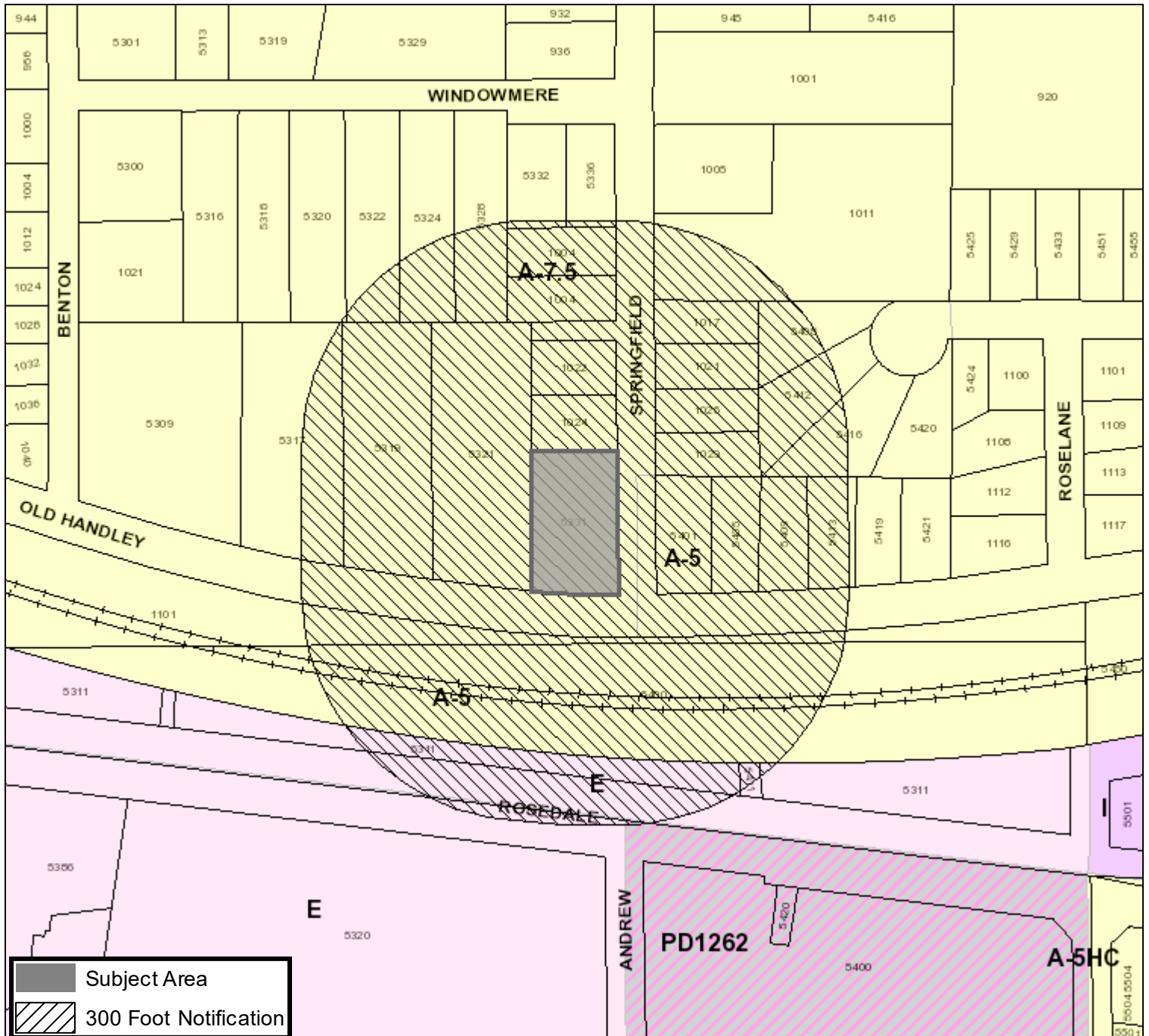
The 2023 Comprehensive Plan currently designates the subject property as *single family*. The zoning types that would be in alignment with this future land use designation are One-Family Residential “A-10”, “A-7.5”, “A-5”, and “AR”. The proposed zoning **is consistent** with the map designation portion of the Comprehensive Plan.



The proposed zoning **is consistent** with the following policies of the Comprehensive Plan:

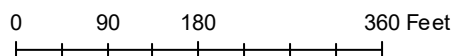
- Promote appropriate infill development of vacant lots, old commercial centers (greyfields), and contaminated sites (brownfields) within developed areas, particularly in the central city.
- Promote appropriate infill development of vacant lots within developed areas, which will efficiently utilize existing infrastructure, particularly in the central city.
- Encourage new development adjacent and connected to previously developed or platted areas in order to utilize existing utility and road infrastructure and services, thereby optimizing public and private investments and discouraging sprawl development.
- Promote measures to ensure that all types of residential developments are compatible in scale to abutting residential developments. A dramatic difference in lot size and units per acre should be discouraged for new development immediately adjacent to existing development or platted and zoned property, unless mitigation is provided to minimize the effects of the new use.
- Encourage infill development of compatible, single-family homes in existing neighborhoods to preserve and protect residential neighborhoods.

### Area Zoning Map

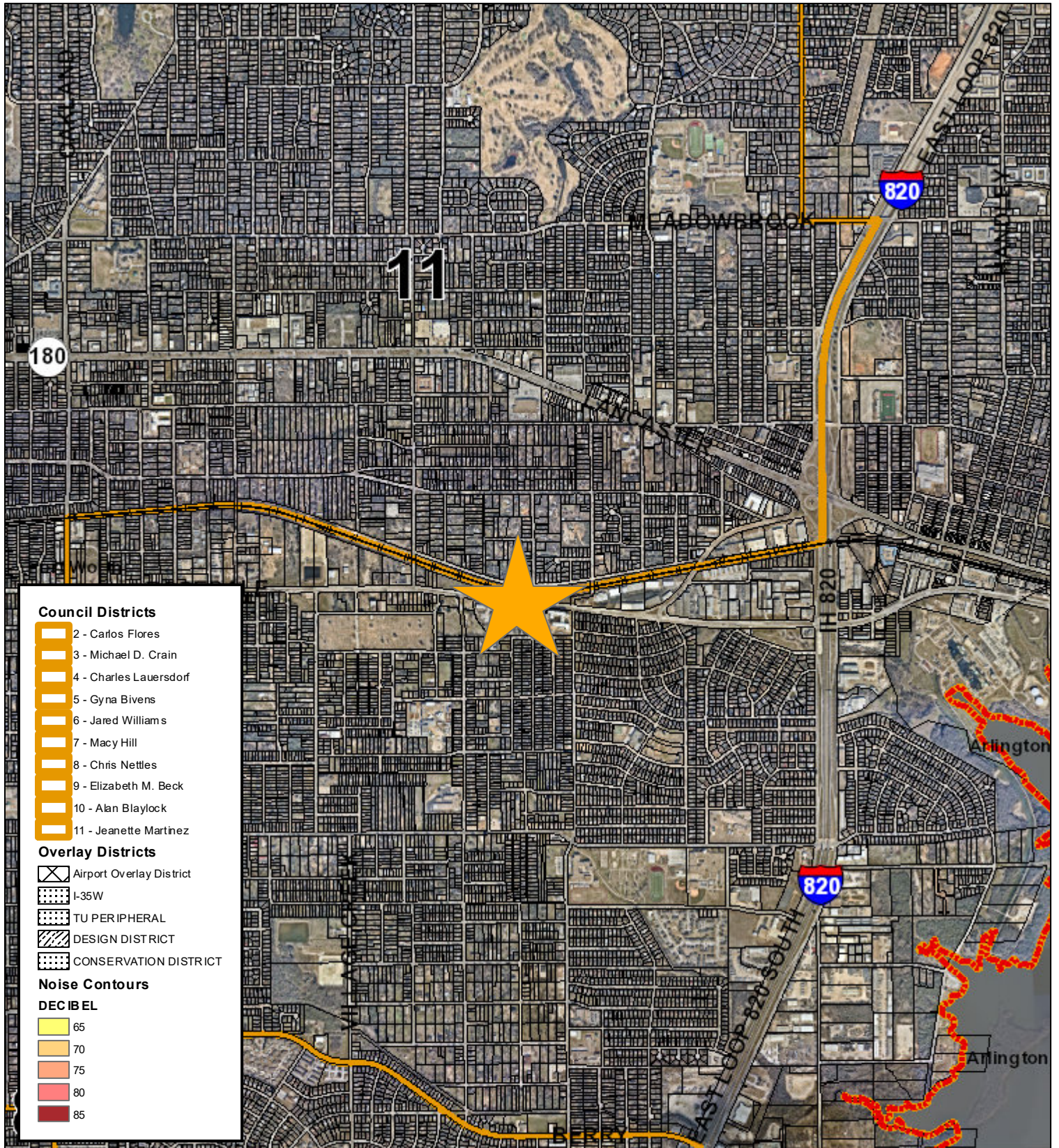
Applicant: Samuel Martinez/ Marcel Barron  
 Address: 5331 Old Handley Road  
 Zoning From: A-7.5  
 Zoning To: A-5  
 Acres: 0.48190129  
 Mapsco: Text  
 Sector/District: Eastside  
 Commission Date: 2/12/2025  
 Contact: 817-392-8190



	Subject Area
	300 Foot Notification



### Area Map



#### Council Districts

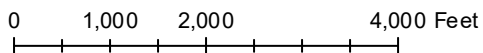
- 2 - Carlos Flores
- 3 - Michael D. Crain
- 4 - Charles Lauerdorf
- 5 - Gyna Bivens
- 6 - Jared Williams
- 7 - Macy Hill
- 8 - Chris Nettles
- 9 - Elizabeth M. Beck
- 10 - Alan Blaylock
- 11 - Jeanette Martinez

#### Overlay Districts

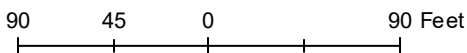
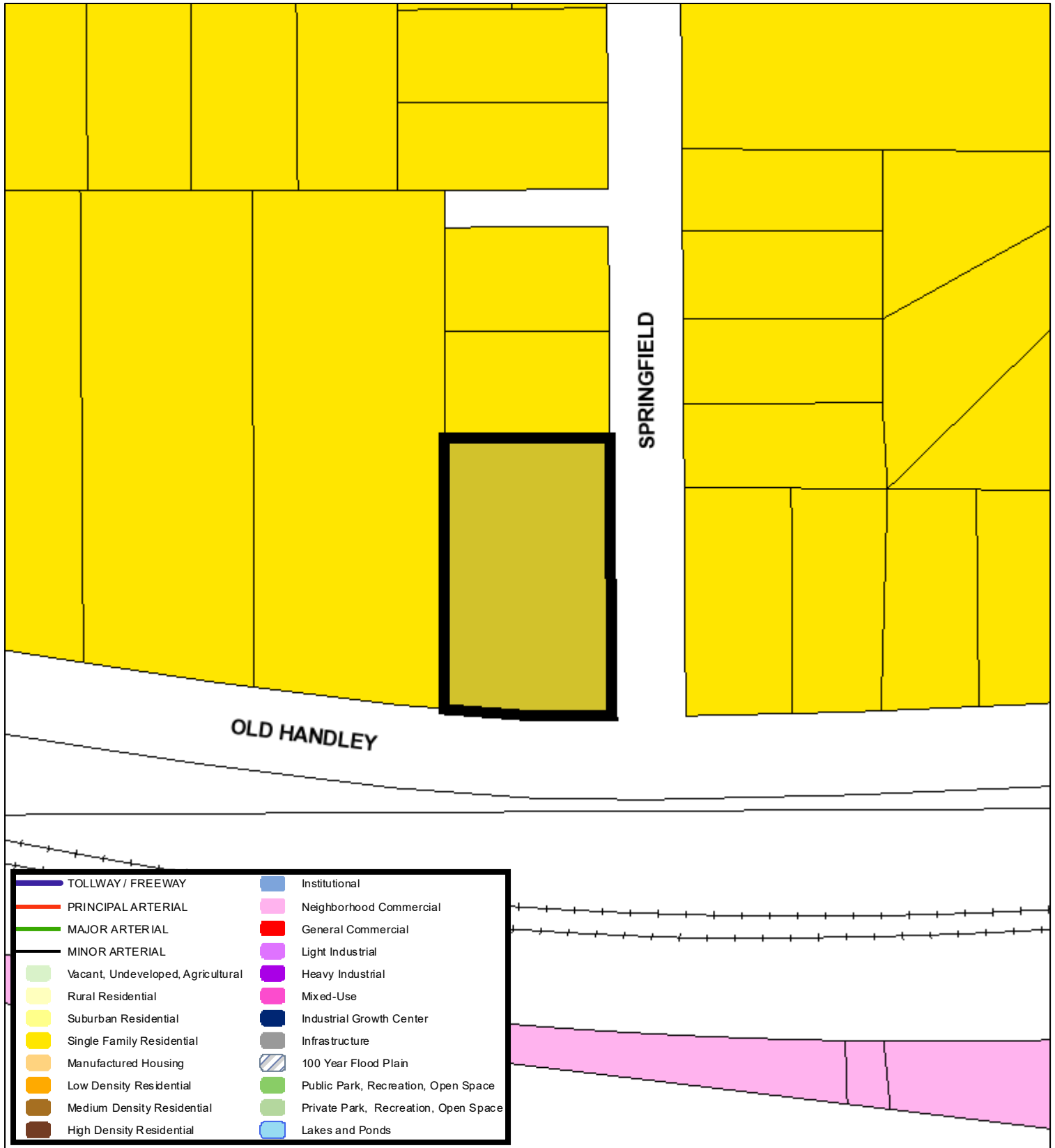
- Airport Overlay District
- I-35W
- TU PERIPHERAL
- DESIGN DISTRICT
- CONSERVATION DISTRICT

#### Noise Contours

- DECIBEL**
- 65
  - 70
  - 75
  - 80
  - 85



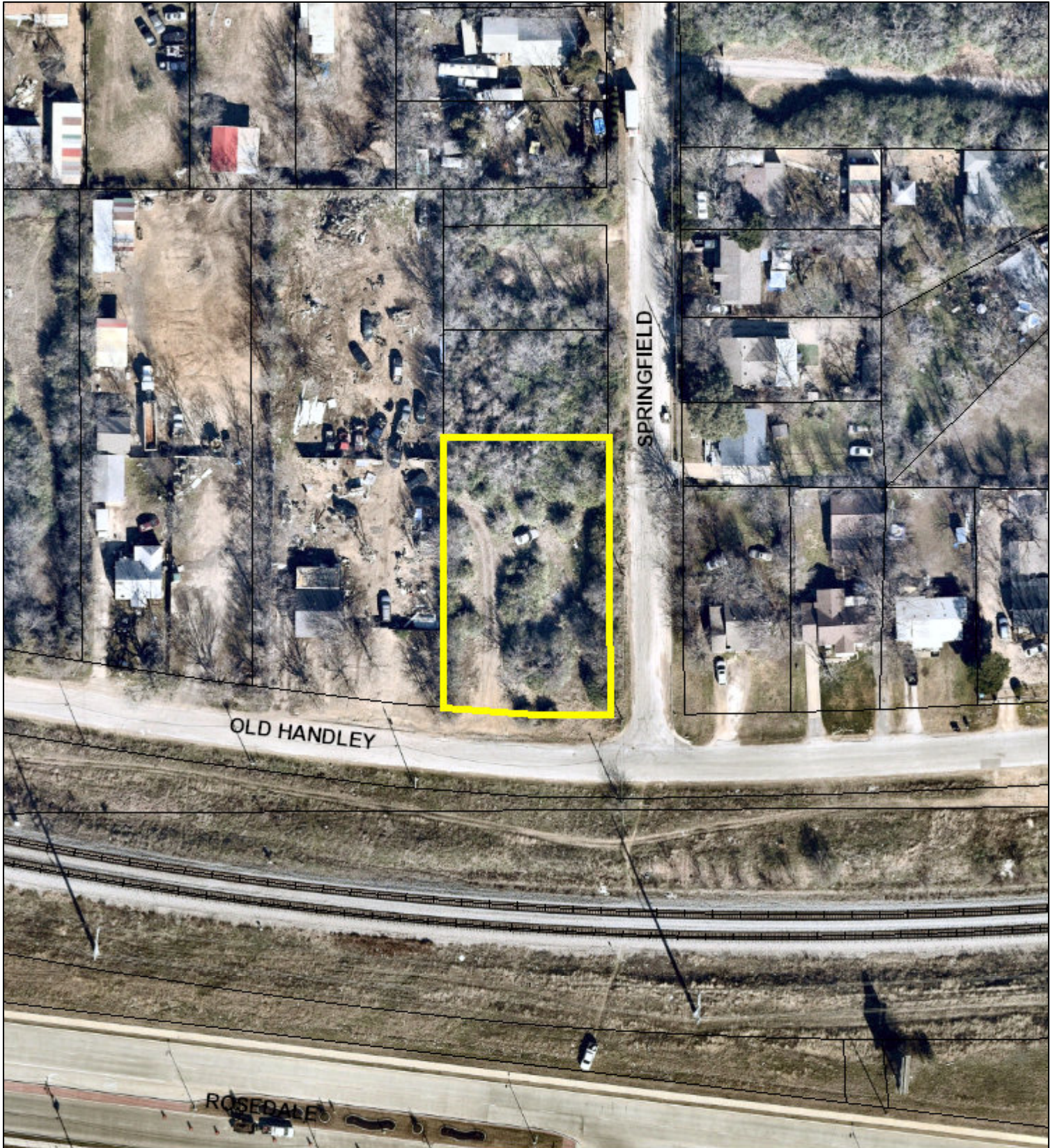
### Future Land Use



A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



**Aerial Photo Map**



0 55 110 220 Feet







# Zoning Staff Report

**Date:** February 12, 2025

**Case Number:** ZC-25-007

**Council District:** 6

## Zoning Map Amendment

**Case Manager:** [Christine Ross](#)

**Owner / Applicant:** HMH VSC Land LLC / Preston Pittman, ONM Living / Lori Lusk, Kimley-Horn Associates

**Site Location:** 9705 Old Granbury Road (East of Chisolm Trl Pkwy & south of W. Risinger Rd & west of Summer Creek Dr) **Acreage:** 38.77 acres

### Request

**Proposed Use:** Multifamily

**Request:** From: “R-2” Townhouse/Cluster  
To: “C” Medium Density

### Recommendation

**Land Use Compatibility:** Requested change **is compatible**  
**Comprehensive Plan Map Consistency:** Requested change **is not consistent**  
**Comprehensive Plan Policy Consistency:** Requested change **is consistent**  
**Staff Recommendation:** **Approval**

### Table of Contents

1. [Project Description and Background](#)
2. [Surrounding Zoning and Land Uses](#)
  - a. Area Map
  - b. Aerial Photograph
3. [Recent Zoning History](#)
4. [Public Notification](#)
5. [Development Impact Analysis](#)
  - a. [Land Use Compatibility](#)
  - b. [Comprehensive Plan Consistency](#)
6. Zoning Map with 300 ft. Notification Area
7. Future Land Use Map

## Project Description and Background

The subject site is a 38.77-acre tract within Council District 6. The site is currently undeveloped and is proposed to be rezoned from the existing “R-2” Townhouse/Cluster District to the “C” Medium Density District to accommodate the construction of a multiple-family residential community.

There are numerous multiple-family and single-family housing developments in the surrounding area as well as commercial uses and a religious institution. Rezoning the property would allow for the construction of a multiple-family community in alignment with the surrounding neighborhood character. ZC-20-174 and ZC-21-206 were two cases

Aerial images obtained from Google Earth show several multiple-family housing and single-family housing developments being constructed since 2001.



Summit Ridge Road view of subject site



Aerial view (subject site in red)



## Surrounding Zoning and Land Uses

- North “C” Medium Density Residential – Senior Multiple-Family Residential Community and “PD 1152” – A religious institution
- South “PD 971” – Multiple-Family Residential and “PD 1293” – Multiple-Family Residential
- East “R-1” Zero Lot Line/Cluster – A Single-Family Residential Subdivision
- West “PD 1236” – A Self Storage facility, “G” Intensive Commercial – Vacant Land with gas wells, and “PD 1298” – A Multiple-Family Community

## Recent Zoning History

- ZC-21-206 - Zoning change from “A-5” One-Family Residential to “R2” Townhouse/Cluster to accommodate the construction of a townhouse development at the subject property.
- ZC-20-179 - Zoning change from “E” Neighborhood Commercial / ”FR” General Commercial Restricted / “A-5” One Family Residential to “C” Medium Density Residential to accommodate the construction of a senior multiple-family development north of the subject property.
- ZC-20-174 – Zoning change from “A-5” One Family Residential to “PD” with “R-1” Zero Lot Line / Cluster to accommodate the construction of a single-family cluster development at the subject property.
- ZC-20-110 – Zoning change from “R-1” Zero Lot Line / Cluster to “PD” with “R-1” Zero Lot Line / Cluster to accommodate the construction of a multiple-family development south of the subject property.

## Public Notification

### Written Notice

Written notice of the Zoning Commission public hearing was mailed to the owners of real property lying within 300 feet were mailed on January 31, 2025.

### Posted Notice

A sign was erected on the property not less than 10 days before the Zoning Commission public hearing date.

### Published Notice

A notice of the public hearing before the City Council will be published in the Fort Worth Star Telegram at least 15 days before the hearing.

### Courtesy Notice

The following organizations were emailed on January 31, 2025:

Organizations Notified	
Chisholm Trail Ranch Residential Community HOA	Streams and Valleys Inc
Llano Springs HOA	Trinity Habitat for Humanity
Summer Creek Ranch	District 6 Alliance
Villages of Sunset Pointe HA	Summer Creek HA



## Development Impact Analysis

### Land Use Compatibility

The surrounding neighborhood is developed as single-family subdivisions, multifamily subdivisions, vacant lots, and commercial businesses. Constructing a multiple-family subdivision in the neighborhood would be an appropriate and compatible use of the land due to the presence of numerous existing multifamily developments in the vicinity.

As such, the proposed zoning is **compatible** with surrounding land uses.

### Comprehensive Plan Consistency

The 2023 Comprehensive Plan designates the subject property as Low-Density Residential and Agricultural.

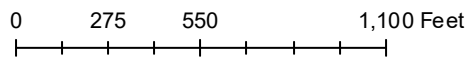
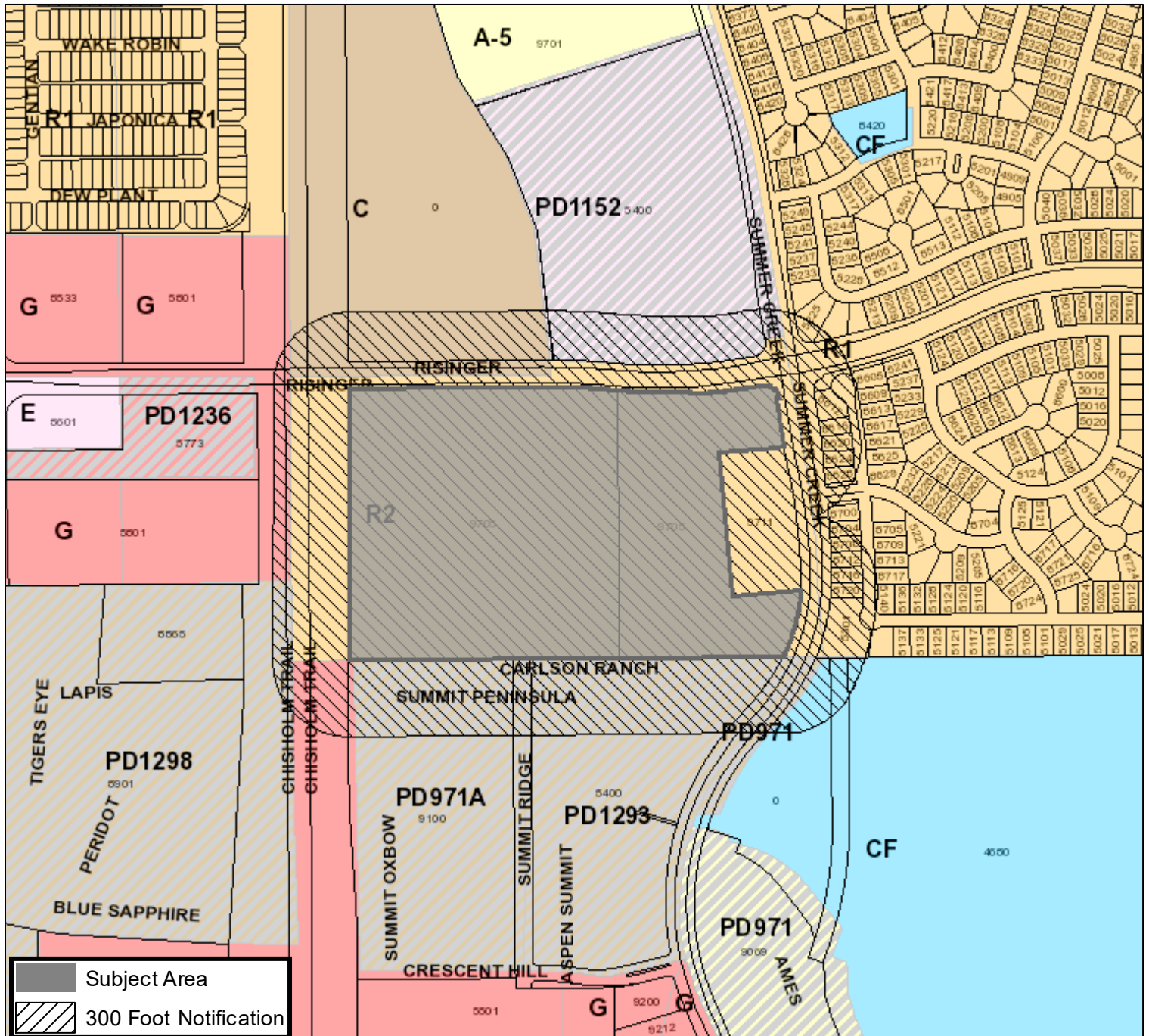
RESIDENTIAL		
Rural Residential	1+ acre single-family	A-2.5, A-43
Suburban Residential	1/2+ acre single-family	A-21
Single-Family Residential	3,500+ sq. ft. lot single-family	A-10, A-7.5, A-5, AR
Manufactured Housing	Manufactured home parks and subdivisions	MH
Low Density Residential	2,500+ sq. ft. lot single-family, two-family, patio homes, townhouses, cluster housing	B, R1, R2
Medium Density Residential	Up to 36 units/acre multifamily	CR, C, D
Urban Residential	Medium to high density, residential only, pedestrian-oriented development for use between higher and lower intensity uses	UR
High Density Residential	>36 units/acre multifamily, mixed-use multifamily and pedestrian-oriented development in growth centers	UR, MU-1, MU-2, Form-Based Codes

The proposed zoning is **not consistent** with the Future Land Use Designation and it **is consistent** with the following policies of the Comprehensive Plan:

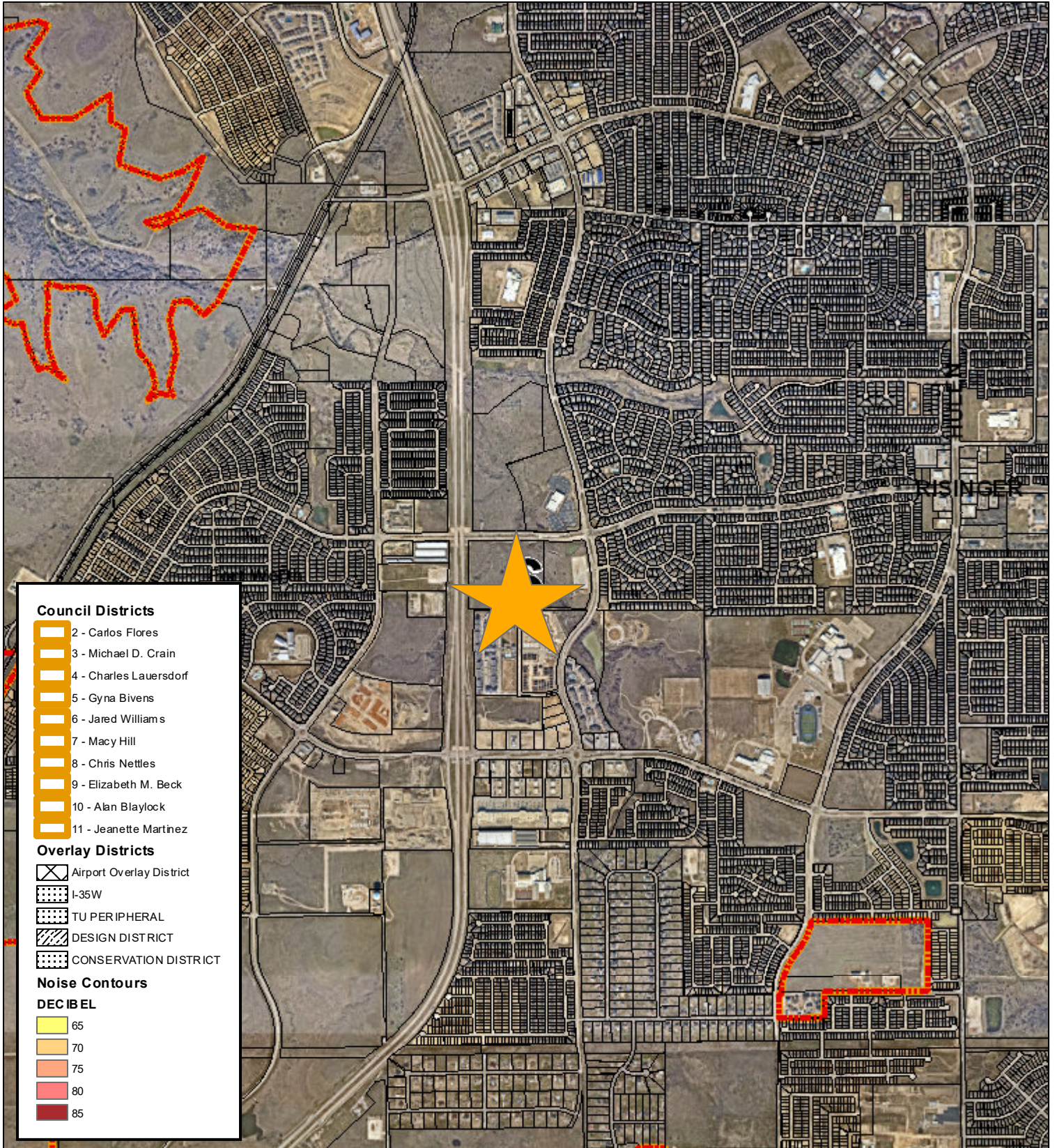
- Promote fiscally sustainable growth on the periphery of the city by encouraging development adjacent to existing adequate infrastructure and discouraging leapfrog development.
- Promote commercial, mixed-use, and urban residential development within the Summer Creek Future TOD and SH 121/FM 1187 Mixed-Use Growth Centers, including the new Tarleton State University campus area.
- Encourage major employers, retail, and urban residential to locate at or near proposed transit stops and entryways to the Chisholm Trail Parkway toll road., and the Walsh Ranch and Veale Ranch Growth Centers.
- Encourage urban residential development in appropriate locations to create more walkable, pedestrian-oriented neighborhoods.

## Area Zoning Map

Applicant: HMH VCS Land LLC/ONM Living/Kimley-Horn Associates  
 Address: Generally Bounded by Chisholm Trail to the west, Risinger to the North, Old Granbury Road to the East, and Chisholm Trail to the South  
 Zoning From: R2  
 Zoning To: C  
 Acres: 38.85272533  
 Mapsco: Text  
 Sector/District: Far\_Southwest  
 Commission Date: 2/12/2025  
 Contact: 817-392-2495



### Area Map



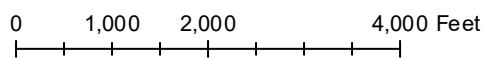
Council Districts	
	2 - Carlos Flores
	3 - Michael D. Crain
	4 - Charles Lauerstorf
	5 - Gyna Bivens
	6 - Jared Williams
	7 - Macy Hill
	8 - Chris Nettles
	9 - Elizabeth M. Beck
	10 - Alan Blaylock
	11 - Jeanette Martinez

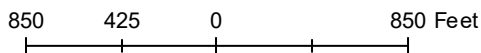
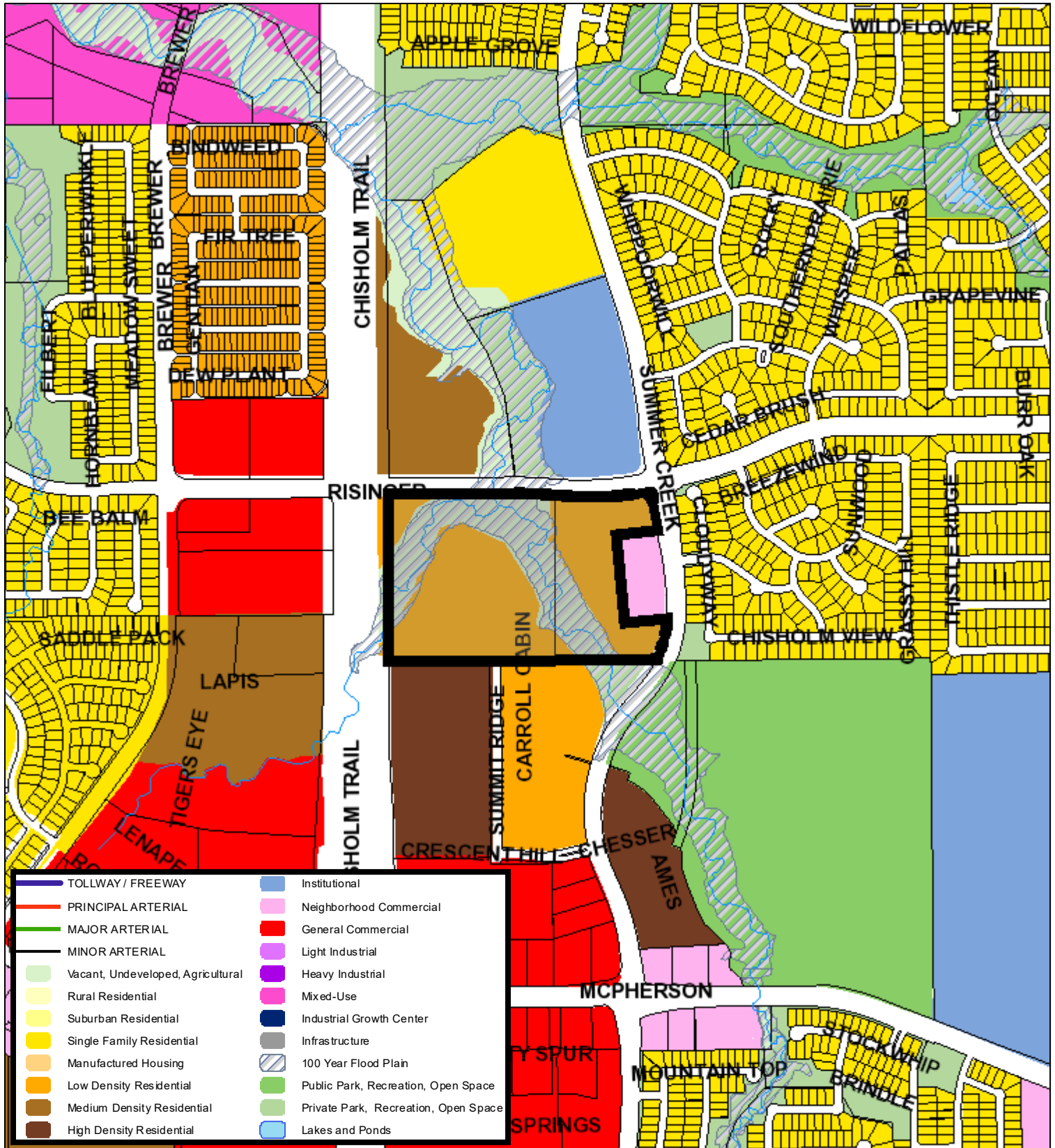
Overlay Districts	
	Airport Overlay District
	I-35W
	TU PERIPHERAL
	DESIGN DISTRICT
	CONSERVATION DISTRICT

Noise Contours	
DECIBEL	
	65
	70
	75
	80
	85



### Future Land Use



A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



## Aerial Photo Map



0 500 1,000 2,000 Feet







# Zoning Staff Report

**Date:** February 12, 2025

**Case Number:** ZC-25-009

**District:** 7

## Zoning Map Amendment

**Case Manager:** Lynn Jordan

**Owner / Applicant:** Montgomery Corner, LLC / Mack Pogue, PPC Land Adventures Inc. / Landon King, LJA Engineering

**Site Location:** 2501 and 2601 Montgomery Street

**Acreage:** 7.404 acres

### Request

**Proposed Use:** Commercial/Multifamily/Distillery/Brewery and Hotel uses

**Request:** From: "J" Medium Industrial

To: "PD/G" Planned Development for all uses in "G" Intensive Commercial plus hotel, multifamily, brewery, distillery and winery excluding automotive uses and industrial uses with development guidelines attached as (exhibit A), Site plan waiver requested

### Recommendation

**Land Use Compatibility:** Requested change is **compatible**

**Comprehensive Plan Map Consistency:** Requested change is **not consistent**

**Comprehensive Plan Consistency:** Requested change is **consistent**

**Staff Recommendation:** **Approval**

### Table of Contents

- |   |  |
|---|--|
| 1. <a href="#">Project Description and Background</a> | c. <a href="#">Economic Development Plan</a> |
| 2. <a href="#">Surrounding Zoning and Land Uses</a>   |  |
| 3. <a href="#">Recent Zoning History</a>              | 6. Zoning Map with 300 ft. Notification Area |
| 4. <a href="#">Public Notification</a>                | 7. Area Map                                  |
| 5. <a href="#">Development Impact Analysis</a>        | 8. Future Land Use Map                       |
| a. <a href="#">Land Use Compatibility</a>             | 9. Aerial Photograph                         |
| b. <a href="#">Comprehensive Plan Consistency</a>     |  |

## Project Description and Background

The subject property consists of approximately 7.40- acres with one existing building. The applicant is requesting to rezone the property from “J” Medium Industrial to “PD/G” Planned Development for all uses in “G” Intensive Commercial plus certain uses and excluding automotive and industrial uses with development guidelines (see Exhibit A), site plan waiver request. There will be a Council-imitated rezoning request for the adjoining area to be considered by the Zoning Commission in March as well.

The site is located at the intersection of Montgomery Street and the frontage road for I-30 (West Freeway), just south of Dickies Arena. The existing building at this location is a retail/antique store and has been there for many years.

The applicant is seeking a zoning change for a planned development based on “G” to provide a functional and attractive mixed-use development. With the PD/G request uses are being added that are not permitted within the “G” zoning district.

The “Exhibit A” included as part of the staff report lists out development guidelines related to the commercial and or industrial type uses added to the “G” zoning district. It also lists out for a multifamily stand-alone development that it would be developed to the “D” High Density Multifamily zoning district and provide the required (MFD) Multifamily site plan.

2601 Montgomery picture



2501 Montgomery picture



Montgomery Street facing west





# Zoning Staff Report

## Surrounding Zoning and Land Uses

West “J” Medium Industrial, “PD96” Planned Development, PD485” Planned Development, “PD449” / Restaurant / Based on “E” Neighborhood Commercial for Church, parking lots with accessory buildings  
North “PD896” “PD/I” including certain uses as it relates to Dickies Arena / industrial uses  
East “J” Medium Industrial / Botanic Gardens and parking lot  
South I-30 West Freeway

## Recent Zoning History

- ZC-16-159; from “E”, “J” and “K” to “PD/I” including certain uses relate to Dickies Arena and excluding certain uses; site plan waived; approved by Council December 2016.
- ZC-02-0094 from “B” to “PD/B” to expand church, parking and add accessory buildings; site plan approved; approved by Council May 2002

## Public Notification

### Written Notice

Written notice of the Zoning Commission public hearing was mailed to the owners of real property lying within 300 feet on January 31, 2025.

### Posted Notice

A sign was erected on the property not less than 10 days before the Zoning Commission public hearing date.

### Published Notice

A notice of the public hearing before the City Council will be published in the Fort Worth Star Telegram at least 15 days before the hearing.

### Courtesy Notice

The following organizations were notified: (emailed January 31, 2025)

Organizations Notified	
Arlington Heights NA*	Westside Alliance
Alamo Heights	Cultural District Alliance
Tarrant Regional Water District	Streams and Valleys Inc.
Fort Worth ISD	Trinity Habitat for Humanity

*\*Adjacent to this registered Neighborhood Association*

## Development Impact Analysis

### Land Use Compatibility

The area along the east side of Montgomery will be transitioning towards “PD/G” Planned Development for “G” Intensive Commercial zoning. The property fronts Montgomery Street and the frontage road for I-30, which is directly to the south. The property to the north consists of commercial uses including Dickies Arena, west is a church with parking garage and surface parking and east are the Botanic Gardens and operations facility area.

Mixed-use, multifamily, and commercial zoning classifications are most desirable for mixed-use areas because they provide the density of jobs and residential units needed to create a vibrant urban sense of place

MIXED-USE		FORM-BASED CODES
Mixed-Use	Retail, services, offices, entertainment, mixed uses, and multifamily residential (>36 units/acre multifamily, mixed-use multifamily and pedestrian-oriented development)	UR, MU-1, MU-2, Form-Based Codes, All Commercial
Mixed-Use Growth Center	Retail, services, offices, entertainment, mixed uses, and multifamily residential; Community Growth Centers are less intensive, and Regional Growth Centers are more intensive	UR, MU-1, MU-2, Form-Based Codes, All Commercial

The surrounding land uses, although currently zoned “J” Medium Industrial are being utilized for commercial uses along with Botanic Gardens and a church within close proximity to the freeway (I-30), the proposed zoning would not have a disruptive impact at this location.

The proposed zoning is **compatible** with surrounding land uses.

### Comprehensive Plan Consistency – Arlington Heights

The adopted Comprehensive Plan currently designates the subject property as Cultural District Mixed Use Growth Center. The proposed zoning intends to keep the “G” base zoning and to remove auto-related and industrial type uses add certain uses to provide more walkable, mixed-use environment that provides a connection for all visitors and residents. Allowing for some flexibility during the transitional stage towards the “G” Intensive Commercial zoning. The proposal is consistent with the land use designations for this area, and aligns with the following policies and strategies of the Comprehensive Plan:

- Accommodate higher density residential and mixed uses in transit-oriented developments, urban villages, and designated mixed-use growth centers.
- Promote appropriate infill development of vacant lots within developed areas, which will efficiently utilize existing infrastructure, particularly in the central city.
- Encourage attractive freeway and mixed commercial uses along Montgomery and I-30

Based on conformance with the policies stated above, the proposed zoning is **consistent** with the Comprehensive Plan

## Exhibit A ZC-25-009

### \_\_\_ Montgomery Corner District

(a) *Purpose and intent.* It is the purpose of the Montgomery Corner District to provide a functional and attractive mixed-use planned development through the use of recognized principles of urban design and allow property flexibility in land use within an integrated, walkable, and connected mixed-use environment that fosters a sense of place and connection among all visitors and residents of the district.

(b) *Uses.* In the Montgomery Corner (“MC”) district, no building or land shall be used and no building shall be hereafter erected, reconstructed, altered or enlarged, nor shall a certificate of occupancy be issued except in accordance with the regulations of this district and applicable portions of the City of Fort Worth Zoning Ordinance contained in Appendix A of the Fort Worth City Code. However, nothing herein shall prevent the existing use and operation of any business or building existing on the property from continuing to operate and to be reconstructed if required.

(c) *General Property development standards.*

(1) The development standards may only be applied to that area known as the Montgomery Corner (“MC”) District of Fort Worth, boundary as described in Exhibit “A” attached here to and incorporated by reference.

(2) No area within the MC district shall trigger additional development restrictions related to proximity to residential uses for any area located within or surrounding the MC district.

(3) Internal roadways within the MC district may be privately owned and maintained if encumbered with public access easements.

(4) The PD site plan and multifamily development plan requirements are waived for the MC district, unless stated otherwise. The developer shall prepare and submit a summary to accompany any application for a final plat and/or building permit which includes a listing of those basic requirements found, as applicable, in this Montgomery Corner District Planned Development, the zoning ordinance, the subdivision ordinance and the plan commission rules and regulations.

(5) Development and use regulations within the MC district are as provided for below.

If an application for a final plat and/or building permit is submitted in the MC District that is (a) not part of a larger mixed-use development and (b) only includes residential dwelling units with construction of no more than 4 stories, then this is defined as a Residential Development Submittal (“RDS”). If an RDS is submitted for final plat and/or building permit, and a development or use regulation is not expressly addressed in this MC District document, then the property development standards of Section 4.712 “D” multifamily district shall apply. If an RDS is submitted, the multifamily development plan requirements are not waived for the RDS application and the front yard setback as stated in Section 4.712 “D” multifamily applies.

Except for a “Residential Development Submittal” (“RDS”), as defined above, if a development or use regulation is not expressly addressed in this MC District then the property development standards of Section 4.904 “G” commercial district shall apply in all instances. Specifically

the standards of “G” commercial apply to all other instances, including any commercial or residential development that does not meet the definition of an “RDS” (i.e. a residential tower greater than 4 stories or residential dwelling units part of a mixed use development) as defined above.

(d) Development Standards

(1) Uses: Those uses allowed in the G intensive commercial district, hotel uses, multifamily uses, and a maximum of two brewery, distillery, or winery uses. The requirements in Section 5.116 for hotel uses are waived for the MC district.

(2) Density:

(i) Nonresidential uses: Same as allowed by the G intensive commercial district.

(ii) Multifamily dwellings (including for sale residential units): 475 units maximum. In the MC District, up to 275 residential / multifamily dwellings may be constructed prior to a hotel use or commercial use in excess of 75,000 square feet being included in the MC District development. Notwithstanding, the maximum residential / multifamily dwellings may be constructed if being constructed concurrently with or subsequently to the other uses as outlined above.

(3) Height:

(i) 12 stories, excluding any subterranean parking structure that is constructed below grade. There is no limitation on height outside of the number of stories constructed.

(4) Setbacks:

(i) Front yard: None required

(ii) Rear yard: 10 feet minimum

(iii) Side yard: None required

(5) Minimum required parking (subject to joint use parking facilities and spaces):

(i) Commercial buildings, office buildings, professional buildings, and restaurants require one space per 400 square feet.

(ii) Multifamily requires 1 space per dwelling unit

(iii) Hotel requires 0.5 space per bedroom unit

(iv) On future internal streets that may be located within the MC District only (specifically excluding Montgomery Street), on-street parallel or head-in

parking spaces may be counted toward minimum required parking. Tandem parking spaces are permitted.

If the development being submitted for permitting has more than a single use and is a mixed use development, then joint use parking facilities and parking spaces may be used to meet minimum parking requirements in accordance with, at the developers election, either the Urban Land Institute's ULI Shared Parking Model or in accordance with the following;

- (i) There must be two or more uses on the same site, or on separate sites which are able to share the same parking spaces because their parking demands occur at different times
- (ii) The following documentation must be submitted in writing as part of the building permit application:
  - a. The names and addresses of the uses and of the owners or tenants that are sharing the parking;
  - b. The location and number of parking spaces that are being shared;
  - c. An analysis showing that the peak parking demands for the different uses occur at different times, and that the parking area will supply at least the minimum number of required spaces for each use during its respective peak parking times; and,
  - d. Only if applicable, a legal instrument such as an easement or deed restriction that guarantees access to the joint parking for all uses

This submission is strictly for notification purposes only and there is no approval required so long as the analysis submitted shows the parking area adheres to the ULI Shared Parking Model or supplies the minimum number of required spaces for each use during its respective peak parking times. If the ULI Shared Parking Model is elected, the minimum required parking detailed in the MC District are not applicable and the standards in the ULI Shared Parking Model shall apply.



**Exhibit A**

**Tract 1**

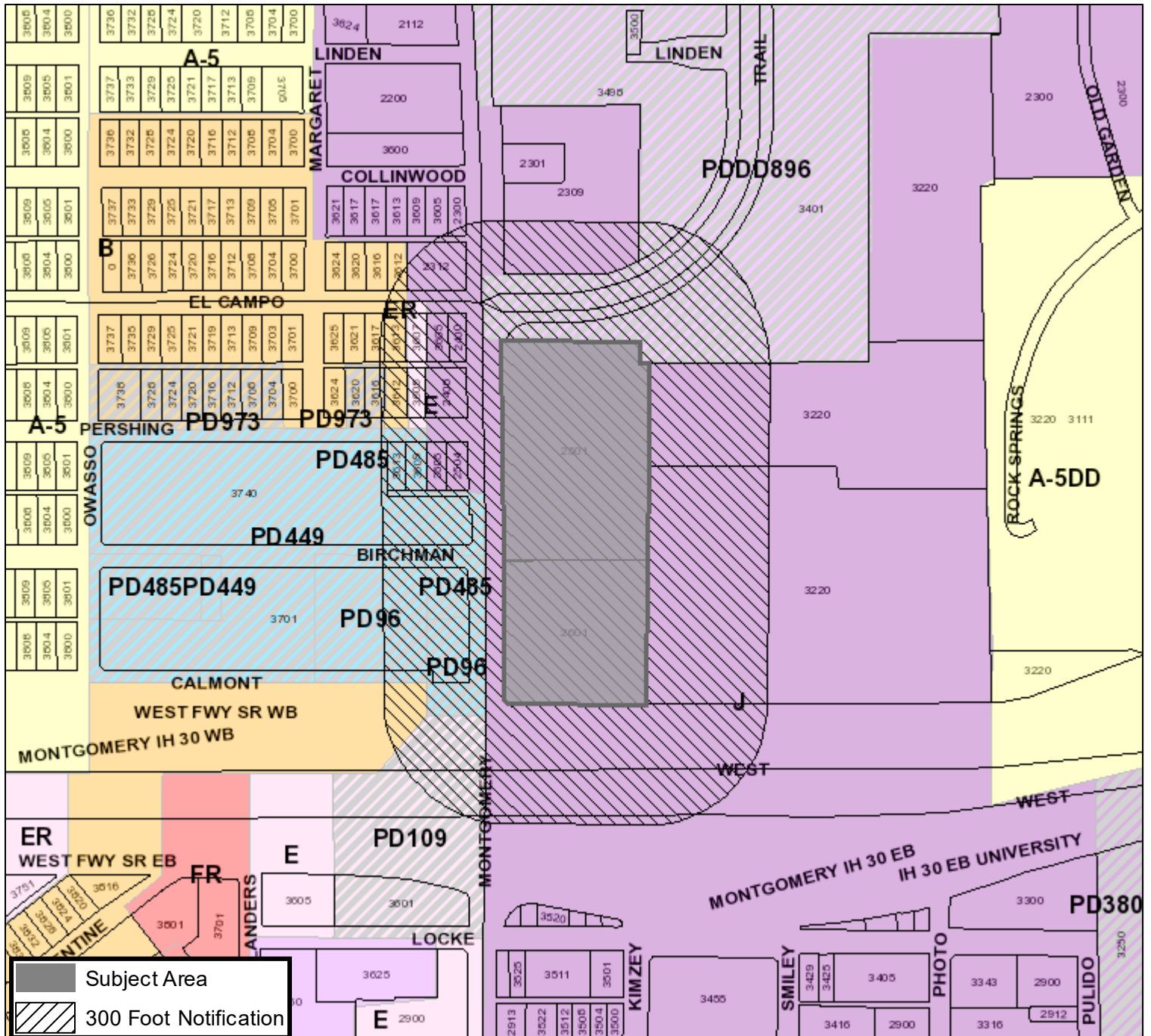
Lot 1, Block 1, Mid-Western Development Addition, an addition to the City of Fort Worth, Texas, according to the plat thereof filed in Cabinet A, Slide No. 7582 in the Plat Records of Tarrant County, Texas.



**Tract 2**

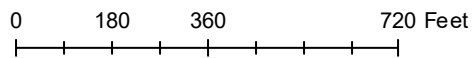
Lot 1, Block 1, Montgomery Corner Addition, an addition to the City of Fort Worth, Texas, according to the plat thereof filed as Document No. D211214000 in the Plat Records of Tarrant County, Texas.

### Area Zoning Map

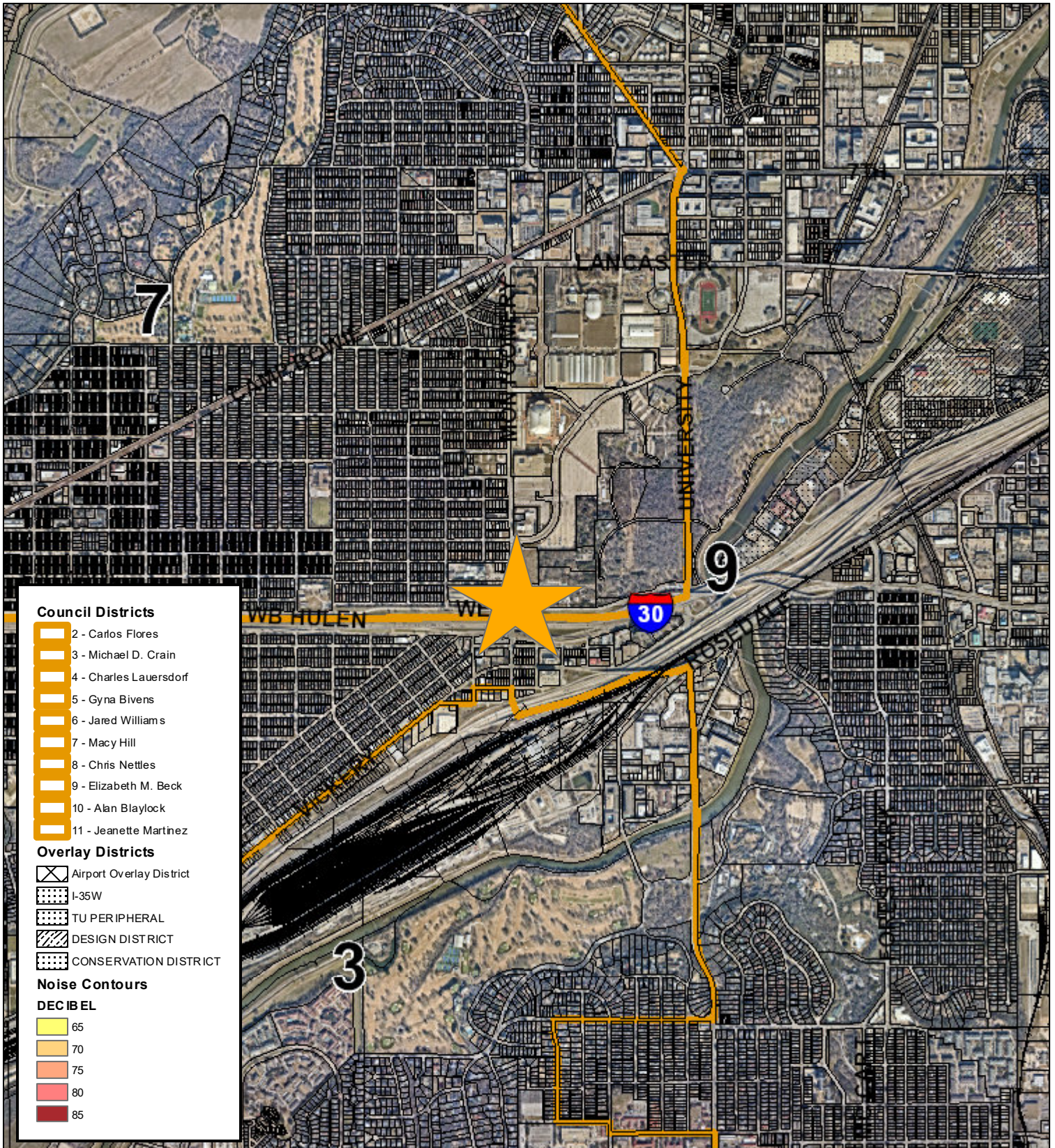
Applicant: Montgomery Corner, LLC./PPC Land Ventures Inc., Mack Pogue  
 Address: 2501 & 2601 Montgomery Street  
 Zoning From: J  
 Zoning To: PD/G plus multifamily excluding certain uses attached Exhibit A  
 Acres: 7.42391134  
 Mapsco: Text  
 Sector/District: Arlington\_Heights  
 Commission Date: 2/12/2025  
 Contact: 817-392-7869



	Subject Area
	300 Foot Notification



### Area Map



**Council Districts**

- 2 - Carlos Flores
- 3 - Michael D. Crain
- 4 - Charles Lauerdorf
- 5 - Gyna Bivens
- 6 - Jared Williams
- 7 - Macy Hill
- 8 - Chris Nettles
- 9 - Elizabeth M. Beck
- 10 - Alan Blaylock
- 11 - Jeanette Martinez

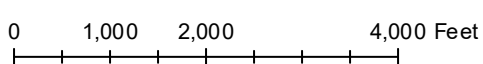
**Overlay Districts**

- Airport Overlay District
- I-35W
- TU PERIPHERAL
- DESIGN DISTRICT
- CONSERVATION DISTRICT

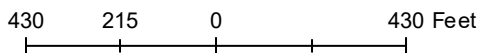
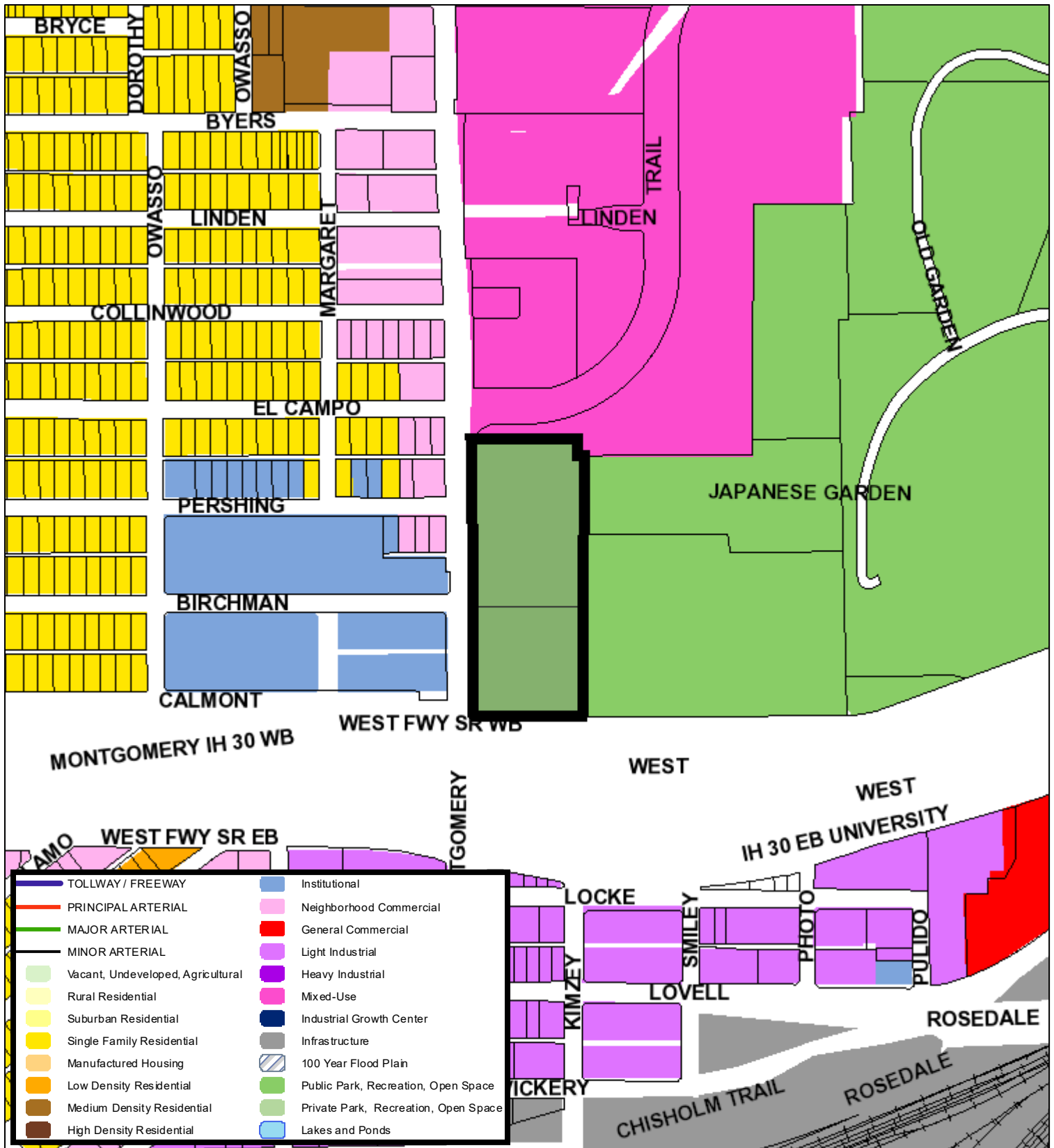
**Noise Contours**

**DECIBEL**

- 65
- 70
- 75
- 80
- 85



### Future Land Use



A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



## Aerial Photo Map



0 270 540 1,080 Feet





# Zoning Staff Report

**Date:** February 12, 2025

**Case Number:** ZC-25-010

**Council District:** 7

## Zoning Map Amendment

**Case Manager:** [Christine Ross](#)

**Owner / Applicant:** Larry L. Fowler, Jr. / Chad Bates

**Site Location:** 5001 Dexter Avenue

**Acreage:** 0.14 acres

### Request

**Proposed Use:** Residential Dwelling

**Request:** From: PD 322 "PD/SU Planned Development/Specific Use for a church education building with living area. Site plan required

To: "A-5" One Family Residential

### Recommendation

**Land Use Compatibility:** Requested change **is compatible**

**Comprehensive Plan Map Consistency:** Requested change **is consistent**

**Comprehensive Plan Policy Consistency:** Requested change **is consistent**

**Staff Recommendation:** **Approval**

### Table of Contents

- |   |  |
|---|--|
| <ol style="list-style-type: none"> <li>1. <a href="#">Project Description and Background</a></li> <li>2. <a href="#">Surrounding Zoning and Land Uses</a> <ol style="list-style-type: none"> <li>a. Area Map</li> <li>b. Aerial Photograph</li> </ol> </li> <li>3. <a href="#">Recent Zoning History</a></li> <li>4. <a href="#">Public Notification</a></li> </ol> | <ol style="list-style-type: none"> <li>5. <a href="#">Development Impact Analysis</a> <ol style="list-style-type: none"> <li>a. <a href="#">Land Use Compatibility</a></li> <li>b. <a href="#">Comprehensive Plan Consistency</a></li> </ol> </li> <li>6. Zoning Map with 300 ft. Notification Area</li> <li>7. Future Land Use Map</li> </ol> |
|---|--|

## Project Description and Background

The subject site is a 0.14-acre tract within Council District 7. The site is currently being utilized as a garden and outdoor recreation area and is proposed to be rezoned from the existing “PD-322” Planned Development to the “A-5” One-Family Residential District to accommodate the construction of a residential home.

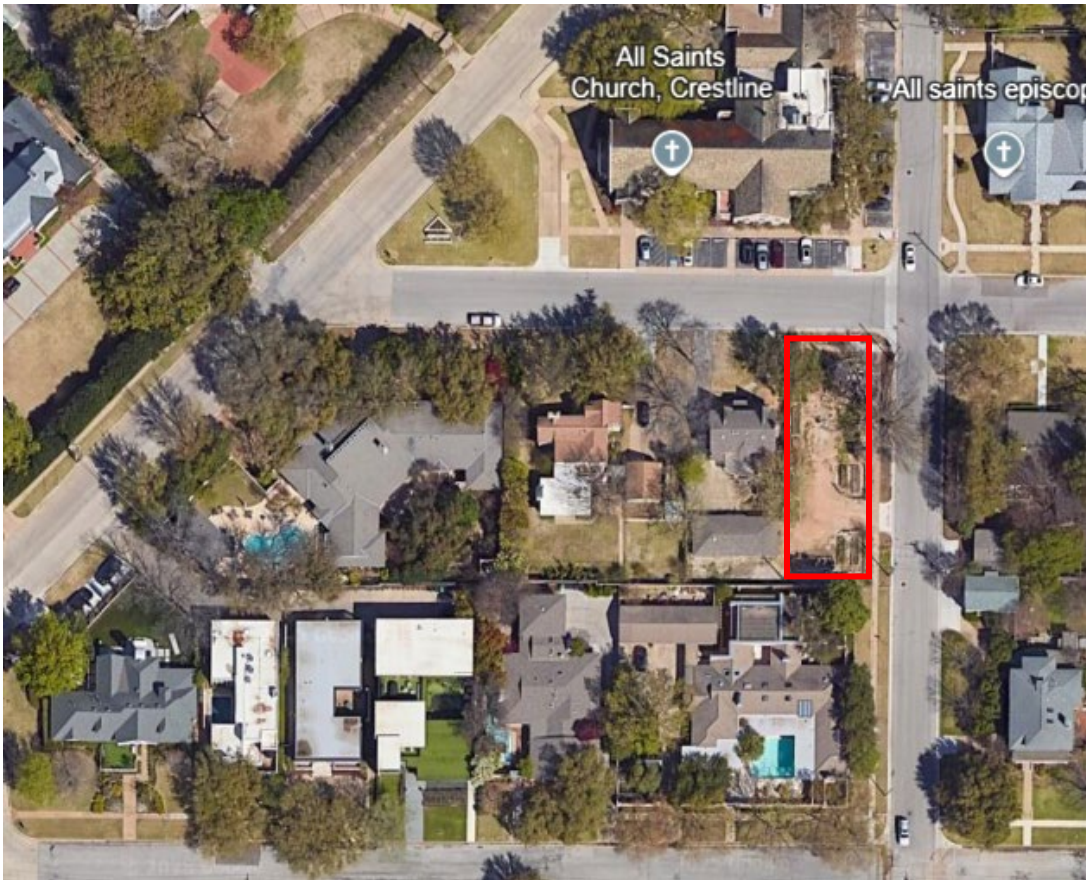
There are numerous single-family dwellings surrounding the subject property as well as a religious institution to the north. Rezoning the property would allow for the construction of residential dwellings in alignment with the surrounding neighborhood character. In 1999, a zoning change was approved to rezone the property from “B” Two-Family to “PD-SU” to accommodate the construction of a church education building and living area to be used by the All Saints Church located across Dexter Ave. to the north. The Church is no longer intending to construct the education building and desires to rezone the property to “A-5” One Family zoning. The applicant originally requested to rezone the property to “B” Two Family but changed it after notification from the Councilmember representing Council District 7.



Dexter Ave. view of subject site



View of subject site looking north to Dexter Ave.



Aerial view (subject site in red)

## Surrounding Zoning and Land Uses

- North "B" Two Family – A place of worship
- South "A-5" – One Family Residential - A single-family residential dwelling
- East "B" Two Family – A single-family residential dwelling
- West "B" Two Family – A single-family residential dwelling

## Recent Zoning History

- 1999 Zoning Case to rezone property from "B" Two-Family Residential to "PD-SU"

## Public Notification

### Written Notice

Written notice of the Zoning Commission public hearing was mailed to the owners of real property lying within 300 feet were mailed on January 31, 2025.



### Posted Notice

A sign was erected on the property not less than 10 days before the Zoning Commission public hearing date.

### Published Notice

A notice of the public hearing before the City Council will be published in the Fort Worth Star Telegram at least 15 days before the hearing.

### Courtesy Notice

The following organizations were emailed on January 31, 2025:

Organizations Notified	
Crestline Area NA	Streams and Valleys Inc
West Side Alliance	Trinity Habitat for Humanity
Sunset Heights NA	West Buyers NA
Como NAC	Arlington Heights NA
Northcrest NA	Keep Como Beautiful
Tarrant Regional Water District	Camp Bowie District, Inc.

## Land Use Compatibility

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### Development Impact Analysis

The surrounding neighborhood is developed as single family dwellings and a place of worship. Constructing additional residential dwellings in the neighborhood would be an appropriate and compatible use of the land due to the presence of numerous existing single-family dwellings surrounding the subject site.

As such, the proposed zoning is **compatible** with surrounding land uses.

## Comprehensive Plan Consistency

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The 2023 Comprehensive Plan designates the subject property as Low-Density Residential. The proposed zoning is consistent with the Future Land Use Designation and it is consistent with the following policies of the Comprehensive Plan:

- Encourage new development in character with the existing neighborhood scale, architecture, and platting pattern, while working to improve pedestrian, bicycle, and transit access between adjacent neighborhoods and nearby destinations.

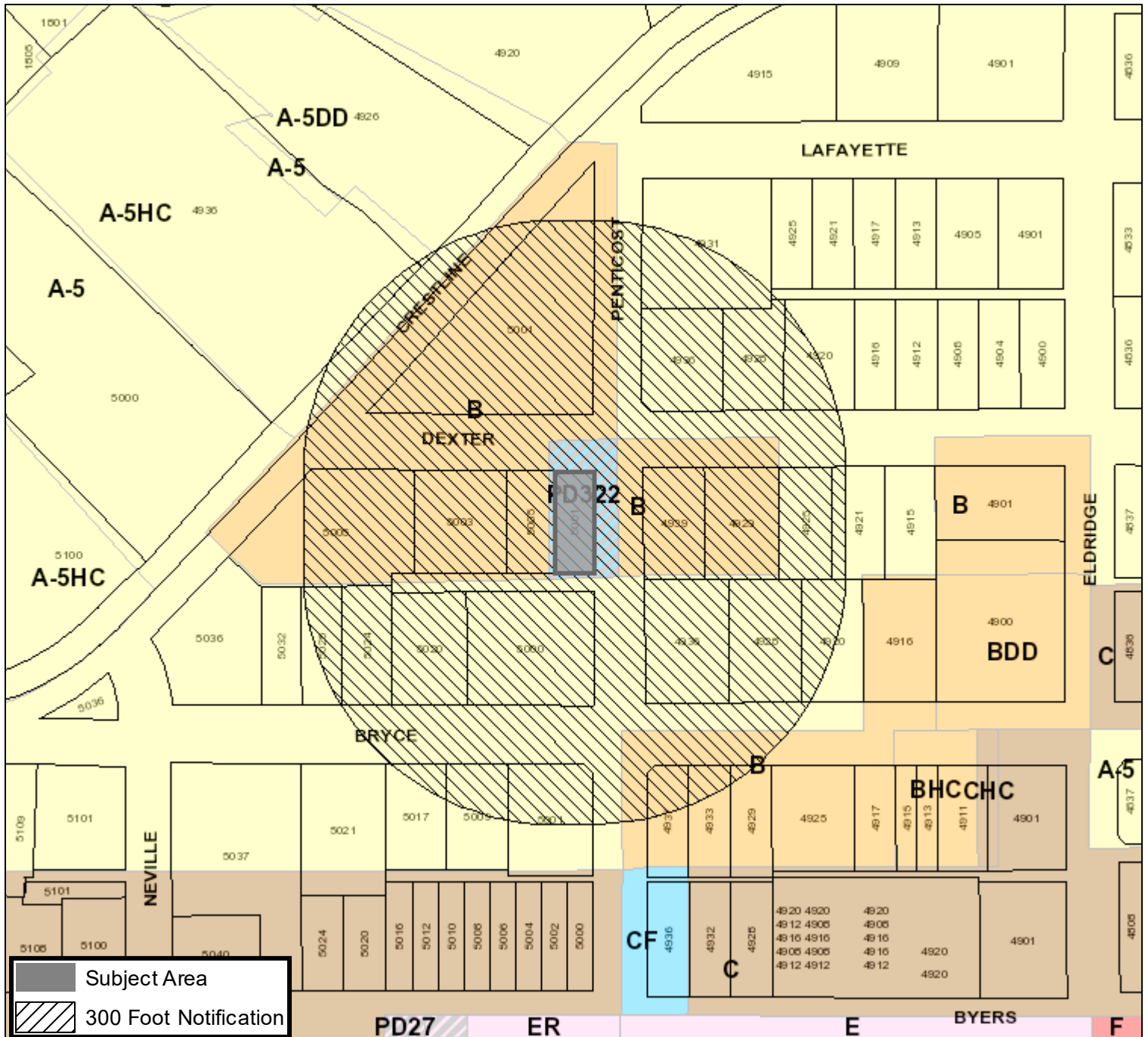
Based on conformance with the policies stated above, the proposed zoning is **consistent** with the Comprehensive Plan FLU Map and Policies.



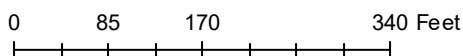
**ZC-25-010**

# Area Zoning Map

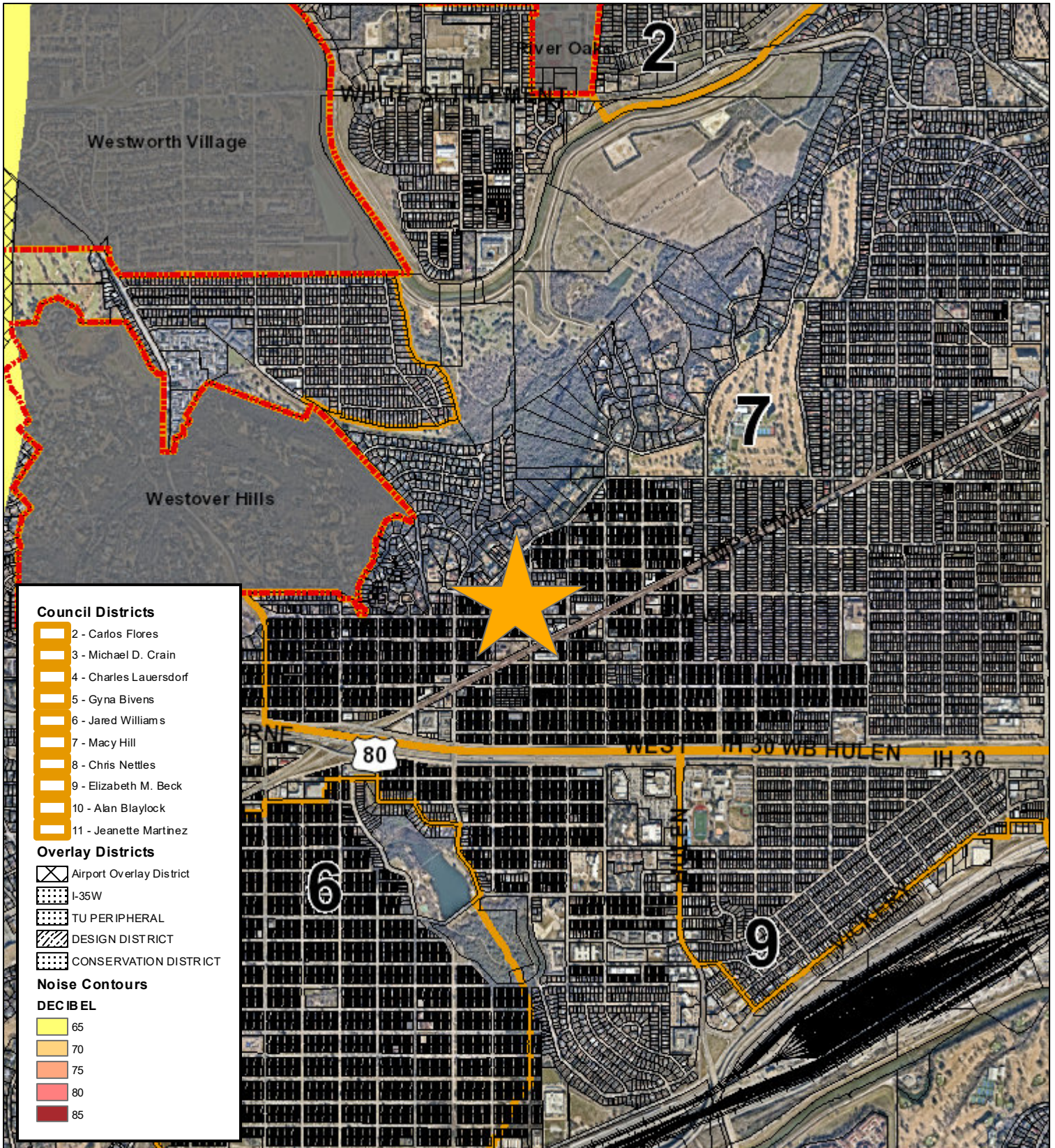
Applicant: Corporation of Episcopal Diocese of Fort Worth  
 Address: 5001 Dexter Avenue  
 Zoning From: PD 322  
 Zoning To: B  
 Acres: 0.13098861  
 Mapsco: Text  
 Sector/District: Arlington\_Heights  
 Commission Date: 2/12/2025  
 Contact: 817-392-2495



	Subject Area
	300 Foot Notification



### Area Map



**Council Districts**

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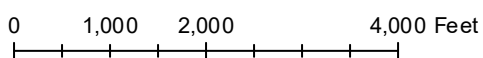
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- TU PERIPHERAL
- DESIGN DISTRICT
- CONSERVATION DISTRICT

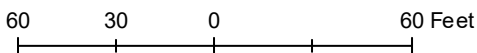
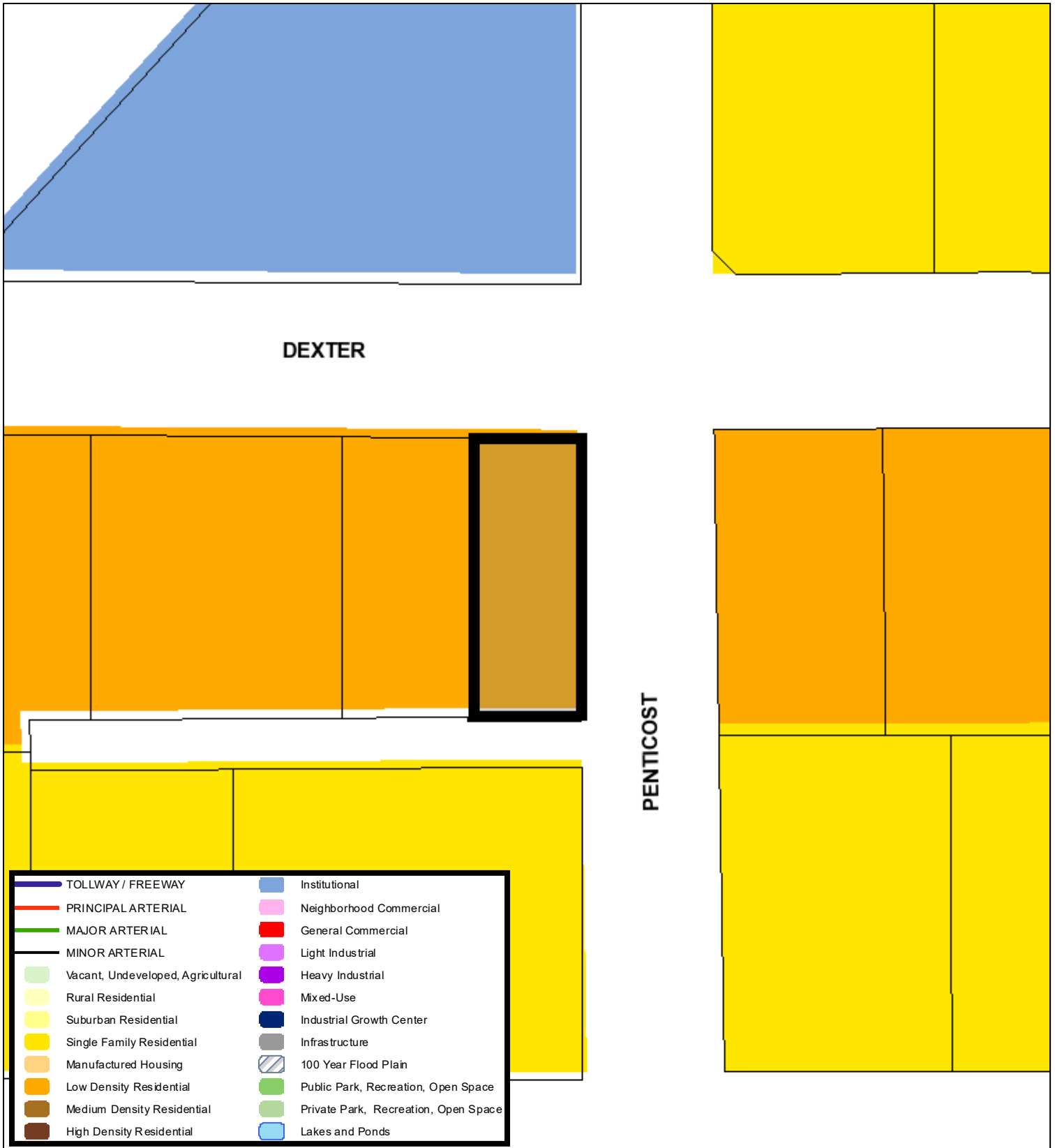
**Noise Contours**

**DECIBEL**

- 65
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### Future Land Use



## Aerial Photo Map



0 35 70 140 Feet





# Zoning Staff Report

**Date:** February 12, 2025

**Case Number:** ZC-25-012

**Council District:** 9

## Zoning Map Amendment

**Case Manager:** Lynn Jordan

**Owner / Applicant:** Alex Viegel

**Site Location:** 3225 S. University

**Acreage:** 0.16 acres

### Request

**Proposed Use:** Duplex

**Request:** From: PD 95 “PD-SU” for an insurance office; maintaining existing architecture; providing for parking in rear yard only / TCU Residential Overlay

To: “C” Medium Density Multifamily / TCU Residential Overlay

### Recommendation

**Land Use Compatibility:** Requested change is **compatible**

**Comprehensive Plan Map Consistency:** Requested change is **consistent**

**Comprehensive Plan Policy Consistency:** Requested change is **consistent**

**Staff Recommendation:** **Approval**

### Table of Contents

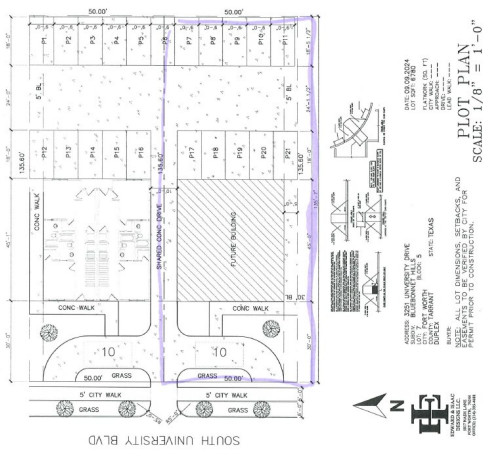
1. [Project Description and Background](#)
2. [Surrounding Zoning and Land Uses](#)
3. [Recent Zoning History](#)
4. [Public Notification](#)
5. [Development Impact Analysis](#)
  - a. [Land Use Compatibility](#)
  - b. [Comprehensive Plan Consistency](#)
6. Zoning Map with 300 ft. Notification Area
7. Area Map
8. Future Land Use Map
9. Aerial Photograph

# Project Description and Background

The subject property is currently a vacant lot located in the Bluebonnet Hills Addition in Council District 9. The applicant is proposing to build a duplex on the proposed lot with a shared drive with the adjacent lot that is currently zoned C, also under construction for a duplex.

This zoning change, if approved, would allow the construction of new duplex dwelling and remove an outdated PD. The new unit must meet all "B" standards for duplex units, including 50% maximum building coverage on the lot, 20-foot front yard setback, 5-foot side and rear yard setbacks, 35-foot maximum height, and 2 parking stalls per dwelling unit, situated behind the front building line. A conceptual layout was provided by the applicant, and shows another duplex proposed on the vacant lot to the north, they will share a common drive for rear entry parking.

Conceptual Plan



Subject Property



South University facing west



South University facing north



## Surrounding Zoning and Land Uses

North “C” Medium Density Multifamily / under construction, duplex and student housing  
East “A-5” One-Family / single family residential  
South “C” Medium Density Multifamily / duplex  
West “C” Medium Density Multifamily / duplex

## Recent Zoning History

- ZC-16-193 Council-initiated rezoning from A-5 One-Family residential to BU-CX-3 Berry University Form Based Code, approved March-20217 subject area just to the north
- ZC-09-114 Council-initiated rezoning from B Two Family residential to A-5 One-Family residential, approved November 2009 subject area two blocks to the west

## Public Notification

### **Written Notice**

Written notice of the Zoning Commission public hearing was mailed to the owners of real property lying within 300 feet on January 31, 2025.

### **Posted Notice**

A sign was erected on the property not less than 10 days before the Zoning Commission public hearing date.

### **Published Notice**

A notice of the public hearing before the City Council will be published in the Fort Worth Star Telegram at least 15 days before the hearing.



## Courtesy Notice

The following organizations were notified: (emailed January 31, 2025)

Organizations Notified	
Bluebonnett Hills NA*	Paschal NA
Westcliff NA	Frisco Heights NA
Rosemont NA	Berry Street Initiative
Streams and Valleys Inc.	Trinity Habitat for Humanity
Fort Worth ISD	
<i>*Located within this registered Neighborhood Association</i>	

## Development Impact Analysis

### Land Use Compatibility

The homes south of Berry Street along South University are primarily duplex or triplex with a few single-family residential structures. This area along both sides of S. University are mostly dorms for TCU students. The proposed rezoning to “C” is **compatible** with the surrounding land uses.

### Comprehensive Plan Consistency – TCU-Westcliff

The adopted Comprehensive Plan currently designates the subject property as future Medium Density Multifamily on the Future Land Use Map. This designation is the same as “CR”, “C” and “D”.

RESIDENTIAL		
Rural Residential	1+ acre single-family	A-2.5, A-43
Suburban Residential	1/2+ acre single-family	A-21
Single-Family Residential	3,500+ sq. ft. lot single-family	A-10, A-7.5, A-5, AR
Manufactured Housing	Manufactured home parks and subdivisions	MH
Low Density Residential	2,500+ sq. ft. lot single-family, two-family, patio homes, townhouses, cluster housing	B, R1, R2
Medium Density Residential	Up to 36 units/acre multifamily	CR, C, D
Urban Residential	Medium to high density, residential only, pedestrian-oriented development for use between higher and lower intensity uses	UR
High Density Residential	>36 units/acre multifamily, mixed-use multifamily and pedestrian-oriented development in growth centers	UR, MU-1, MU-2, Form-Based Codes

The proposed “C” Medium Density Multifamily is **consistent** with the Future Land Use Map and compatible with the following policies of the adopted Comprehensive Plan.

- Encourage new development in character with the existing neighborhood scale, architecture, and platting pattern, while working to improve pedestrian, bicycle, and transit access between adjacent neighborhoods and nearby destinations.
- Encourage Urban Residential and Low Density Residential as transitional uses between Single-Family Residential and high density uses.

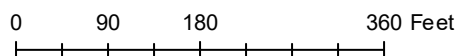
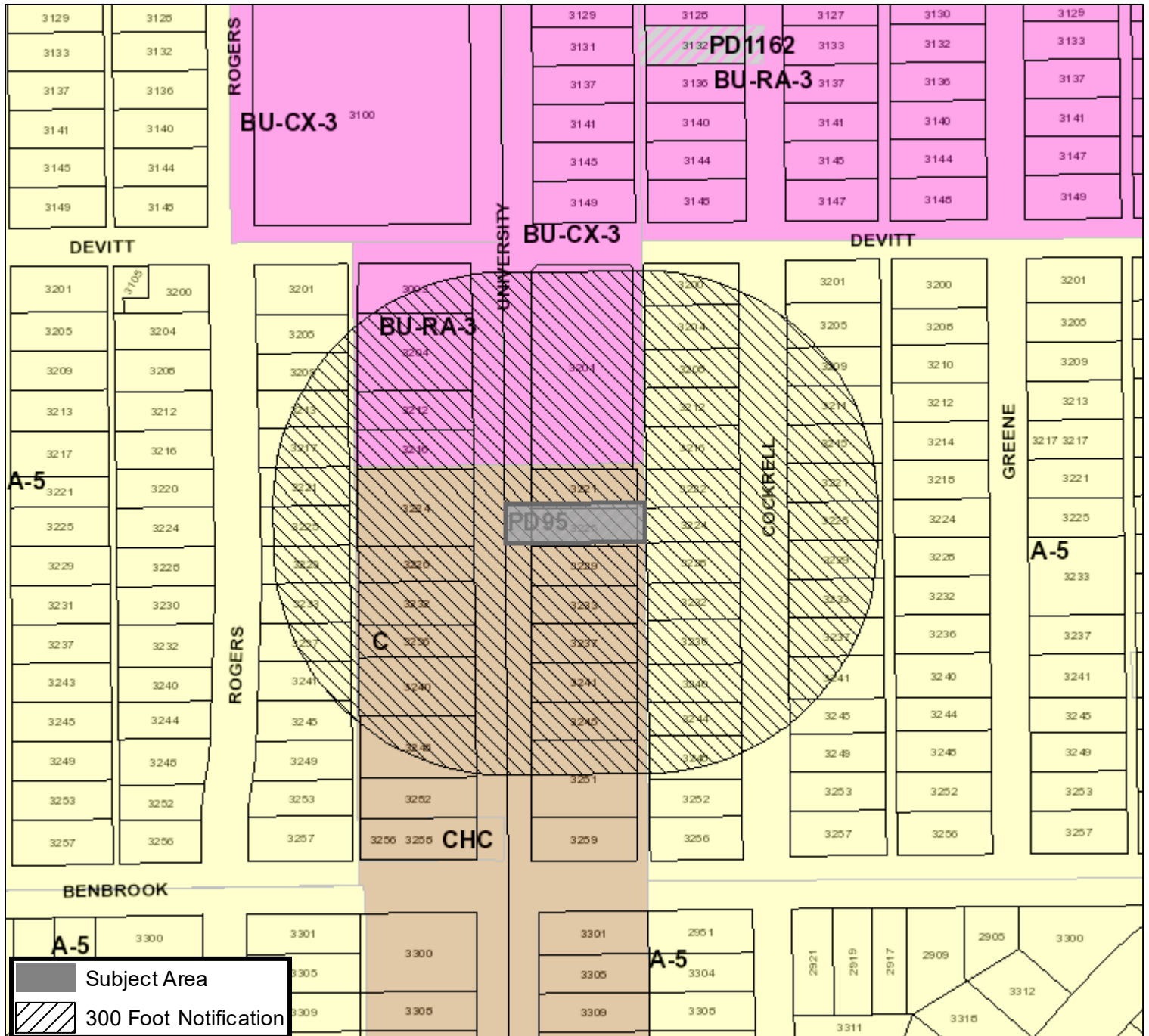
The proposed zoning is consistent with the map designation and policies for this area.



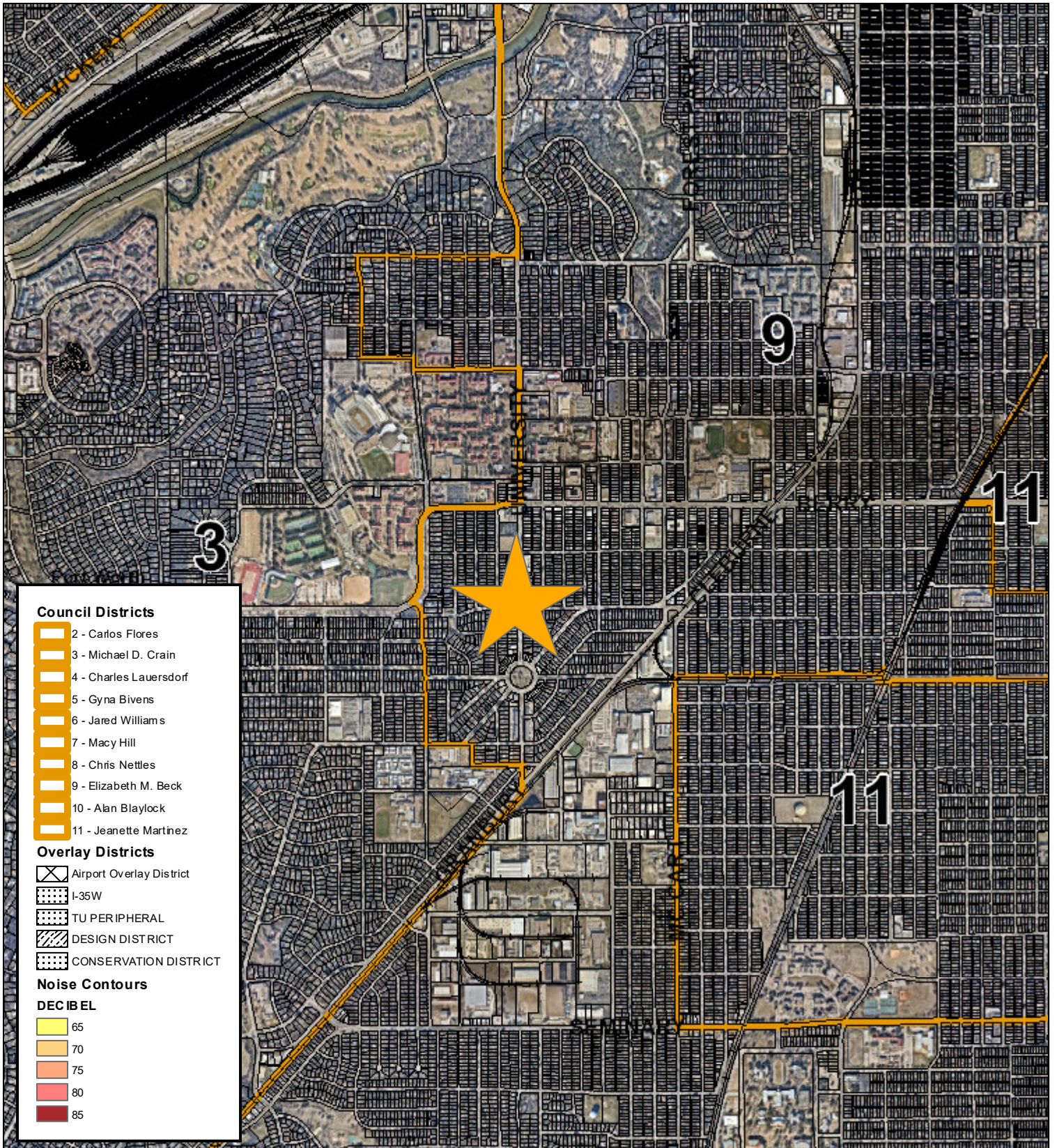
ZC-25-012

# Area Zoning Map

Applicant: 3108 Frazier LLC/Alex Veigel  
 Address: 3225 S UNIVERSITY DR  
 Zoning From: PD 95  
 Zoning To: C  
 Acres: 0.20730551  
 Mapsco: Text  
 Sector/District: TCU\_Westcliff  
 Commission Date: 2/12/2025  
 Contact: 817-392-7869



### Area Map



**Council Districts**

- 2 - Carlos Flores
- 3 - Michael D. Crain
- 4 - Charles Lauerdorf
- 5 - Gyna Bivens
- 6 - Jared Williams
- 7 - Macy Hill
- 8 - Chris Nettles
- 9 - Elizabeth M. Beck
- 10 - Alan Blaylock
- 11 - Jeanette Martinez

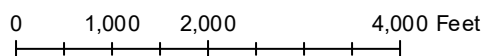
**Overlay Districts**

- Airport Overlay District
- I-35W
- TU PERIPHERAL
- DESIGN DISTRICT
- CONSERVATION DISTRICT

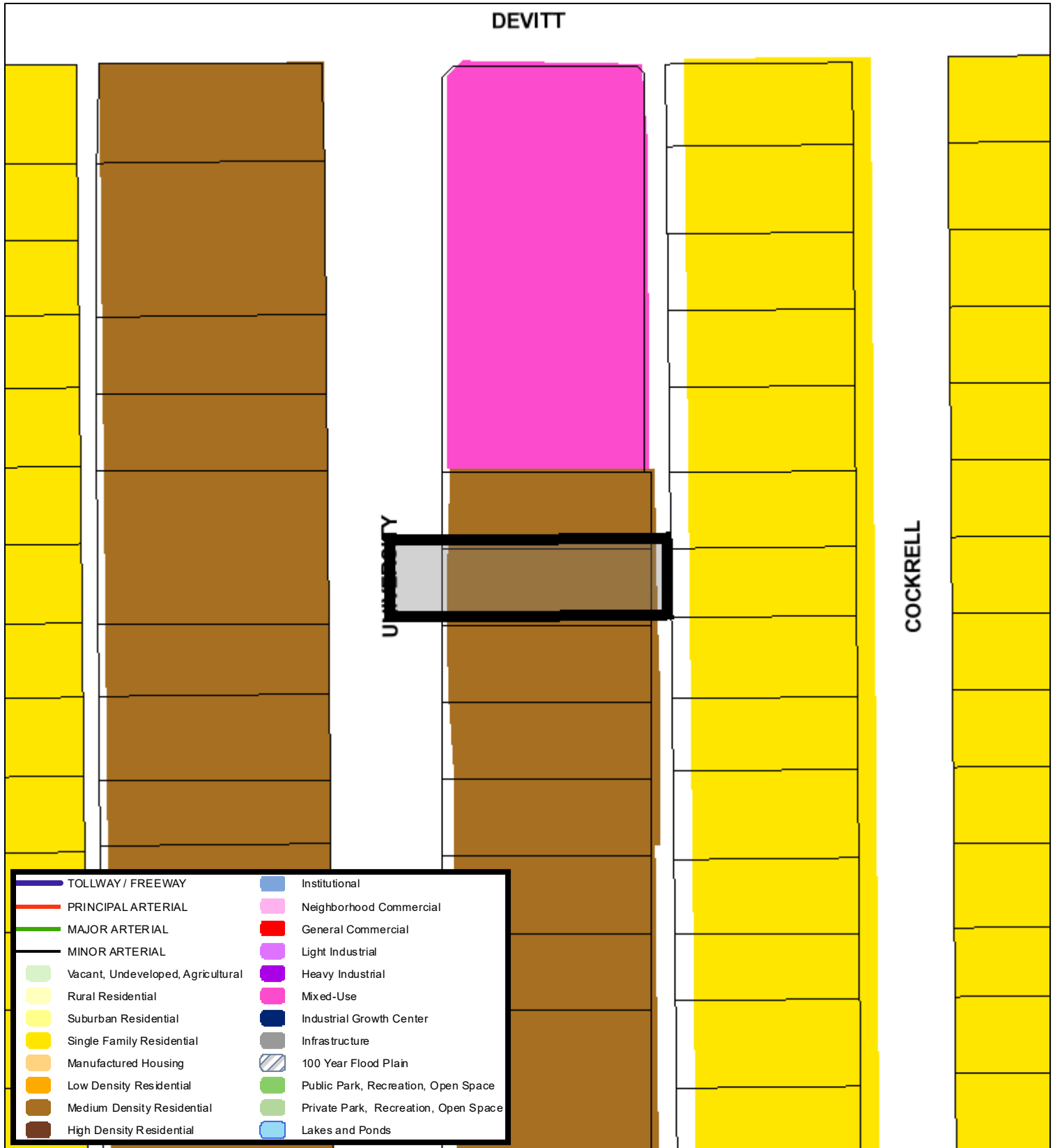
**Noise Contours**

**DECIBEL**

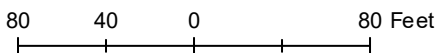
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### Future Land Use



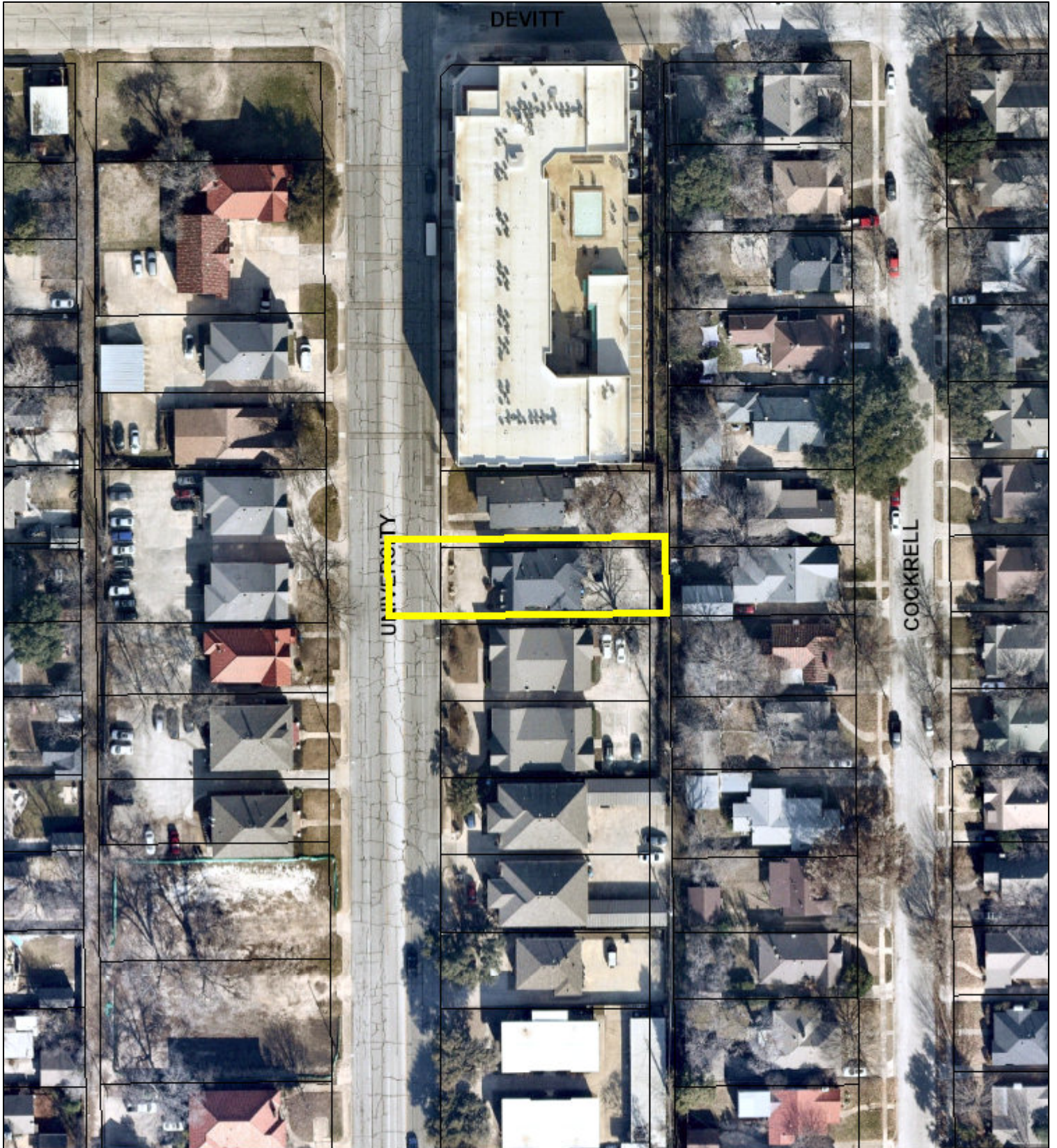
TOLLWAY / FREEWAY	Institutional
PRINCIPAL ARTERIAL	Neighborhood Commercial
MAJOR ARTERIAL	General Commercial
MINOR ARTERIAL	Light Industrial
Vacant, Undeveloped, Agricultural	Heavy Industrial
Rural Residential	Mixed-Use
Suburban Residential	Industrial Growth Center
Single Family Residential	Infrastructure
Manufactured Housing	100 Year Flood Plain
Low Density Residential	Public Park, Recreation, Open Space
Medium Density Residential	Private Park, Recreation, Open Space
High Density Residential	Lakes and Ponds



A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



Aerial Photo Map



0 55 110 220 Feet





# Zoning Staff Report

**Date:** February 12, 2025

**Case Number:** ZC-24-135

**District:** All

## Zoning Map Amendment

**Case Manager:** [Stephen Murray](#)

**Owner / Applicant:** City of Fort Worth

### Request

**Proposed Use:** Text Amendment Height

**Request:** An ordinance amending the Zoning Ordinance of the City of Fort Worth, being Ordinance No. 21653 as amended, codified as Appendix “A” of the Code of the City of Fort Worth, by amending Chapter 9, “Definitions”, Section 9.101, “Defined Terms” to remove “Unified Residential Development” and amend “Commercial/Institutional Use”, “Floor Area”, “Open Space”, “Net Land Area”, and “Open Space”; Amending Chapter 6 “Development Standards,” Article 1, “General” Section 6.100, “Height” to add “I” Light Industrial to where the Height of a building may be increased; and to Amend Various Sections of the Zoning Ordinance to remove references to Section 6.506 of the Zoning Ordinance and “Unified Residential Development” and replace such references with appropriate sections

### Recommendation

**Staff Recommendation:** **Approval**

Table of Contents

**ORDINANCE NO. \_\_\_\_\_**

**AN ORDINANCE AMENDING THE ZONING ORDINANCE OF THE CITY OF FORT WORTH, BEING ORDINANCE NO. 21653, AS AMENDED, CODIFIED AS APPENDIX "A" OF THE CODE OF THE CITY OF FORT WORTH, BY AMENDING CHAPTER 9 "DEFINITIONS", SECTION 9.101 "DEFINED TERMS" TO REMOVE "UNIFIED RESIDENTIAL DEVELOPMENT" AND AMEND "COMMERCIAL/INSTITUTIONAL USE", "FLOOR AREA", "OPEN SPACE", "NET LAND AREA", AND "RECREATIONAL SPACE"; AMENDING CHAPTER 6, "DEVELOPMENT STANDARDS," ARTICLE 1, "GENERAL" SECTION 6.100, "HEIGHT" TO ADD "I" LIGHT INDUSTRIAL TO WHERE THE HEIGHT OF A BUILDING MAY BE INCREASED; AND TO AMEND VARIOUS SECTIONS OF THE ZONING ORDINANCE TO REMOVE REFERENCES TO SECTION 6.506 OF THE ZONING ORDINANCE AND "UNIFIED RESIDENTIAL DEVELOPMENT" AND REPLACE SUCH REFERENCES WITH APPROPRIATE SECTIONS; PROVIDING THAT THIS ORDINANCE SHALL BE CUMULATIVE; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A PENALTY CLAUSE; PROVIDING FOR PUBLICATION IN THE OFFICIAL NEWSPAPER; AND PROVIDING AN EFFECTIVE DATE**

**WHEREAS**, Chapter 211 of the Texas Local Government Code ("TLGC") authorizes the governing body of a municipality to adopt zoning regulations to promote the public health, safety, morals, or general welfare and protect and preserve places and areas of historical, cultural, or architectural importance and significance; and

**WHEREAS**, Section 211.005 of the TLGC authorizes the governing body of a municipality to divide the municipality into districts of a number, shape, and size that the governing body considers best for carrying out the provisions of Chapter 211, General Zoning Regulations, within which districts the governing body may regulate the erection, construction, reconstruction, alteration, repair or use of buildings, other structures or land; and

**WHEREAS**, Chapter 6 "Development Standards", Article 1 "General", Section 6.100 "Height" allows the height of certain buildings in the "A through "F" districts, to be increased when the front, side and rear yard dimensions are each increased above the minimum requirements by one foot for each foot such building exceeds the height limit of the district in which it is located; and

**WHEREAS**, the City Manager's Office requested a text amendment to the Zoning Ordinance to add "I" Light Industrial District to the list of districts where the height of a building may be increased when the front, side, and rear yard dimensions are each increased above the

minimum requirements by one foot for each foot such building exceeds the height limit of the district in which it is located;

**WHEREAS**, in 2018, City Council adopted Ordinance No. 23495-12-2018, which repealed Section 6.506, “Unified Residential Development”, but references of such section still exist throughout the Zoning Ordinance; and

**WHEREAS**, City staff recommends removing references of Section 6.506, “Unified Residential Development in the Zoning Ordinance to be consistent with Ordinance No. 23495-12-2018; and

**WHEREAS**, City staff recommends adopting the requested text amendment to add I “Light Industrial District” to the list of districts where the height of a building may be increased when the front, side, and rear yard dimensions are each increased above the minimum requirements by one foot for each foot such building exceeds the height limit of the district in which it is located.

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF FORT WORTH, TEXAS**

**SECTION 1.**

Chapter 9, “Definitions”, Section 9.101, “Defined Terms” of Ordinance No. 21653, the Zoning Ordinance of the City of Fort Worth, is hereby amended to remove “Unified residential development” and revise the following definitions: “Commercial/Institutional Use”, “Floor Area”, “Net Land Area”, “Open Space”, and “Recreational Space” and shall read as follows:

***COMMERCIAL/INSTITUTIONAL USE.***

(1) For the purpose of the landscape provisions of § 6.301, the following uses are considered to be commercial/institutional:

- a. Any use allowed by right in the commercial districts, including public and private schools and places of worship;
- b. Private recreation facilities in manufactured housing subdivisions in the “MH” district;
- c. Principal and special exception uses in the “CF” district; and
- d. The following uses, which are permitted only in “PD” districts: halfway houses, gambling facilities or other operations featuring games of chance (including bingo parlors), and horse, dog and automotive racing.

~~(2) Uses subject to the unified residential development provisions set out in § 6.506 are not included.~~



**FLOOR AREA.** The sum total of the area of all buildings, ~~on the unified residential development site~~ excluding utility rooms and mechanical rooms, measured between the outer perimeter walls of the buildings, provided that space in a building or structure used for parking of motor vehicles shall not be computed in the floor area. Courtyards or balconies open to the sky and roofs which are utilized for recreation, etc., shall not be counted in the **FLOOR AREA** but shall be a part of the recreational space.

**NET LAND AREA.** ~~For the purposes of § 6.506, all~~ All of the privately owned property embraced within the outer perimeter property lines, not including dedicated public streets. Dedicated rights-of-way for open space, drainage or access, approved private streets or dedicated easements which can be used by the land occupants for private purposes shall be included in net land area. Where land is dedicated for future opening or widening of a public street such land shall not be computed as net land area.

**OPEN SPACE.** For the purposes of calculating open space ~~for unified residential developments in accordance with § 6.506,~~ the net land area minus all building footprints, parking areas, access drives and fenced patios. **OPEN SPACE** must be open to the sky and cannot be paved, except for necessary sidewalks, active recreation areas and patios that are adjacent to dwelling units and not enclosed by a fence.

**RECREATIONAL SPACE.** ~~For the purposes of § 6.506, outdoor~~ Outdoor space which is made available and maintained in a suitable condition to afford occupants space for passive and active recreational pursuits to the exclusion of all other uses and/or recreation rooms or buildings available to all occupants of the development.

~~**UNIFIED RESIDENTIAL DEVELOPMENT.** A grouping of residential structures developed in accordance with the unified residential development provisions of § 6.506 on a tract of land under single ownership or unified control, such as a homeowner's association, as opposed to development of one dwelling on one lot of record.~~

## SECTION 2.

Chapter 6, "Development Standards", Article 1, "General," Section 6.100, "Height" of Ordinance No. 21653, the Zoning Ordinance of the City of Fort Worth, is hereby amended to revise 6.100 "Height" to add "I" Light Industrial District to where height may be increased; to remove references to "6.506" and "unified residential development"; and shall read as follows:

### § 6.100 HEIGHT.

The height, area, and setback requirements in the various districts in Chapter 4 shall be subject to the following exceptions and regulations.

(a) Except for multifamily developments ~~subject to the unified residential provisions of § 6.506~~ in §§ 4.710, 4.711, and 4.712, the height of a building in the "A through "F" districts, and

“I” district, may be increased when the front, side and rear yard dimensions are each increased above the minimum requirements by one foot for each foot such building exceeds the height limit of the district in which it is located.

(b) Except for multifamily dwellings developed in accordance with ~~the unified residential development provisions of § 6. §§ 4.710, 4.711, and 4.712~~, the height of a building shall be the vertical distance measured from the curb level to the highest point of the roof surface, if a flat roof; to the deck line of a mansard roof; and to the mean height level between eaves and ridge for a gable, hip or gambrel roof; provided, however, that where buildings are set back from the street line, the height of the building may be measured from the average elevation of the finished grade along the front of the building.

### **Building Height**

(c) Height in multifamily residential developments constructed in accordance with ~~the provisions of § 6.506, unified residential development, in §§ 4.710, 4.711, and 4.712~~ shall be measured from the top of the finished slab to top of the highest wall top plate.

### **Building Height (Unified Residential Development)**

(d) Except for multifamily dwellings developed in accordance with §§ 4.710, 4.711, and 4.712 ~~the unified residential development provisions of § 6.506~~, on through lots 150 feet or less in depth, the height of a building may be measured from the curb level on either street. On through lots more than 150 feet in depth the height regulations and basis of height measurements for the street permitting the greater height shall apply to a depth of not more than 150 feet from that street.

(e) Elevator penthouses or bulkheads; mechanical equipment rooms; cooling towers; tanks; enclosed stairwells; and ornamental cupolas and domes; signs and spires may be erected on buildings to any height not prohibited by any other law, code or regulation.

(f) Nothing in this ordinance shall interfere with limitation on height of structures included in the airport zoning regulations in §§ 3-260 et seq. of the city code.

**SECTION 3.**

Chapter 6, “Development Standards”, Article 2, “Off-Street Parking and Loading,” Section 6.201, “Off-Street Parking Requirements” of Ordinance No. 21653, the Zoning Ordinance of the City of Fort Worth, is hereby amended to revise Section 6.201(b)(2) “Maximum parking requirements”, “Residential”, to remove “unified residential development” and shall read as follows:

Use	Requirement
<b>Residential</b>	
Residential unit: one-family up to four family	1 to 4 spaces per dwelling unit (see individual districts for details)
Multifamily residential ( <del>unified residential development</del> )	1 space per bedroom plus 1 space per 250 square feet of common areas, offices and recreation (less laundry rooms and storage); 2 spaces may be tandem if assigned to the same unit and restricted from use for storage

**SECTION 4.**

Chapter 6, “Development Standards”, Article 3, “Landscaping, Buffers and Urban Forestry” Section 6.301, “Landscaping” of Ordinance No. 21653, the Zoning Ordinance of the City of Fort Worth, is hereby amended to revise Section 6.301(g)(3) “Exemptions from landscape requirements”, to remove “6.506” and “unified residential development” and shall read as follows:

(g) *Exemptions from landscape requirements.* The following are not subject to these landscape requirements:

(3) Construction or expansion of multifamily and mixed use developments ~~subject to unified residential development provisions set out in § 6.506 in §§ 4.710, 4.711, and 4.712;~~

**SECTION 5.**

Chapter 5, “Supplemental Use Standards”, Article 3, “Accessory Uses” Section 5.305, “Fences” of Ordinance No. 21653, the Zoning Ordinance of the City of Fort Worth, is hereby amended to revise Section 5.305(a)(15) “Fences required”, to remove “6.506” and “unified residential development” and shall read as follows:

(a) *Fences required.* Fences are required as follows.

(15) A screening fence shall be constructed on property lines of multifamily residential developments ~~of unified residential developments~~ adjacent to a one- or two-family residential district in accordance with ~~§ 6.506(d)~~ §§ 4.710, 4.711, and 4.712.

## SECTION 6.

Chapter 6, “Development Standards”, Article 2, “Off-Street Parking and Loading,” Section 6.202, “Parking Lot Design Standards” of Ordinance No. 21653, the Zoning Ordinance of the City of Fort Worth, is hereby amended to revise Section 6.202(c)(4) “Parking Lot Layout Dimensions”, “Driveways” to remove “6.506” and “unified residential development” and shall read as follows:

(c) *Driveways.*

(4) Except for multifamily residential developments developed in accordance to §§ 4.710, 4.711, and 4.712~~unified residential development in accordance with § 6.506~~, driveways designated as fire lanes shall meet the standards of the fire code.

## SECTION 7.

Chapter 4, “District Regulations”, Article 1, “General,” Section 4.103, “Compliance with District Standards” of Ordinance No. 21653, the Zoning Ordinance of the City of Fort Worth, is hereby amended to revise Section 4.103(g)(1), to remove “unified residential development” and “6.506” and to read as follows:

(g) Every dwelling hereafter erected, reconstructed, altered or enlarged shall be located on a lot of record unless:

(1) The dwelling is an integral part of a multifamily development~~unified residential development (see Chapter 6 Development Standards, § 6.506 Unified Residential Development)~~;

## SECTION 8.

Chapter 4, “District Regulations”, Article 3, “Planned Development (“PD”) District,” Section 4.306, “Property Development Standards” of Ordinance No. 21653, the Zoning Ordinance of the City of Fort Worth, is hereby amended to revise Section 4.306(d) “Property Development Standards”, to remove “unified residential development” and “6.506” and read as follows:

(d) The parking requirements of Chapter 6, Article 2 shall apply to all commercial and industrial uses in the “PD” district. Parking requirements for apartments and multifamily dwellings in the “PD” district shall be determined in accordance with ~~the unified residential development provisions in § 6.506~~ the development provisions in §§ 4.710, 4.711, and 4.712.

## SECTION 9.

Chapter 4, “District Regulations”, Article 7, “Residential Districts,” Section 4.708, “Zero Lot Line/Cluster (“R1”) District” of Ordinance No. 21653, the Zoning Ordinance of the City of Fort Worth, is hereby amended to revise Section 4.708(b)(6)(iii) “Zero Lot Line/Cluster (“R1”) District”, “Cluster housing in the “R1” district”, “Development Plan”, to remove “unified residential development” and “6.506” and shall read as follows:

### 6. *Development plan.*

iii. A development plan shall be reviewed as a site plan, ~~under the requirements of § 6.506, unified residential development.~~

## SECTION 10.

Chapter 4, “District Regulations”, Article 7, “Residential Districts,” Section 4.709, “Townhouse/Cluster (“R2”) District” of Ordinance No. 21653, the Zoning Ordinance of the City of Fort Worth, is hereby amended to revise Section 4.709(d)(3)(f)(3) “Townhouse/Cluster (“R2”) District”, “Other development standards”, “residential design standards” “Development plan”, to remove “unified residential development” and shall read as follows:

### f. *Development plan.*

3. A development plan shall be reviewed as a site plan, ~~under the requirements of § 6.506, unified residential development.~~ (See also § ~~5.302~~, accessory uses ~~in unified residential development.~~)

## SECTION 11.

Chapter 4, “District Regulations”, Article 7, “Residential Districts,” Section 4.710 “Low Density Multifamily (“CR”) District” of Ordinance No. 21653, the Zoning Ordinance of the City of Fort Worth, is hereby amended to revise Sections 4.710(c)(3)(b)(2), 4.710(d)(1), 4.710(d)(3) to remove “6.506” and “unified residential development” and shall read as follows:

### b. Commentary.

1. Carports, not allowed in front of building line or in required yards, see §§ 6.300(b) and 6.101(a).

2. Fences, up to five feet high in front yard and projected front yard for one-family and two-family residential dwellings per regulations in § 5.305(b)(2); six-feet high in the front yard for multifamily developments in §§ 4.710, 4.711, and 4.712 ~~subject to the Unified Residential requirements of § 6.506~~ as constructed under § 5.305(b)(3). (The design

may include masonry columns to a maximum height of six feet, six inches); two feet high in public open space easement and eight feet high behind front yard.

(d) *Other development standards.* Development in the low density multifamily (“CR”) district may be subject to a variety of general development standards, including, but not limited to the following.

(1) *Signs.* ~~For development not subject to the unified residential provisions of § 6.506 on premises signs~~ Developments are subject to the following:

a. An unilluminated nameplate bearing the family name of the occupants residing in the residence not to exceed one square foot in area; and

b. An unilluminated sign for those uses permitted that are not residential. The sign shall not exceed 30 square feet in area, shall be no higher than six feet above grade and shall be placed a minimum of ten feet behind the property line. Such sign shall not be placed within 20 feet of drives providing ingress and egress to the property.

(2) *Parking.* One- and two-family residential development shall meet the parking requirements for the selected district. For multifamily and nonresidential parking requirements see Chapter 6, Development Standards, Article 2, Off-Street Parking and Loading, § 6.200.

(3) *Residential design standards.* For one- and two-family residential development, see the selected district and also see Chapter 6, Development Standards, § 6.507, Single-Family Residential Design Standards. For multifamily development, see §§ 4.710, 4.711, and 4.712. ~~Chapter 6, Development Standards, § 6.506 Unified Residential Development.~~

## SECTION 12.

Chapter 4, “District Regulations”, Article 11, “Inactive Districts,” Section 4.1100, “Multifamily Highrise (“D-HR1”) District” of Ordinance No. 21653, the Zoning Ordinance of the City of Fort Worth, is hereby amended to revise Section 4.1100(d)(2)-(3) “Multifamily Highrise (“D-HR1”) District”, “Height and area regulations”, to remove “6.506” and “unified residential development” and shall read as follows:

(d) *Height and area regulations.*

(2) Multifamily residential development shall conform to the provisions outlined in ~~§ 6.506~~ §§ 4.710, 4.711, and 4.712 and those for the “D” district.

(3) One- and two-family dwelling units must meet the regulations of the “A,” “AR,” “B,” “R1” or “R2” districts, ~~or the unified residential development provisions in § 6.506.~~

### **SECTION 13.**

Chapter 4, “District Regulations”, Article 11, “Inactive Districts,” Section 4.1101, “Multifamily Highrise (“D-HR2”) District” of Ordinance No. 21653, the Zoning Ordinance of the City of Fort Worth, is hereby amended to revise Section 4.1101(d)(2)-(3) “Multifamily Highrise (“D-HR2”) District”, “Height and area regulations”, to remove references to “6.506” and “unified residential development” and to read as follows:

(d) *Height and area regulations.*

(2) Multifamily residential development shall conform to the provisions outlined in ~~§ 6.506~~ §§ 4.710, 4.711, and 4.712 and those for the “D” district.

(3) One- and two-family dwelling units must meet the regulations of the “A,” “AR,” “B,” “R1” or “R2” districts, ~~or the unified residential development provisions in § 6.506.~~

### **SECTION 14.**

This ordinance shall be cumulative of all provisions of ordinances and of the Code of the City of Fort Worth, Texas (2015), as amended, except where the provisions of this ordinance are in direct conflict with the provisions of such ordinances and such Code, in which event conflicting provisions of such ordinances and such Code are hereby repealed.

### **SECTION 15.**

It is hereby declared to be the intention of the City Council that the sections, paragraphs, sentences, clauses and phrases of this ordinance are severable, and, if any phrase, clause, sentence, paragraph or section of this ordinance shall be declared unconstitutional by the valid judgment or decree of any court of competent jurisdiction, such unconstitutionality shall not affect any of the remaining phrases, clauses, sentences, paragraphs and sections of this ordinance, since the same

would have been enacted by the City Council without the incorporation in this ordinance of any such unconstitutional phrase, clause, sentence, paragraph or section.

**SECTION 16.**

Any person, firm, or corporation, who violates, disobeys, omits, neglects or refuses to comply with or who resists the enforcement of any of the provisions of this ordinance shall be fined not more than Two Thousand Dollars (\$2,000.00) for each offense. Each day that a violation exists shall constitute a separate offense.

**SECTION 17.**

All rights and remedies of the City of Fort Worth, Texas, are expressly saved as to any and all violations of the provisions of Ordinances No. 3011, 13896, 21653 and any other ordinances affecting zoning which have accrued at the time of the effective date of this ordinance, and, as to such accrued violations and all pending litigation, both civil and criminal, whether pending in court or not, under such ordinances, same shall not be affected by this ordinance but may be prosecuted until final disposition by the courts.

**SECTION 18.**

The City Secretary of the City of Fort Worth, Texas, is hereby directed to publish the caption, penalty clause and effective date of this ordinance for two (2) days in the official newspaper of the City of Fort Worth, Texas, as authorized by Section 52.013, Texas Local Government Code.

**SECTION 19.**

All other provisions of the Zoning Ordinance of the City of Fort Worth not herein amended shall remain in full force and effect.



**SECTION 20.**

This ordinance shall take effect upon adoption and publication as required by law.

APPROVED AS TO FORM AND LEGALITY:

By: \_\_\_\_\_  
Christopher Austria,  
Senior Assistant City Attorney

\_\_\_\_\_  
Jannette S. Goodall,  
City Secretary

ADOPTED: \_\_\_\_\_

EFFECTIVE: \_\_\_\_\_

## Project Description and Background

The text amendment is an amendment to the Zoning Ordinance to add “I” Light Industrial District to the list of districts where the height of a building may be increased when the front, side, and rear yard dimensions are each increased above the minimum requirements by one foot for each foot such building exceeds the height limit of the district in which it is located. Furthermore, this text amendment is to remove references to Section 6.506 of the Zoning Ordinance and “Unified Residential Development” and replaced with the appropriate sections of the Zoning Ordinance.